



Agenda Item No. 9.

Staff Report

Date: March 14, 2024
To: Mayor Brekhus and Council Members
From: Alex Lopez-Vega, Assistant Planner
Subject: Potts Residence, 65 Wellington Avenue

Recommendation

Town Council consideration for Design Review, Nonconformity Permit, Hillside Lot Permit for the project described below located at 65 Wellington Avenue. The Town Council may adopt Resolution No. 2401 (Attachment 1) approving the project, subject to conditions.

Property Address: 65 Wellington Avenue
A.P.N.: 072-071-08
Applicant: Sutro Architects (John Simenic)
Property Owner: Heather and Matt Potts
Zoning: R-1:B-10
General Plan: ML (Medium Low Density)
Flood Zone: X (Minimal Risk)

Project Data

	Code Standard	Existing	Proposed
Lot Area	10,000 SF	11,907 SF	No change
Floor Area (FAR)	20%	3,510 SF (29%)	3,327 SF (28%)
Building Coverage	20%	2,404 SF (20%)	2,429 SF (20%)
Front Setback	25'	24' 3"	No Change
Side Setback (East)	25'	12' 11"	No Change

	Code Standard	Existing	Proposed
Side Setback (West)	25'	2' 9"	No Change
Rear Setback	40'	House 18' 10"	No Change
Building Height	30'	House 28' 8"	House 29' 4"
Parking	3 (1 Covered)	(2 Covered)	No Change
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	7,138 SF	7,193 SF

Project Description:

The applicant requests approval from the Town Council for Design Review, Nonconformity Permit, and Hillside Lot Permit. The project will renovate the existing single-family residence consisting of interior and exterior remodel, which includes reconfiguring the front stairs of the home and adding a 17 square-foot (SF) porch with an overhang. The project will also convert the existing basement into a JADU and transfer the floor area to construct a 260 SF new primary suite on the second level that will be over existing space. The project will add a new roof that will match the existing. The exterior of the house will be painted navy blue with a creamy white trim. Additionally, the project will reconfigure parts of the front yard landscape, implement retaining walls, and install a new 6-foot gate.

A Nonconformity Permit is required to allow for the existing single-family residence, which is nonconforming with regards to the setbacks, floor area, and parking to be enlarged, extended, and structurally altered, without increasing further into the setback and no increase to the floor area is being proposed.

A separate application has been submitted for ministerial review of a Junior Accessory Dwelling Unit (JADU) Permit to construct a new JADU in the existing habitable basement. The ADU Permit application is not subject to discretionary review.

Impervious Surfaces:

The project proposes to increase impervious surfaces by about 55 square-feet (SF). The applicant will be required to provide 4 SF of bioretention by having the downspout to the second level addition lead to a rain garden per specifications from Public Works staff, contributing to effective stormwater management. The project is consistent with the Town's no net increase standard noted in RMC Section 18.41.100(t), Low Impact Development for Stormwater Management.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following approvals:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** to allow for construction of a new building exceeding 200 square feet of a new floor area; fences and gates greater than 48" in height adjacent to the street right-of-way; a project resulting in an increase to the existing roof height; a project resulting in over 1,000 square feet of new impervious landscape surface; and redevelopment, rehabilitation, and/or renovation of existing landscape over 2,500 square feet.
- **Nonconformity Permit is required pursuant to RMC 18.52.040** to enlarge, extend, reconstruct, or structurally alter existing nonconforming structures.
- **Hillside Lot Permit is required pursuant to RMC Section 18.39.020** for lots with a slope of 30 percent or more.

Background

The project site is an 11,907 square-foot irregular shaped lot on Wellington Avenue. The lot has an existing single-family residence and a detached garage. The property is located on the corner of Wellington and Baywood Avenue. The subject site has an average slope that is greater than 30%.

Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, (Exceptions for Attics), a Hillside Lot Permit, and/or a Variance.

On December 12, 2023, the proposed project was reviewed by the Advisory Design Review (ADR) group. The ADR members supported the project overall, however the ADR group provided feedback on the project, their focus centered on enhancing architectural details, particularly at the front porch addition, the garage door, and improving visibility of the front entry gate and landscaping. In response to these recommendations, the applicant updated the project plans. Notable improvements include the addition of a small sloping roof adjacent to the addition and the incorporation of new columns on the entry porch. Additionally, the plans were updated to present existing and proposed garage elevations. This involved enhancing the garage door's appearance to create the illusion of two doors, despite it being a single door. Furthermore, a 3D view of the front gate and landscaping has been added for a more comprehensive representation of the project. The Advisory Design Review Group (ADR) unanimously recommended that the project is consistent with the purpose of Design Review and the Design Review Criteria and standards per Section 18.41.100. The minutes from the ADR meeting are included as **Attachment 5**.

Discussion

On January 11, 2024, town building, planning, public works, and police staff, along with Ross Valley Fire District (RVFD) staff, met with the project applicant on site. The purpose of the site visit was to address neighbor concerns related to the Construction Management Plan and Vegetation Management Plan.

An updated Construction Management Plan, Sheet A0.7, has been provided for review and approval by town building, planning, public works and police staff. The plan includes management of worker vehicle parking, re-location of portable toilet, and areas for material storage. A preconstruction meeting with the property owner, contractor, architect, and town staff is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.

The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting shall be shielded and directed downward to avoid creating glare to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

The proposed project is subject to the following approvals pursuant to the Ross Municipal Code:

Design Review

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve, or deny an application for Design Review Approval. The Town Council shall include conditions necessary to meet the purpose of Design Review pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))
- The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))
- The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))

Town Council may consider the Design Review for this application as summarized below and supported by the findings in the attached Resolution (Exhibit "A").

The proposed project design is consistent with the scale and quality of existing development; preserves and enhances the historical “small town,” provides low-density character and identity that is unique to the Town of Ross; preserves lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The project is not monumental or excessively large in size and is compatible with other development in the neighborhood.

Nonconformity Permit

Many residential structures in the town do not conform to the requirements of this Zoning Code because they were established before the adoption of zoning or before residential floor area limits were established in 1967. The purpose of this section is to allow for the continued existence, reconstruction and modification of nonconforming residential structures, subject to limitations set forth in this section. The intent of these regulations is to protect historic buildings and those that contribute to the Town’s small-town character; to permit floor area nonconformities to be retained on site redevelopment where the design is appropriate; and to allow other nonconformities to be maintained when reasonable and where they create the same or fewer impacts than strict conformance with town regulations.

Pursuant to Sections 18.32.050 and 18.32.060, which establish development standards in the R-1:B-10 district, the minimum side setback is 25 feet, rear side setback is 40 feet, and front setback is 25 feet. The existing nonconforming structure does not meet the current code for front, rear and side yard setbacks. Pursuant to Section 18.52.030, the project requires a Nonconformity Permit to enlarge, extend, reconstruct, and/or structurally alter the existing residential structures which are nonconforming with respect to the setbacks.

Town Council may consider a Nonconformity permit, as summarized below and as supported by the findings in Exhibit “A”.

- (a) The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The property owner has the burden to prove by substantial evidence the nonconforming and legal status of the structure.
- (b) The Town Council can make the findings required to approve any required demolition permit for the structure: The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural, or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood, or the community.
- (c) The project substantially conforms to relevant design review criteria and standards in Section 18.41.100, even if design review is not required.
- (d) Total floor area does not exceed the greater of: a) the total floor area of the existing conforming

and or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations. The town shall apply the definition of floor area in effect at the time of the application for a nonconformity permit.

- (e) Granting the permit will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
- (f) The project will comply with the Flood Damage Prevention regulations in Chapter 15.36.
- (g) The Fire Chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the Fire Chief.
- (h) The applicant has agreed in writing to the indemnification provision in Section 18.40.180.
- (i) The site has adequate parking. For the purposes of this section, adequate parking shall mean that the site complies with at least the minimum number of parking spaces required for the zoning district (covered or not covered). If the site does not comply with the covered parking requirement; the Town Council may require covered parking to be provided.

The nonconforming structure was in existence prior to adoption of the Zoning Ordinance that now requires the above-mentioned side and front yard setbacks. The structure was constructed in 1915. The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural, or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood, or the community. The project conforms to the design review standards, and the proposed single-family home does not expand the nonconformity. The project will comply with all Flood regulations.

Hillside Lot Permit

Hillside areas are defined as parcels which have a slope of thirty percent or greater or are wholly or partially within Hazard Zones 3 or 4 as identified on the Town slope stability map. The purpose of Hillside designation includes: preserve significant features of the natural environment including watersheds, watercourses, canyons, knolls, ridgelines and rock outcroppings and minimize disturbance to the natural terrain; protect steep slopes, creeks, significant native vegetation, wildlife and other environmental resources; ensure that development will not create or increase fire, flood, slide or other hazards to public health and safety; protect the public health, safety and general welfare and the property of people in the vicinity of steep hillside building sites; and reduce the visual impacts of construction on hillsides and encourage building designs compatible with hillside areas.

Pursuant to Section 18.39.20 (b), the proposed project requires a Hillside Lot Permit for a project encroaching within the minimum required yard setbacks.

Staff recommends approval of the Hillside Lot Permit as summarized below and by the findings in Exhibit "A" in the attached Resolution.

The proposed project protects and preserves public and private open space; significant features of the natural environment; includes steep slopes, creeks, significant native vegetation, and wildlife and other environmental resources. Development is limited to a level consistent with available public services and road access that can be reasonably provided to and within the parcel. Development will not create or increase fire, flood, slide or other hazards to public health and safety. Design is well articulated to minimize the appearance of bulk. Materials and colors are of subdued tones and blend with the natural landscape. Development minimizes the obstruction of views from surrounding properties and public vantage points, with particular care taken to protect primary views.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impact on the Town associated with the project.

Alternative actions

1. Continue the item to gather further information, conduct further analysis, or revise the project;
2. Add to the conditions of approval, or
3. Make findings to deny the application.

Environmental Review

The project is categorically exempt under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction), Section 15303 (Construction of Small Structures), and Section 15311 (Accessory Structures).

Public Comment

Public Notices were mailed to property owners within 500 feet of the project site 10 days prior to the meeting date pursuant to the Ross Municipal Code. Comments received from the public are included as **Attachment 4**. The comments include concerns regarding parking, construction, and the location of the portable toilet. The Construction Management Plan has been updated to relocate the portable toilet to the front yard and encourage carpool and shuttling for workers. Conditions of approval state the following requirements:

- Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of

the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).

- Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- The plans submitted for a building permit shall include a detailed Construction and Traffic Management Plan for review and approval by town staff. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, and traffic control. Pursuant to Ross Municipal Code Section 9.20.060, it is unlawful for any person or construction company within the town limits to perform any construction operation before 8 a.m. or after 5 p.m., Monday through Friday of each week and not at any time on Saturday, Sunday, or the other holidays listed above. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited during the Working Hours noted in RMC Section 9.20.060, and that all project deliveries shall occur during the allowable working hours as identified above. The Traffic Management Plan shall include flaggers for drop-off and deliveries and how the permittee will ensure 12-foot drive aisles for emergency vehicle access at all times.

Residents are encouraged to call (415) 453-2727 to report construction-related noise before 8 AM and after 5 PM, and to report illegal parking.

Attachments

1. Resolution No. 2401
2. Project Plans
3. Project Application and Materials
4. Public Comments
5. Minutes from the December 12, 2023, ADR Meeting

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2401

RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, NONCONFORMITY PERMIT, AND HILLSIDE LOT PERMIT TO RENOVATE THE INTERIOR AND EXTERIOR SINGLE-FAMILY RESIDENCE WHICH INCLUDES RECONFIGURING THE FRONT STAIRS, PORCH AND CONSTRUCT A 260 SF NEW PRIMARY SUITE ON THE SECOND LEVEL AT 65 WELLINGTON AVENUE A.P.N. 072-071-08

WHEREAS, the applicant, Sutro Architects, on behalf of property owners, Heather and Matthew Potts, submitted an application requesting approval of Design Review, Nonconformity Permit, and Hillside Lot Permit to renovate the existing single-family residence consisting of interior and exterior remodel, which includes reconfiguring the front stairs of the home and adding a 17 square-foot (SF) porch with an overhang. The project will also convert the existing basement into a JADU and transfer the floor area to construct a 260 SF new primary suite on the second level that will be over existing space. The project will add a new roof that will match the existing. The exterior of the house will be painted navy blue with a creamy white trim. Additionally, the project will reconfigure parts of the front yard landscape, implement retaining walls, and install a new 6-foot gate. The proposal includes replacing the existing two-door garage with a single, 2-car garage door at 65 Wellington Avenue APN 072-071-08 (herein referred to as “the Project”).

WHEREAS, the Project is determined to be exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the demolition and reconstruction of a single-family residence, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination; and

WHEREAS, on March 14, 2024, the Town Council held a duly noticed public hearing to consider the Project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves Design Review, Nonconformity Permit, and a hillside Lot Permit to approve the Project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 14th day of March 2024, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cyndie Martel, Town Clerk

Elizabeth Brekhus, Mayor

**EXHIBIT A
FINDINGS
65 Wellington Avenue
A.P.N. 072-071-08**

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical “small town,” provides very low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.

As recommended by the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The site would be kept in harmony with the general appearance of neighboring landscape. Lot coverage and building footprints would be minimized, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Buildings use materials and colors that minimize visual impacts and blend with the existing landforms and vegetative cover, including wood and stone. Good access, circulation and off-street parking would be provided consistent with the natural features of the site. Open fencing would be aesthetically attractive and not create a “walled-in” feeling or a harsh, solid expanse. Landscaping would be integrated into the architectural scheme to accent and enhance the appearance of the development, including attractive, fire-resistant, native species and replacement trees for trees removed by development. Landscaping would create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire. The Project would maximize permeability and reduce the overall impervious surface coverage on the property, by removing existing impervious surfaces to more than offset the new development, so that the post-development stormwater runoff rates from the site would be no greater than pre-project rates.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The Project is consistent with the allowed uses and general development standards associated with the Medium Low-Density land use designation of the General Plan, the Single-

Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

II. In accordance with Ross Municipal Code (RMC) Section 18.52.030 (c), Nonconformity Permit is approved based on the following mandatory findings:

(a) The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The property owner has the burden to prove by substantial evidence the nonconforming and legal status of the structure.

The existing nonconforming single-family home was originally constructed in approximately 1923 per the records from the County Assessor.

(b) The Town Council can make the findings required to approve any required demolition permit for the structure: The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.

A demolition permit is not required pursuant to per RMC Chapter 18.50

(c) The project substantially conforms to relevant design review criteria and standards in Section 18.41.100, even if design review is not required.

As described in the Design Review findings in Section I above, the project is consistent with the Design Review criteria and standards per RMC Section 18.41.100.

(d) Total floor area does not exceed the greater of: a) the total floor area of the existing conforming and or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations. The town shall apply the definition of floor area in effect at the time of the application for a nonconformity permit.

The proposed project will not result in any increase to the existing nonconforming floor area.

(e) Granting the permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

The project will promote public health, safety and welfare, and avoid material injury to properties and improvements in the vicinity. The subject project will be constructed in compliance with all building and fire codes.

(f) The project will comply with the Flood Damage Prevention regulations in Chapter 15.36.

The project is not in the flood plain.

- (g) The Fire Chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the Fire Chief.**

Adequate access and water supply exist for firefighting purposes.

- (h) The applicant has agreed in writing to the indemnification provision in Section 18.40.180.**

Condition of Approval No. 9 requires indemnification pursuant to RMC Section 18.40.180.

- (i) The site has adequate parking. For purposes of this section, adequate parking shall mean that the site complies with at least the minimum number of parking spaces required for the zoning district (covered or not covered). If the site does not comply with the covered parking requirement, the Town Council may require covered parking to be provided.**

The project maintains the existing two parking spaces available on site in the garage.

III. In accordance with Ross Municipal Code (RMC) Section 18.48.010(c), a Hillside Lot Permit is approved based on the following mandatory findings:

- (a). The project complies with the stated purposes of Chapter 18.39.**

The proposed project protects and preserves public and private open space; significant features of the natural environment; includes steep slopes, creeks, significant native vegetation, and wildlife; and, other environmental resources. Development is limited to a level consistent with available public services and road access that can be reasonably provided to and within the parcel. Development will not create or increase fire, flood, slide or other hazards to public health and safety.

- (b). The project complies with the development regulations of Section 18.39.090, or that the Town Council has considered and approved a variance.**

Graded slopes do not exceed 2:1. Development adheres to the wildland urban interface building standards within the California Building Standards Code. The project would produce no net increase in peak runoff from the site compared to pre-project conditions. Consistent with Chapter 18.48, findings are recommended to support the requested Variance to allow for the proposed setback encroachments on a Hillside Lot.

- (c). The project substantially conforms to the hillside development guidelines in Section 18.39.090.**

Architectural design complements the form of the natural landscape. Design is well-articulated to minimize the appearance of bulk. Materials and colors are of subdued tones to blend with the natural landscape. The existing nonconforming residence and the placement conform to the natural contours of the site. Development minimizes the obstruction of views from surrounding properties and public vantage points, with particular care taken to protect primary views.

EXHIBIT B
CONDITIONS OF APPROVAL
65 Wellington Avenue
A.P.N. 072-071-08

1. The building permit shall substantially conform to the plans entitled, "Potts Residence" dated December 20, 2023, and reviewed and approved by the Town Council on March 14, 2024.
2. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way. If requested by the applicant, the Town of Ross may issue an encroachment permit to place a debris box in the public right-of-way at the beginning of the project at 65 Wellington Avenue. The maximum duration of the encroachment permit shall not exceed 14 calendar days.
3. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. The applicant shall provide 4 square-feet of bioretention by having the downspout to the second level addition lead to a rain garden per specifications from Public Works staff.
5. Consistent with the Construction Management Plan submitted by the applicant and reviewed by the Advisory Design Review (ADR) Group on December 12, 2023, carpooling will be mandatory for both contractor and subcontractors to limit the amount of vehicles on Wellington Ave.
6. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.

Standard Conditions of Approval

7. This approval shall expire without notice two years after the approval date unless construction or other authorized action has commenced. Once a building permit has been issued for the approved project, the approval shall remain valid as long as the building permit remains in effect.
8. The Project shall comply with the Fire Code and all requirements of the Ross Valley Fire Department (RVFD).

9. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
10. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
11. A Tree Permit shall not be issued until the project grading or building permit is issued.
12. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
 - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
 - b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
 - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
 - d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include a signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
 - e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for

a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.

- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the Building Official/Public Works Director.
- g. The plans submitted for a building permit shall include a detailed Construction and Traffic Management Plan for review and approval by town staff. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, and traffic control. Pursuant to Ross Municipal Code (RMC) Section 9.20.060, it is unlawful for any person or construction company within the town limits to perform any construction operation before 8 a.m. or after 5 p.m., Monday through Friday of each week and not at any time on Saturday, Sunday, or the other holidays listed in RMC Section 9.20.060. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited outside of the working hours noted in RMC Section 9.20.060, and that all project deliveries shall occur during the allowable working hours identified above. The Traffic Management Plan shall include flaggers for drop-off and deliveries and how the permittee will ensure 12-foot drive aisles for emergency vehicle access at all times.
- h. The applicant shall submit a schedule that outlines the scheduling of the site development to town staff. The schedule must clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- i. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- j. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- k. The Building Inspector and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- l. Inspections shall not be provided unless the Town-approved building permit plans are available on site.

- m. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- n. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- o. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
- p. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- q. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- r. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- s. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project

final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.

- t. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
 - u. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
 - v. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
 - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
13. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding (“action”) against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2



65 WELLINGTON RESIDENCE

65 WELLINGTON AVE. ROSS, CA 94960

ABBREVIATIONS

&	and	HD.	head	S.L.D.	see landscape drawings
<	angle	HDR.	header	S.M.D.	see mechanical drawings
@	at	HGR.	hanger	S.P.D.	see plumbing drawings
#	pound or number	H.M.	hollow metal	SPEC.	specification
±	plus or minus	HORIZ.	horizontal	SQ.	square
A.B.	anchor bolt	HR.	hour		stainless steel
A.C.	air conditioning	H.R.	handrail		station
A.D.	area drain	HT.	height	STA.	stainless steel
ADJ.	adjustable	H.W.H.	hot water heater	ST STL.	see structural drawings
A.F.F.	above finish floor			S.S.D.	standard
AGGR.	aggregate	I.D.	inside diameter	STD.	steel
ALT.	alternate	IN.	inch	STN.	stone
ALUM.	aluminum	INSUL.	insulation	STOR.	storage
APPROX.	approximate	INT.	interior	STRUC.T.	structural
ARCH.	architectural	INTER.	intermediate	SUSP.	suspended
		JST.	joist	S.V.	sheet vinyl
B.B.	butcher block	JT.	joint	S.W.	shear wall
BD.	board			SYM.	symmetrical
BITUM.	bituminous			SYS.	system
BLDG.	building	LAM.	laminated		
BLK.	block	LAV.	lavatory		
BLKG.	blocking	L.B.	load bearing		
BM.	beam	LT.FIXT	light fixture	T.O.C.	top of curb
B.O.	bottom of	LN.	linear	TEL.	telephone
B.P.	building paper	LN.	line	TEMP.	tempered
B.R.	brick	LT.	light	TER.	terrace
B.TWN.	between			T & G	tongue & groove
		MACH.	machine	THK.	thick
C.	centerline	MAINT.	maintenance	THRU.	through
CAB.	cabinet	MAT.	material	T.M.E.	to match existing
CEM.	cement	MAX.	maximum	T.N.	tie nailed
CER.	ceramic	MECH.	mechanical	T.O.C.	top of concrete
CHIM.	chimney	MEMB.	membrane	T.O.P.	top of plate
C.J.	control joint	MTL.	metal	T.O.PLY	top of plywood
CLG.	ceiling	MFR.	manufacturer	T.O.W.	top of wall
CLKG.	caulking	MIN.	minimum	T.V.	television
CLOS.	closet	MIR.	mirror	TYP.	typical
CLR.	clear	MISC.	miscellaneous		
C.M.U.	concrete masonry unit	MSRY.	masonry	U.B.C.	uniform building code
C.O.	clean out	MTD.	mounted	UNEXC.	unexcavated
CCL.	column	MUL.	mullion	UNF.	unfinished
CONC.	concrete			U.O.N.	unless otherwise noted
COND.	condition	(N)	new	V.C.T.	vinyl composition tile
CONN.	connection	N.	north	VEN.	vener
CONSTR.	construction	N.I.C.	not in contract	VERT.	vertical
CONT.	continuous	NO. ORF	number	VEST.	vestibule
CPR.	copper	NOM	nominal	V.I.F.	verify in field
CPT.	carpet	N.T.S.	not to scale	VOL.	volume
CTR.	center				
C.W.	cold water	O.	owner		west or washer
D.	dryer	O.A.	overall		with
DBL.	double	OBS.	obscure	W.C.	water closet or wall covering
DEPT.	department	O.C.	on center	WD.	wood
DET.	detail	O.D.	outside diameter	W/D.	washer / dryer
DIA.	diameter	OFF.	office	W.H.	water heater
DIM.	dimension	OPNG.	opening	WO	without
DISP.	dispenser	OPP.	opposite	W.P.	work point
DN.	down			W.P.M.	waterproof membrane
DR.	door	P.	pole	WT.	weight
D.S.P.	dry standpipe	PAC	pacific	W.R.	water resistant
D.W.	dishwasher	PBWL	paper backed wire lath	W.W.M.	welded wire mesh
DWG.	drawing	PERIM.	perimeter	W.W.F.	welded wire fabric
DWR.	drawer	PG & E	pacific gas & electric company		
		P.I.P.	poured in place		
		PL.	plate		
		P.LAM.	plastic laminate		
		P.L.S.	plaster		
		PLYWD.	plywood		
		PNL.	panel		
		PNT.	paint		
		PR.	pair		
		P.S.I.	per square inch		
		PT.	point		
		P.T.	pressure treated		
		PTD.	pointed		
		Q.T.	quarry tile		
		(R)	existing to be removed		
		R.	riser		
		R.A.	return air		
		RAD.	radius		
		R.C.P.	reflected ceiling plan		
		R.D.	roof drain		
		REC.	recessed		
		REF.	reference		
		REFL.	reflected		
		REFR.	refrigerator		
		REG.	register		
		REIN.	reinforced		
		REMOV.	removable		
		REQD.	required		
		RESIL.	resilient		
		RET.	retaining		
		REV.	revision, revised, reversed		
		RM.	room		
		R.O.	rough opening		
		RWD.	redwood		
		R.W.L.	rain water leader		
		S.	south		
		S.A.D.	see architectural drawings		
		S.C.	solid core		
		S.C.E.D.	see civil engineering drawings		
		SCHED.	schedule		
		S.D.	soap dispenser/dish		
		SECT.	section		
		SEP.	separation		
		SERV.	service		
		SH.	shelf		
		SH.	sheath		
		S.H.	sprinkler head		
		SHR.	shower		
		SHT.	sheet		
		SHTG.	sheathing		
		SHM.	similar		
		SL.	sliding		

PROJECT DIRECTORY

OWNER:	HEATHER & MATTHEW POTTS 65 WELLINGTON AVE. ROSS, CA 94960	HEATHER POTTS heather711@gmail.com MATTHEW POTTS matthew.potts.17@gmail.com
ARCHITECT:	SUTRO ARCHITECTS 1055 POST STREET SAN FRANCISCO, CA 94109	STEPHEN SUTRO SSUTRO@SUTROARCHITECTS.COM 415.956.3445. JOHN SIMENIC JSIMENIC@SUTROARCHITECTS.COM
CONTRACTOR:	GHIRADELLI CONSTRUCTION 945 GROSVENOR PLACE OAKLAND CA 94610	NICK GHIRARDELLI Nick.ghirardelli@gmail.com

SYMBOL LEGEND

ROOM NAME	Room name 101 150 SF
WALL TYPE	1
DOOR TYPE	101(E)
WINDOW TYPE	2008(E)
RCP ELEVATION	
FINISH FLR ELEVATION	
ELEVATION DAUTM	Name Elevation
SECTION	1 SIM A101
DETAIL	1 SIM A101
ELEVATION	1 Ref A101 1 Ref A101 1 Ref A101
INTERIOR ELEVATION	1 Ref A101 1 Ref A101
COLUMN GRIDLINE	0

SITE DATA:

PROJECT NAME:	POTTS RESIDENCE
PROJECT TYPE:	RESIDENTIAL RENOVATION
PROJECT ADDRESS:	65 WELLINGTON AVE. ROSS, CA 94960
DESCRIPTION OF WORK:	EXISTING SINGLE-FAMILY HOME, CONVERT BASEMENT INTO JADU, 2ND FLOOR ADDITION AT PRIMARY SUITE, INTERIOR REMODEL, NEW ROOF, LANDSCAPE AND RETAINING WALL ADJUSTMENTS AT PROPERTY ENTRY.
BUILDING DATA:	
APPLICABLE BUILDING CODES:	1. 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 GREEN BUILDING CODE 2022 CALIFORNIA ENERGY CODE 2. AND ALL APPLICABLE FEDERAL, STATE, COUNTY, AND ALL LOCAL AMENDMENTS TO THE ABOVE CODE
TYPE OF CONSTRUCTION:	TYPE V
SPRINKLER PROTECTION:	EXISTING: UNSPRINKLERED; PROPOSED: SPRINKLERED
OCCUPANCY TYPE / USE:	R-3 SINGLE FAMILY RESIDENCE
ASSESSOR'S BLOCK / LOT:	072-071-08
ZONING DISTRICT:	R-1, B-10 - SINGLE FAMILY RESIDENTIAL, HILLSIDE LOT PER SLOPE HAZARD ZONE MAP
NO. OCCUPIED FLOORS:	3
NO. OF STORIES:	2 O/ BASEMENT
NO. OF BASEMENTS:	1
WILDLAND URBAN INTERFACE:	YES
MAX. ALLOWABLE HEIGHT:	30'-0"
BUILDING HEIGHT:	EXISTING: 28'-8" PROPOSED: 29'-4 3/4"
LOT AREA:	11,907.8 SF

PROJECT CALCS FOR SINGLE PARCEL:

FLOOR AREAS - HABITABLE AND GARAGE			
	EXISTING SF	PROPOSED SF	
GARAGE	393	393	
BASEMENT	588	145	
JADU	0	466	
LEVEL 1 - HABITABLE	1,316	1,316	
LEVEL 2 - HABITABLE	1,213	1,473	
SUBTOTAL:	3,510	3,793	
FLOOR AREA RATIOS:			
	EXISTING SF	PROPOSED SF	
GARAGE	393	393	
BASEMENT	588	145	
LEVEL 1	1,316	1,316	
LEVEL 2	1,213	1,473	
SUBTOTAL:	3,510	3,327	
FLOOR AREA RATIOS:			
ALLOWED	EXISTING	PROPOSED	
20% OR MATCH EXISTING	3,510/11,907.8 = 29%	3,327/11,907.8 = 28%	
BUILDING COVERAGE RATIOS:			
ALLOWED	EXISTING	PROPOSED	
20% OR MATCH EXISTING	2,404 SF / 11,907.8 SF = 20%	2,429 SF / 11,907.8 SF = 20%	
PERVIOUS VS. IMPERVIOUS:			
	EXISTING	PROPOSED	
IMPERVIOUS	7,138 SF / 11,907.8 SF = 60%	7,193 SF / 11,907.8 SF = 60.5%	
PERVIOUS	4,767 SF / 11,907.8 SF = 40%	4,712 SF / 11,907.8 SF = 39.5%	
GRADING IN CUBIC YARDS:			
CUT	FILL	OFF-HAUL	
12	5	7	
PARKING: (2 REQUIRED 1 OF WHICH IS TO BE COVERED PER 18.14.080)			
	EXISTING (SEE A2.4)	PROPOSED (SEE A2.4)	
	2 SPACES COVERED	2 SPACES COVERED	
SETBACK:			
	REQUIRED	EXISTING	PROPOSED
FRONT YARD	25'-0"	24'-3"	24'-3"
REAR YARD	40'-0"	18'-10 1/2"	18'-10 1/2"
SIDE YARDS	25'-0"	E: 43'-2 1/2" W: 1'-6"	E: 43'-2 1/2" W: 1'-6"

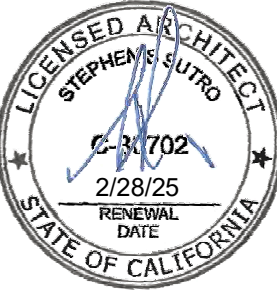
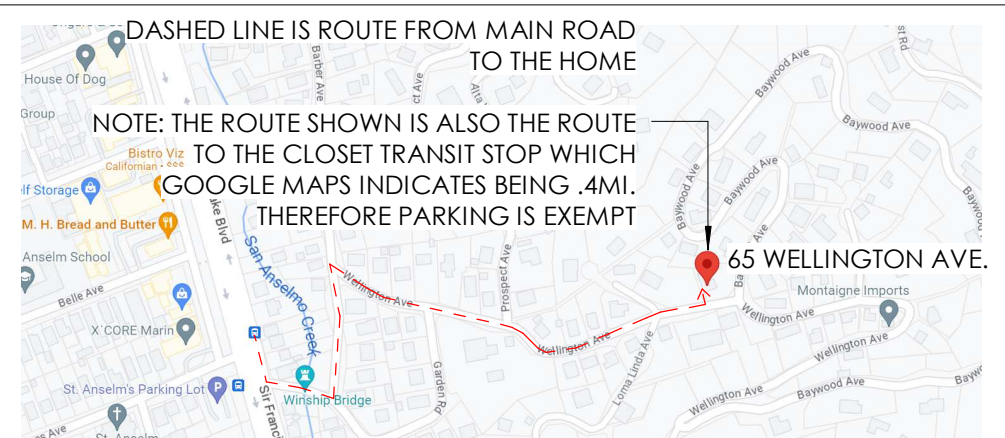
SHEET INDEX

ADR CMNT B2	ADR SUBMITTAL	SHEET NUMBER	SHEET NAME
		A0.1	COVER
		A0.7	CONSTRUCTION MANAGEMENT PLAN
		A0.8	EROSION CONTROL PLAN
		A1.0	EXISTING SITEPLAN
		A1.1	PROPOSED SITEPLAN
		A1.2	STORY POLE PLAN - PROPOSED
		A1.3	EXTERIOR LIGHTING & LANDSCAPE PLAN
		A1.5	VEGETATION MANAGEMENT PLAN
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		A2.0	EXISTING - BASEMENT PLAN
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		A2.8	PROPOSED - ROOF PLAN
		A4.0	ELEVATION - EXISTING & PROPOSED NORTH
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		A4.5	SECTION - EXISTING/ PROPOSED LONGITUDINAL
		A4.6	SECTION - EXISTING & PROPOSED CROSS SECTION

GENERAL NOTES

- VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED UNIFORM BUILDING CODE (UBC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTANT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
- ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.6 GALLONS. ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 2.5 GALLONS PER MINUTE, AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
- SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 420).
- GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (UBC 5406 (D) 5)
- SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 70" OR GREATER ABOVE DRAIN INLET.
- INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

VICINITY MAP/SITE PLAN



ADR SUBMITTAL	08/18/23
ADR CMNT2	12/20/23

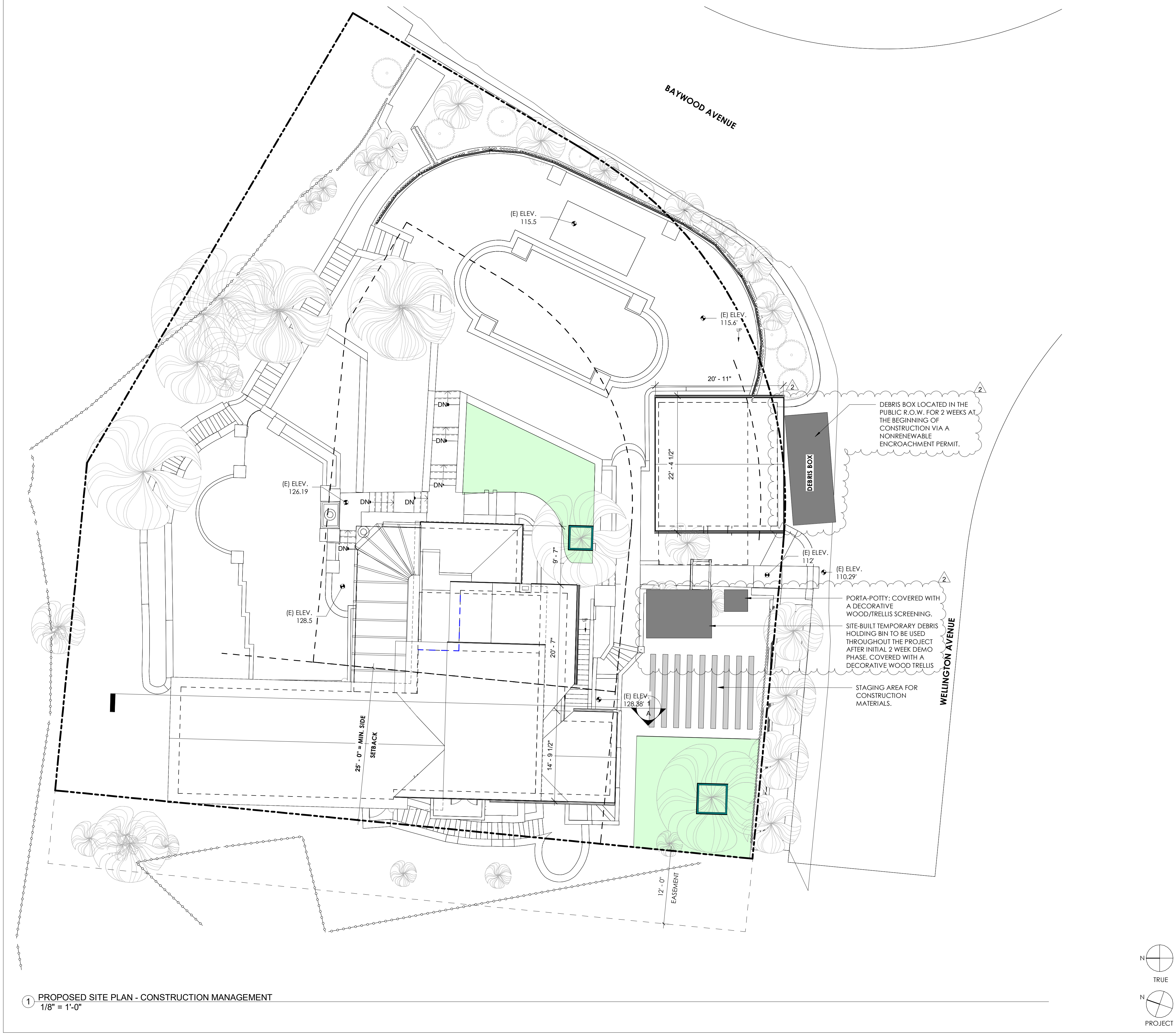
COVER

As indicated

A0.1

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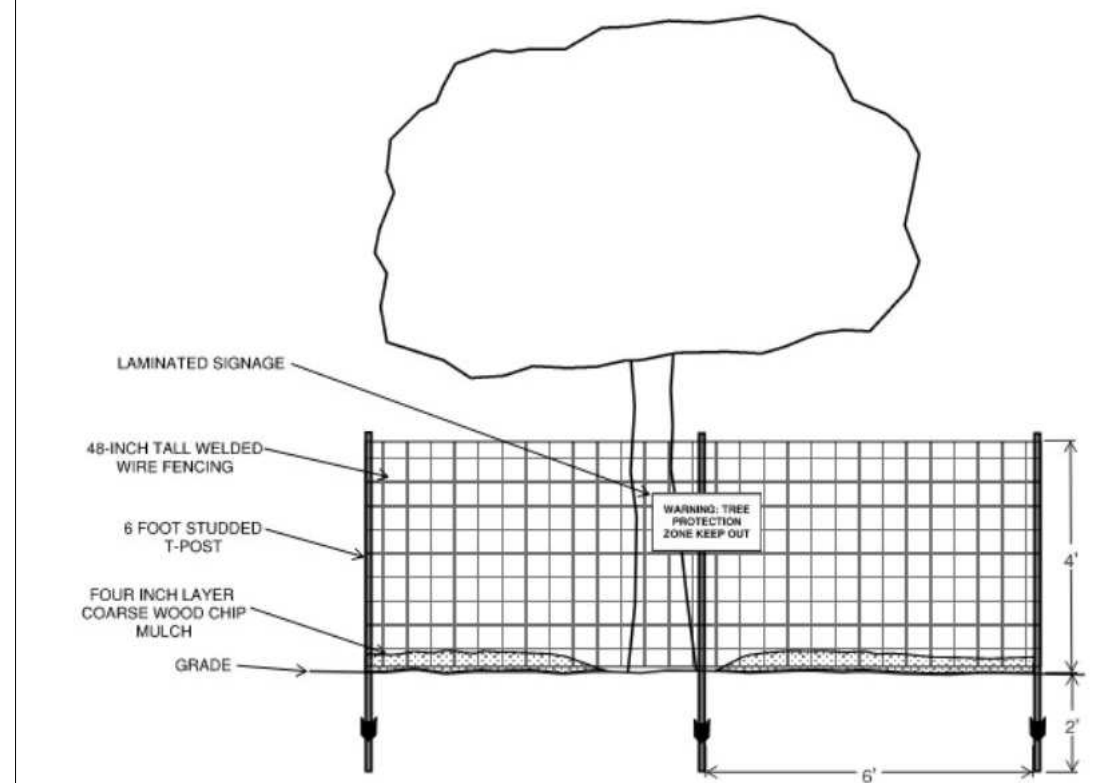


1 PROPOSED SITE PLAN - CONSTRUCTION MANAGEMENT
1/8" = 1'-0"

DESCRIPTION OF CONSTRUCTION MANAGEMENT

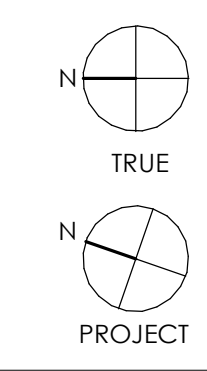
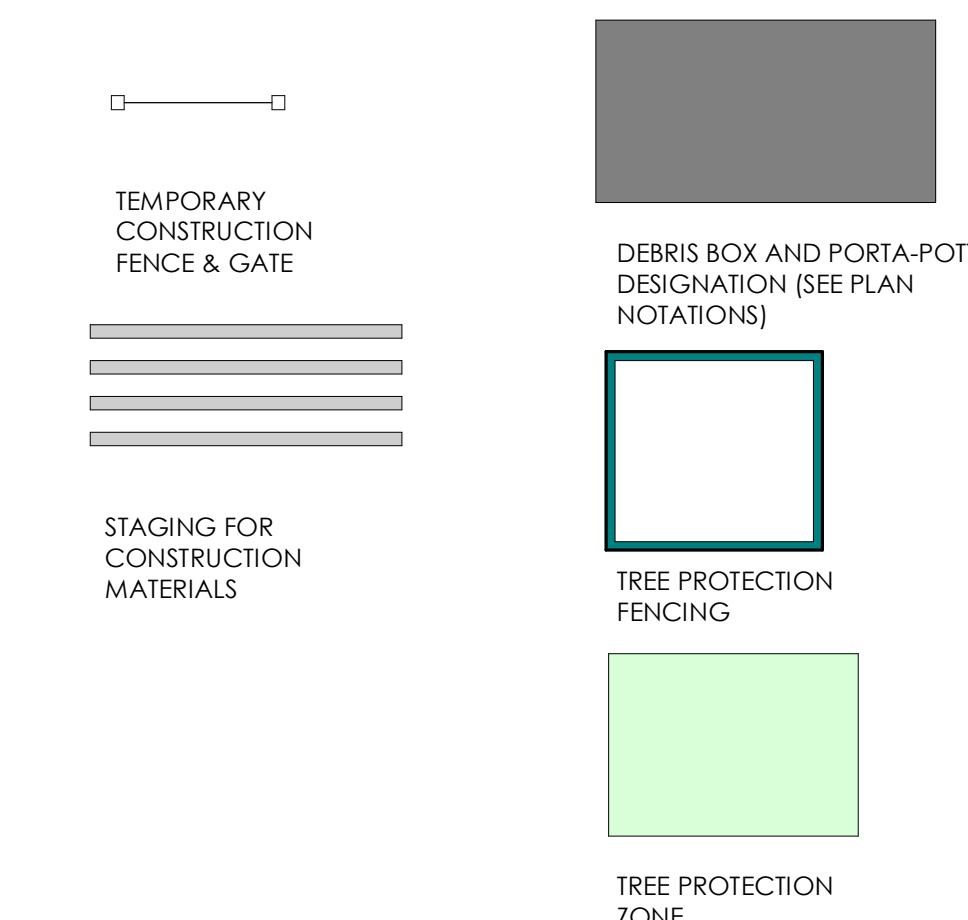
1. **CONSTRUCTION SCHEDULE:**
 - A) THE PROJECT IS ANTICIPATED TO TAKE 18 MONTHS TO FROM START TO FINISH.
 - B) HOURS OF CONSTRUCTION HOURS WILL BE FROM 8AM TO 5PM, MONDAY TO FRIDAY.
 - C) NO WORK SHALL PERFORMED ON THE FOLLOWING DAYS : DECEMBER 25TH, JANUARY 1ST ,JULY 4TH , LABOR DAY, MLK DAY, MEMORIAL DAY, PRESIDENTS DAY, THANKSGIVING, OR VETERANS DAY.
2. **SITE ACCESS DURING CONSTRUCTION:**
 - A) PARKING IS AVAILABLE ON THE STREET.
 - B) DEBRIS BOX LOCATION WILL LIKELY NEED AN ENCROACHMENT PERMIT AS THERE IS NO PLACE ON THE PROPERTY.
 - C) CONSTRUCTION MATERIALS WILL BE STORED IN ON THE EXISTING PROPERTY IN THE FRONT YARD
 - D) DELIVERIES & SHORT TERM ACCESS TO BE UTILIZED THROUGH THE FRONT GATE AREA NEXT TO DRIVEWAY OFF OF WELLINGTON AVE.
 - E) ALL NEIGHBORS WILL BE NOTIFIED 121 WEEKS IN ADVANCE OF CONSTRUCTION COMMENCING. IF THEY REQUEST, THE CONTRACTOR WILL PROVIDE CONSTRUCTION BULLETINS AND UPDATES TO THE SCHEDULE. THE NEIGHBORS WILL BE PROVIDED WITH THE CONTRACTORS CONTACT DETAILS.
3. **CONSTRUCTION CREW, MATERIALS & PARKING:**
 - A) THE AVERAGE CONSTRUCTION CREW IS ANTICIPATED TO BE (6) TO (10) PERSONS EACH DAY DEPENDING ON SUB-CONTRACTORS AND ACTIVITY BEING PERFORMED.
 - B) CONSTRUCTION MATERIALS, TOOLS AND EQUIPMENT WILL BE STORED INSIDE OF THE FENCED PROPERTY LINE.
 - C) ALL MATERIALS STAGING, SAWING AND ASSEMBLY WORK WILL TAKE PLACE ON THE PROPERTY WITHOUT ENCROACHMENT TO THE NEIGHBORS.
 - D) CARPOOLING AND SHUTTILING WORKERS TO THE SITE WILL BE ENCOURAGED FOR BOTH CONTRACTOR AND SUB-CONTRACTORS TO LIMIT THE AMOUNT OF VEHICLES ON WELLINGTON AVE.
 - E) SHORT TERM PARKING TO OCCUR OFFSITE AND DROP-OFF TO OCCUR THROUGH FRONT GATE OFF OF WELLINGTON AVE. OR SIDE GATE OFF OF BAYWOOD AVE.
4. **SANITARY FACILITIES:**
 - A) A PORTABLE TOILET WILL BE PLACED ON THE PROPERTY, EASILY ACCESSIBLE FROM THE SIDE GATE ON BAYWOOD AVE. AND HOUSED BY A PLYWOOD STRUCTURE FOR A MORE DEMURE APPEARANCE.

TREE PROTECTION DETAIL



1. Four foot tall welded wire fencing shall be used to create the Tree Protection Zone (TPZ) as shown on the Arborist's Map. Orange Plastic construction fencing may be placed on the outside of the wire fencing but is not a substitute for the wire fencing.
2. Fencing shall be supported by six foot tall studded metal T-posts installed six feet on center.
3. Material storage is not permitted within the TPZ.
4. Laminated signs shall be attached to fencing and read "Warning: Tree Protection Zone Keep Out" in English and Spanish. Signs shall be kept visible throughout the project. Failure to comply with the tree protection plan may result in a Stop Work order.

KEY



ADR SUBMITTAL 08/18/23
ADR CMNT2 12/20/23

CONSTRUCTION MANAGEMENT PLAN

As indicated

A0.7

SUTRO ARCHITECTS
 415.956.3445
 sutroarchitects.com
 1055 Post Street, San Francisco, CA 94109
 65 WELLINGTON AVENUE
 SAN ANSELMO, CA 94960

2/14/2024 9:32:53 AM

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GENERAL NOTES

- SEE PROPOSED ELEVATIONS AND SECTIONS FOR EXISTING AND PROPOSED GRADE MARKERS WHICH HIGHLIGHTS PROPOSED HEIGHT OF BUILDING.
- SEE WEST ELEVATION FOR NEIGHBOR WINDOW LOCATIONS AND SIZES.

SITEPLAN LEGEND #

---	PROPERTY LINE	N	N
---	AREA OF WORK	PROJECT	TRUE
---	SETBACK LINE		
---	BLDG EXTENTS		
X.XX	ELEVATION MARKER		
[Pattern]	PLANTED AREA	[Symbol]	TREE - TO BE REMOVED
[Pattern]	PLANTING BED	[Symbol]	TREE - EXISTING
[Pattern]	COMPACTED, DECOMPOSED GRANITE O/ GEOGRID	[Symbol]	SHRUB AND/OR HEDGE
[Pattern]	CONCRETE	[Symbol]	(E) WD FENCE
[Pattern]	BRICK PAVING	[Symbol]	(E) WD AND WIRE FENCE
		[Symbol]	(E) WIRE FENCE

SITEPLAN KEYNOTES

NO.	NOTE
1	(E) WOOD FENCE. CONFIRM IF 5'-0" ABOVE GRADE. REPLACE IN-KIND TO BE 5'-0" ABOVE GRADE TO COMPLY WITH CA HEALTH & SAFETY CODE SECTION 115923
2	(E) RETAINING WALL
3	EDGE OF PAVEMENT
4	UTILITY VAULT
5	CONCRETE DRIVEWAY
6	STOP SIGN
7	BRICK STEPS
8	BBQ AREA
9	4" STORM DRAIN TO GROUND
10	ELEC. METER
11	(E) CHIMNEY
12	(E) BRICK RETAINING WALL
13	GAS METER
14	PLANTED AREA
15	(N) CONCRETE RETAINING WALL TO FOLLOW GRADE AND/OR STAIRS AS REQ'D
16	WOOD RETAINING WALL
17	(N) STAIR AT GRADE
18	LEVEL OUT EXISTING FRONT LAWN
19	(E) OUTDOOR FIREPLACE
20	(N) FRONT PORCH ENTRY ADDITION OF 17 SF WITH NEW ROOF ABOVE
21	2ND FLOOR ADDITION OVER EXISTING LEVEL 1 SPACE
22	RECONFIGURED ENTRY STAIRS
23	(N) ROOF AND FRAMING
24	(N) FRONT GATES. SEE 1/A4.4. ALL POINTS OF GATE TO BE 6'-0" OR LESS ABOVE GRADE

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EXISTING SITEPLAN

1/8" = 1'-0"

A1.0

1/31/2024 5:53:44 PM

1 EXISTING SITE PLAN
 1/8" = 1'-0"

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7 BAYWOOD AVE.
APN: 072-071-02
LOT 2

23 BAYWOOD AVE.
APN: 072-071-03
LOT 3

55 WELLINGTON AVE.
APN: 072-071-07
LOT 7

65 WELLINGTON AVE.
APN: 072-071-08

1 PROPOSED SITE PLAN
1/8" = 1'-0"

GENERAL NOTES

- SEE PROPOSED ELEVATIONS AND SECTIONS FOR EXISTING AND PROPOSED GRADE MARKERS WHICH HIGHLIGHTS PROPOSED HEIGHT OF BUILDING.
- SEE WEST ELEVATION FOR NEIGHBOR WINDOW LOCATIONS AND SIZES.

SITEPLAN LEGEND #

---	PROPERTY LINE	N	N
---	AREA OF WORK	PROJECT	TRUE
---	SETBACK LINE		
---	BLDG EXTENTS		
X.XX	ELEVATION MARKER		
[Pattern]	PLANTED AREA	[Symbol]	TREE - TO BE REMOVED
[Pattern]	PLANTING BED	[Symbol]	TREE - EXISTING
[Pattern]	COMPACTED, DECOMPOSED GRANITE O/ GEOGRID	[Symbol]	SHRUB AND/OR HEDGE
[Pattern]	CONCRETE	[Symbol]	(E) WD FENCE
[Pattern]	BRICK PAVING	[Symbol]	(E) WD AND WIRE FENCE
		[Symbol]	(E) WIRE FENCE

SITEPLAN KEYNOTES

NO.	NOTE
1	(E) WOOD FENCE. CONFIRM IF 5'-0" ABOVE GRADE. REPLACE IN-KIND TO BE 5'-0" ABOVE GRADE TO COMPLY WITH CA HEALTH & SAFETY CODE SECTION 115923.1 TYP. ALONG ENTIRE FRONTAGE. AT BAYWOOD. FENCE TO BE NO HIGHER THAN 6' ABOVE GRADE AND AT EXISTING AND NEW PORTIONS OF FENCE THE VOIDS ARE TO BE FILLED WITH WOOD MEMBERS SO AS TO MAKE FOR A SOLID FENCE.
2	(E) RETAINING WALL
3	EDGE OF PAVEMENT
4	UTILITY VAULT
5	CONCRETE DRIVEWAY
6	STOP SIGN
7	BRICK STEPS
8	BBO AREA
9	4" STORM DRAIN TO GROUND
10	ELEC. METER
11	(E) CHIMNEY
12	(E) BRICK RETAINING WALL
13	GAS METER
14	PLANTED AREA
15	(N) CONCRETE RETAINING WALL TO FOLLOW GRADE AND/OR STAIRS AS REQ'D
16	WOOD RETAINING WALL
17	(N) STAIR AT GRADE
18	LEVEL OUT EXISTING FRONT LAWN
19	(E) OUTDOOR FIREPLACE
20	(N) FRONT PORCH ENTRY ADDITION OF 17 SF WITH NEW ROOF ABOVE
21	2ND FLOOR ADDITION OVER EXISTING LEVEL 1 SPACE
22	RECONFIGURED ENTRY STAIRS
23	(N) ROOF AND FRAMING
24	(N) FRONT GATES. SEE 1/A4.4. ALL POINTS OF GATE TO BE 6'-0" OR LESS ABOVE GRADE

FRONT YARD GRADING:

EXISTING ELEVATION	PROPOSED ELEVATION
1. 120.3'	116.1'
2. 114.6'	115.8'
3. 114.2'	115.8'
4. 116.2'	116.1'

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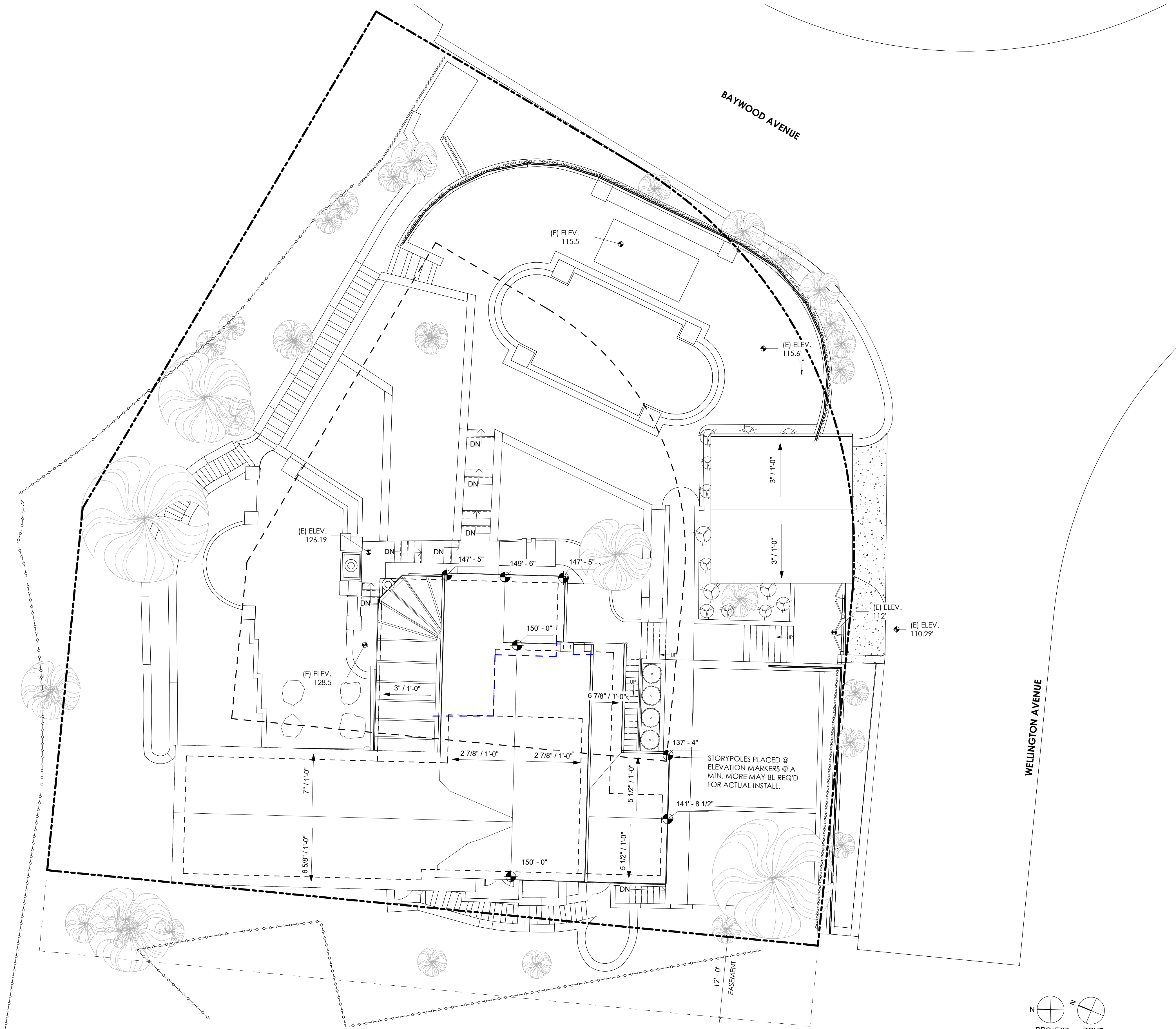
PROPOSED SITEPLAN

1/8" = 1'-0"

A1.1

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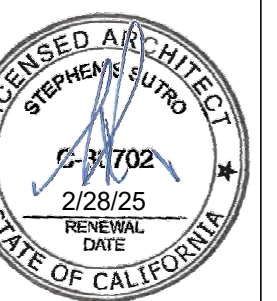
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1 PROPOSED STORY POLE PLAN
1/8" = 1'-0"

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STORY POLE PLAN - PROPOSED

1/8" = 1'-0"

A1.2

8/17/2023 11:44:21 AM

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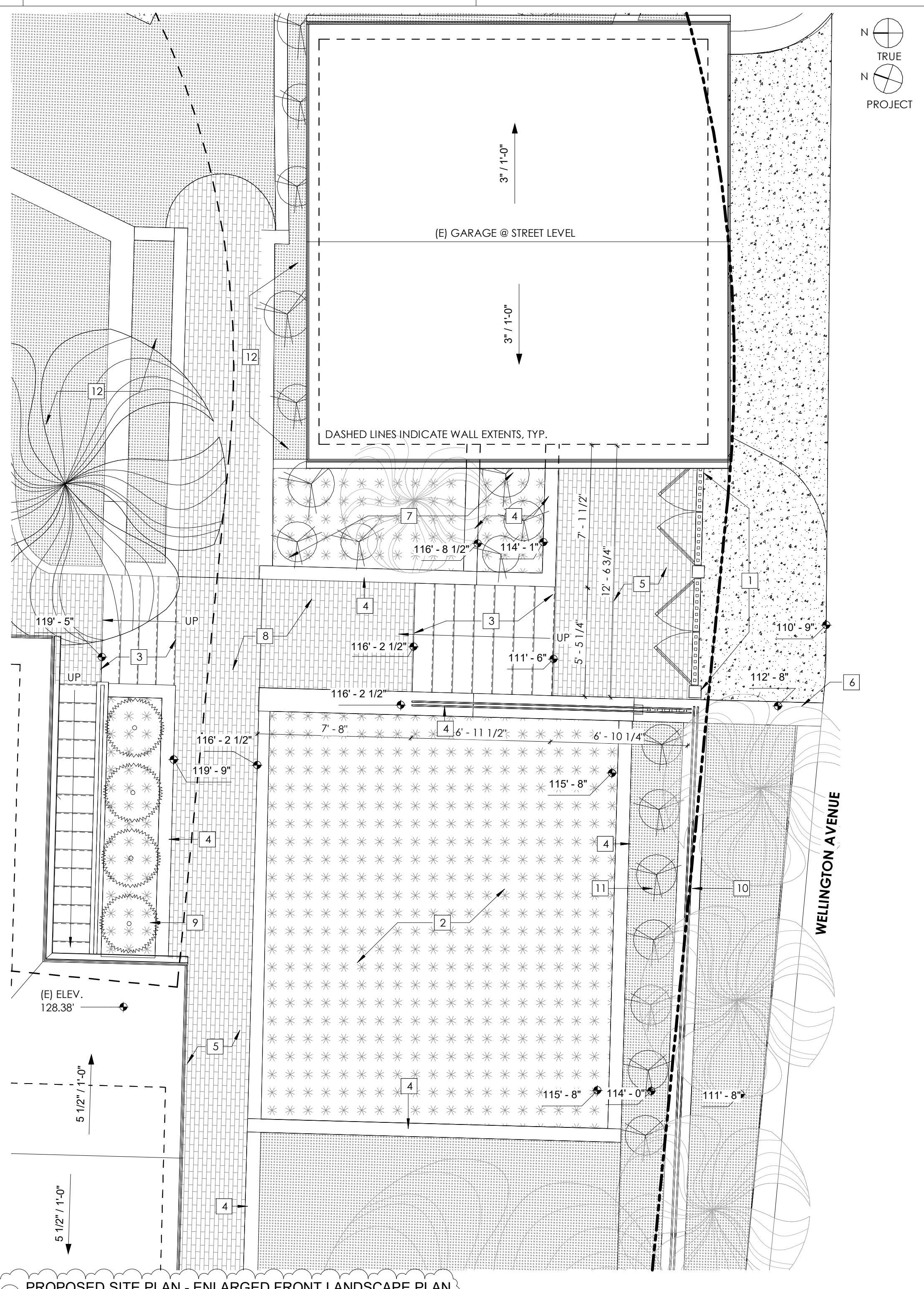
KEYNOTES

- (N) WAC HIGH EFFICACY LIGHTING LED STEP LIGHT - BRONZE ON ALUMINUM
- (N) TECH LIGHTING PITCH LED SINGLE OUTDOOR WALL SCONCE - BRONZE

KEY

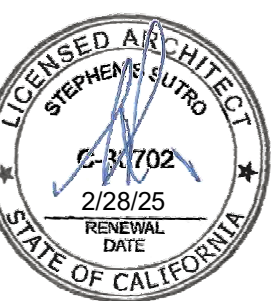
- CONCRETE
- BRICK PAVEMENT
- EXISTING PLANTING
- PROPOSED PLANTING

- ALL EXTERIOR LIGHTING TO BE SHIELDED, NO BARE BULB
- ALL EXTERIOR LANDSCAPE LIGHTING TO NOT CREATE GLARE, HAZARDS, OR ANNOYANCE FOR ADJACENT PROPERTY OWNERS



1 PROPOSED SITE PLAN - LANDSCAPE AND EXTERIOR LIGHTING
1/8" = 1'-0"

2 PROPOSED SITE PLAN - ENLARGED FRONT LANDSCAPE PLAN
1/4" = 1'-0"



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EXTERIOR LIGHTING & LANDSCAPE PLAN

As indicated

A1.3

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12/29/2024 10:55:12 AM

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1 PROPOSED SITE PLAN - VEGETATION MANAGEMENT PLAN
1/8" = 1'-0"

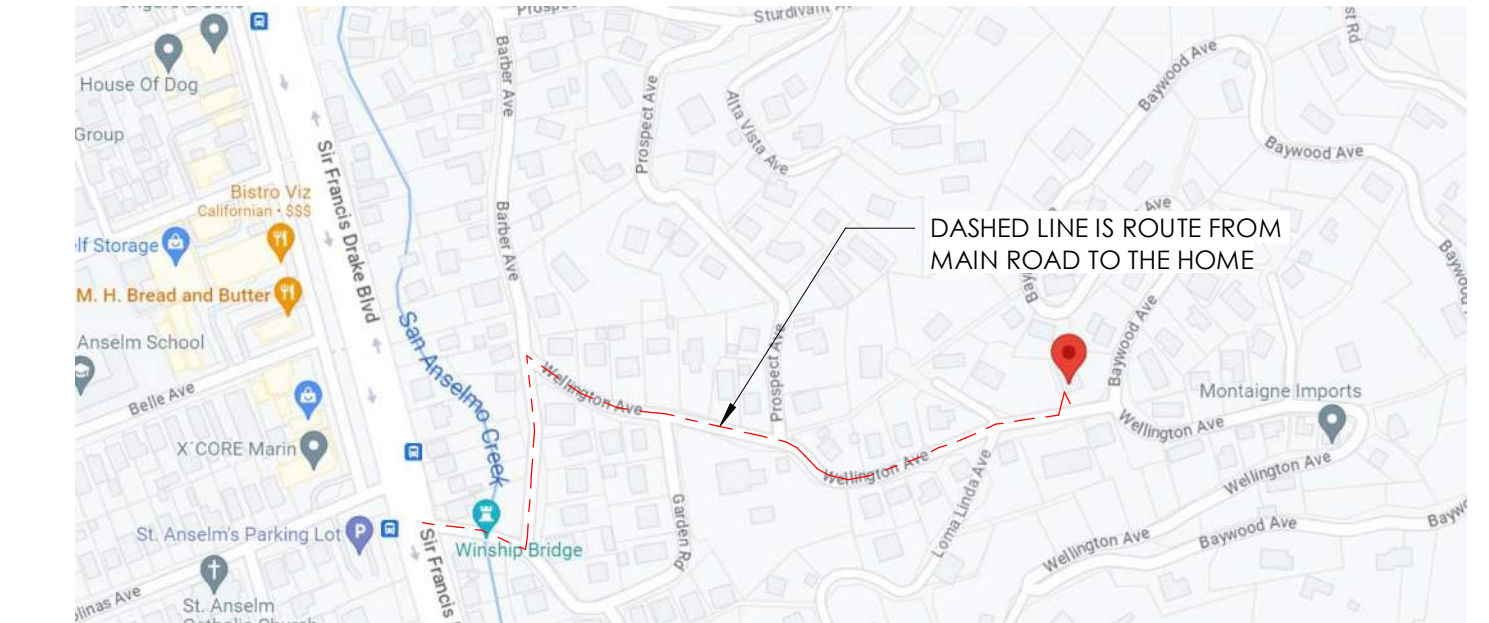
PROJECT CONTACT

JOHN SIMENIC
415.766.4088
jsimenic@sutroarchitects.com

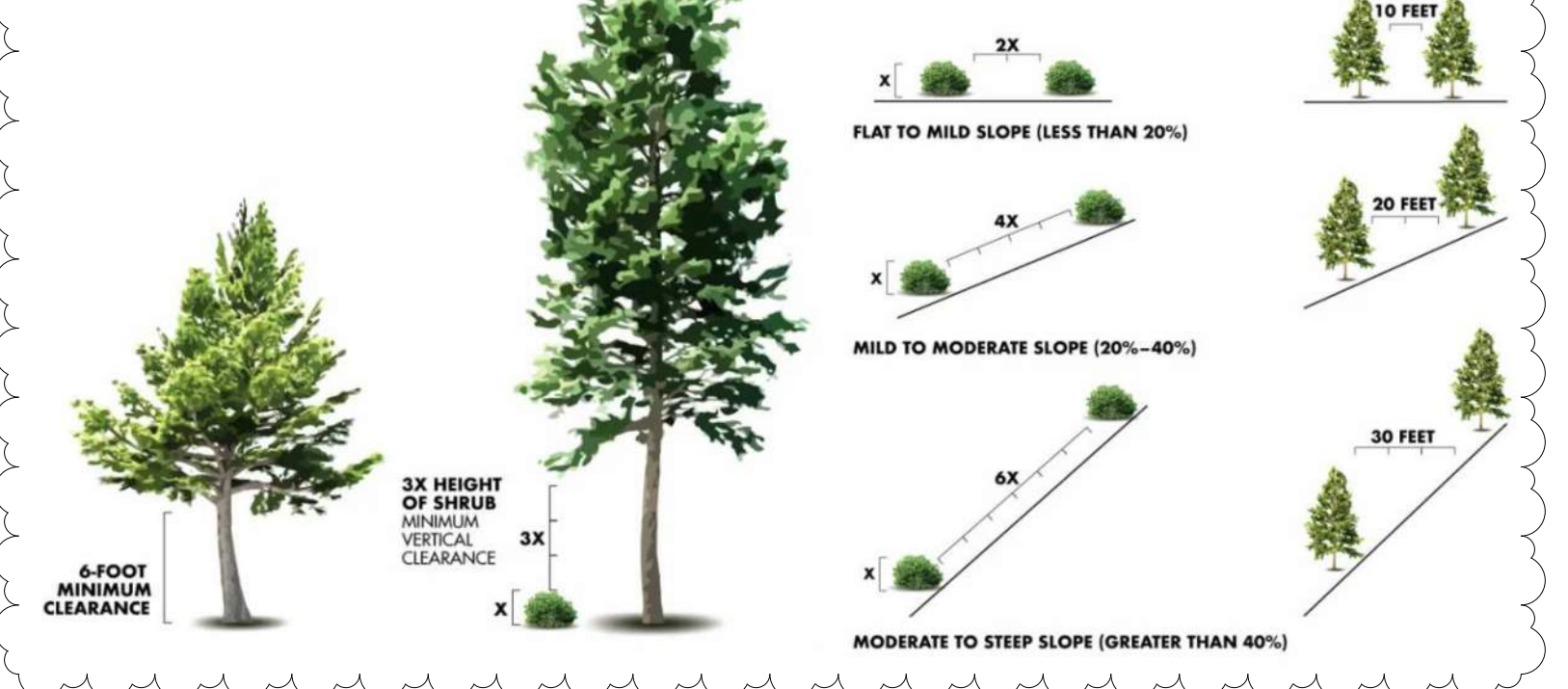
SITEPLAN LEGEND

- PROPERTY LINE
- - - EXISTING BUILDING EXTENTS
- - - PROPOSED BUILDING EXTENTS
- □ □ □ (E) MESH NETTING FENCE
- INDICATES ROOF SLOPE
- ⊗ TREE/SHRUB TO BE REMOVED
- BRICK PAVEMENT
- EXISTING PLANTING
- CONCRETE
- FUTURE PLANTING (SEE NARRATIVE BELOW)
- (E) TREES

VICINITY MAP



SPACING REQ.



SYMBOL	COMMON NAME	LATIN NAME	QTY	FIRE RESISTANT	TYPE	EXISTING OR NEW	REMARKS
⊗	ROSES	ROSA RUBIGINOSA	10	YES	S	N	IRRIGATED
⊗	HYDRANGEA	HYDRANGEA	6	YES	H	N	IRRIGATED
⊗	BOXWOOD	BUXUS SPP.	18	YES	H	N	IRRIGATED

HOME IGNITION ZONES

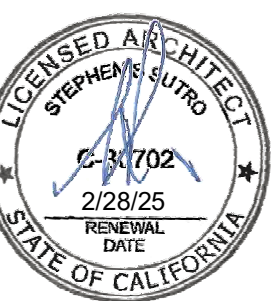
- IMMEDIATE (ZONE 0): 0'-5'**
THE IMMEDIATE ZONE EXTENDS 0-5' FROM YOUR HOUSE. ZONE 0 IS THE AREA CLOSEST TO YOUR HOUSE, INCLUDING THE STRUCTURE ITSELF, DECKS, OUTDOOR FURNITURE, AND THE OUTSIDE WALLS AND COVERINGS. THIS AREA IS MOST VULNERABLE AND SHOULD BE MOST AGGRESSIVELY MAINTAINED FOR FIRE RESISTANCE.
- REMOVE ANY COMBUSTIBLE OUTDOOR FURNITURE.
 - REPLACE JUTE OR FIBER DOOR MATS WITH FIRE RESISTANT MATERIALS.
 - REMOVE OR RELOCATE ALL COMBUSTIBLE MATERIALS, INCLUDING GARBAGE AND RECYCLING CONTAINERS, LUMBER, TRASH, AND PATIO ACCESSORIES.
 - CLEAN ALL FALLEN LEAVES AND NEEDLES REGULARLY. REPEAT OFTEN DURING FIRE SEASON.
 - NO VEGETATION IS RECOMMENDED WITHIN 5' OF STRUCTURES.
 - REMOVE TREE LIMBS THAT EXTEND INTO THIS ZONE. FIRE-PRONE TREE VARIETIES SHOULD BE REMOVED IF THEY EXTEND WITHIN 5' OF STRUCTURES.
 - DO NOT STORE FIREWOOD, LUMBER, OR COMBUSTIBLES HERE, EVEN (ESPECIALLY) UNDER DECKS OR OVERHANGS. MOVE STORED COMBUSTIBLES INSIDE, OR AT LEAST 30' AWAY FROM STRUCTURES.
 - USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER) MAY BE OK.
- INTERMEDIATE (ZONE 1): 5'-30'**
THE INTERMEDIATE ZONE FROM 5' TO 30' OUT FROM BUILDINGS, STRUCTURES, DECKS, ETC. KEEP ZONE 1 "LEAN, CLEAN, AND GREEN" AND EMPLOY CAREFUL LANDSCAPING TO CREATE BREAKS THAT CAN HELP INFLUENCE AND DECREASE FIRE BEHAVIOR.
- REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS [VEGETATION].
 - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YOUR YARD, ROOF AND RAIN GUTTERS.
 - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
 - REMOVE BRANCHES THAT HANG OVER YOUR ROOF AND KEEP DEAD BRANCHES 10 FEET AWAY FROM YOUR CHIMNEY.
 - REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS.
 - REMOVE FIRE-PRONE PLANTS AND CHOOSE ONLY FIRE-RESISTANT VARIETIES. IRRIGATE REGULARLY.
 - REMOVE LIMBS TO A HEIGHT OF 10' ABOVE THE GROUND (OR 1/3 THE HEIGHT OF THE TREE) TO PROVIDE CLEARANCE AND TO ELIMINATE A "FIRE LADDER".
 - USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER) MAY BE OK.
- EXTENDED (ZONE 2): 30'-100'**
THE EXTENDED ZONE FROM 30' TO 100' (OR MORE, IF REQUIRED DUE TO STEEP SLOPES, NEARBY VEGETATION CONDITIONS, AND/OR YOUR LOCAL FIRE DEPARTMENT), THE GOAL HERE IS NOT TO ELIMINATE FIRE BUT TO INTERRUPT FIRE'S PATH AND KEEP FLAMES SMALL AND ON THE GROUND. THIS ZONE SHOULD INCLUDE AT A MINIMUM:
- CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
 - CREATE HORIZONTAL SPACING BETWEEN SHRUBS, TREES AND VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES.
 - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES IF EROSION CONTROL IS AN ISSUE.
- ACCESS (ZONE 3): 0'-10'**
EXTENDS 10 FEET HORIZONTALLY FROM THE EDGE OF THE ROAD OR DRIVEWAY.
- WITHIN THIS ZONE, PLANTINGS SHALL BE FIRE RESISTANT AND SHALL NOT EXTEND WITHIN THE 14 FOOT VERTICAL.
 - CLEARANCE ABOVE THE SURFACE OF THE ROADWAY OR DRIVEWAY, AS REQUIRED FOR EMERGENCY ACCESS.
 - ALL LANDSCAPE SHALL MEET THE REQUIREMENTS FOR SEPARATION AS STATED IN THE ZONE 2 ABOVE

VEGETATION MANAGEMENT PLAN NARRATIVE

- 1. EXISTING CONDITIONS**
- A. THERE ARE CURRENTLY MATURE TREES AND A FEW OTHER MISCELLANEOUS NATIVE SHRUB SPECIES LOCATED THROUGHOUT THE PROPERTY.
- 2. PROPOSED SCOPE**
- A. THE INTENT OF THIS PLAN IS TO PROPERLY MAINTAIN THE MATURE BAY AND REDWOOD TREES WITH SELECTIVE PRUNING AND REMOVAL OF ALL DEAD MATERIAL PER FIREWISE STANDARDS. THE EXISTING SHRUBS AND LANDSCAPING IN THE FRONT OF THE HOME WILL BE REPLACED WITH AN IRRIGATED LAWN, AND A ROW OF IRRIGATED SHRUBS IN FRONT-OF AND BEHIND THE NEW PROPOSED STUCCO AND IRON FENCE. THE HARDSCAPE AT THE SIDE OF THE HOME WILL BE BROKEN UP BY PLANTING OF MARINSAFE SPECIES. LOW SHRUBS ON THE HILLSIDE BEHIND THE HOME WILL BE THINNED AND MAINTAINED REGULARLY TO KEEP CLEAR OF DRY PLANT MATERIAL. ALL PODOCARPUS ALONG BAYWOOD AVE. WILL BE REMOVED. THE EXISTING MAGNOLIAS ALONG BAYWOOD AVE. WILL BE RETAINED.
- 3. FUTURE PLANTING**
- A. ANY FUTURE PLANTINGS THROUGHOUT THE SITE WILL INCLUDE FIRE-RESISTANT, IRRIGATED SHRUBS, PERENNIALS, AND GROUND COVERS AS IN THE FIRESAFE MARIN PLANTING LISTS LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS
- 4. LONG TERM MAINTENANCE SCHEDULE AND SAFETY PRACTICES**
- A. ALL FIRE PRONE FUELS AND DEAD MATERIAL WILL BE REMOVED WITHIN 100' OF THE HOME.
- B. REMOVE BRANCHES BENEATH LARGE TREES FOR A 6-FOOT MINIMUM CLEARANCE.
- C. NEEDLES AND LEAVES AND OTHER COMBUSTIBLE DEBRIS AND LITTER SHALL BE REMOVED FROM ROOFS AND GUTTER AT MINIMUM TWICE YEARLY.
- D. ALL WEEDS AND GRASSES SHALL BE CUT REGULARLY TO A HEIGHT OF 4" OR LESS.
- E. VEGETATION SHALL BE TRIMMED TO WITHIN 10" HORIZONTALLY OF ROADWAYS, AND TREES SHALL BE TRIMMED AS NOT TO OVERHANG ROADWAYS AND PROVIDE 14" OF CLEARANCE VERTICALLY.
- F. ALL DEAD AND DYING VEGETATION SHALL BE REMOVED SEASONALLY TO REDUCE VEGETATION VOLUME AND LADDER FUELS.
- G. COORDINATE WITH ADJACENT PROPERTY OWNERS TO MAINTAIN TREE CANOPIES, VEGETATION AND LADDER FUELS ON AN ANNUAL BASIS.
- H. NO NATIVE GRASSES SHALL BE PLANTED WITHIN HOME IGNITION ZONES 1 AND 2.
- I. ALL PLANTED AREAS INSIDE HOME IGNITION ZONES 1 AND 2 SHALL BE IRRIGATED.
- J. ALL PLANTINGS SHALL BE SELECTED IN COORDINATION WITH THE FIRESAFE MARIN PLANTING LIST LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS. OTHER FIRE-RESISTANT PLANTS CAN BE UTILIZED WITH PRIOR APPROVAL OF THE FIRE CODE OFFICIAL.
- K. REGARDLESS OF PLANT SELECTION, SHRUBS SHALL BE SPACED SO THAT NO CONTINUITY EXISTS BETWEEN GROUND FUELS AND TREE CROWNS, SUCH THAT A GROUND FIRE WILL NOT EXTEND INTO THE TREE CANOPY.

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VEGETATION MANAGEMENT PLAN

As indicated

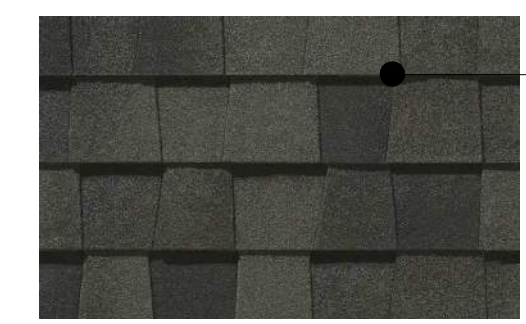
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MATERIALITY KEY



1

ROOF MATERIAL:
ASPHALT ROOF SHINGLES
CERTAIN TEED MAX DEF MOIRE
BLACK



2

HOUSE MATERIAL:
EXISTING LAP SIDING



3

HOUSE COLOR:
HALE NAVY HC-154; FINAL
COLOR TBD



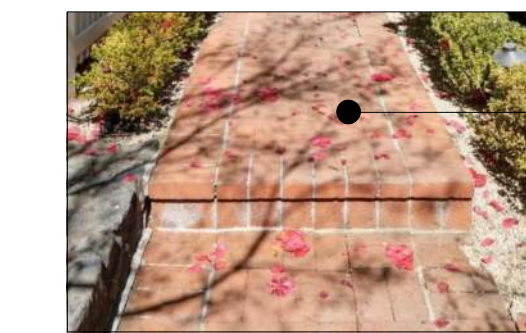
4

TRIM:
WHITE DOVE OC-17; FINAL
COLOR TBD



5

**PLANTERS: MATCH EXISTING
STONE**



6

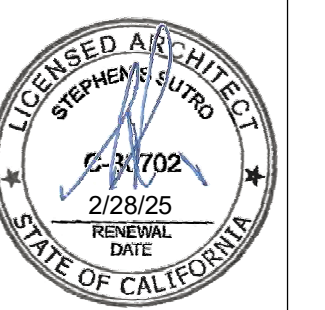
**PAVING: MATCH EXISTING
BRICK**

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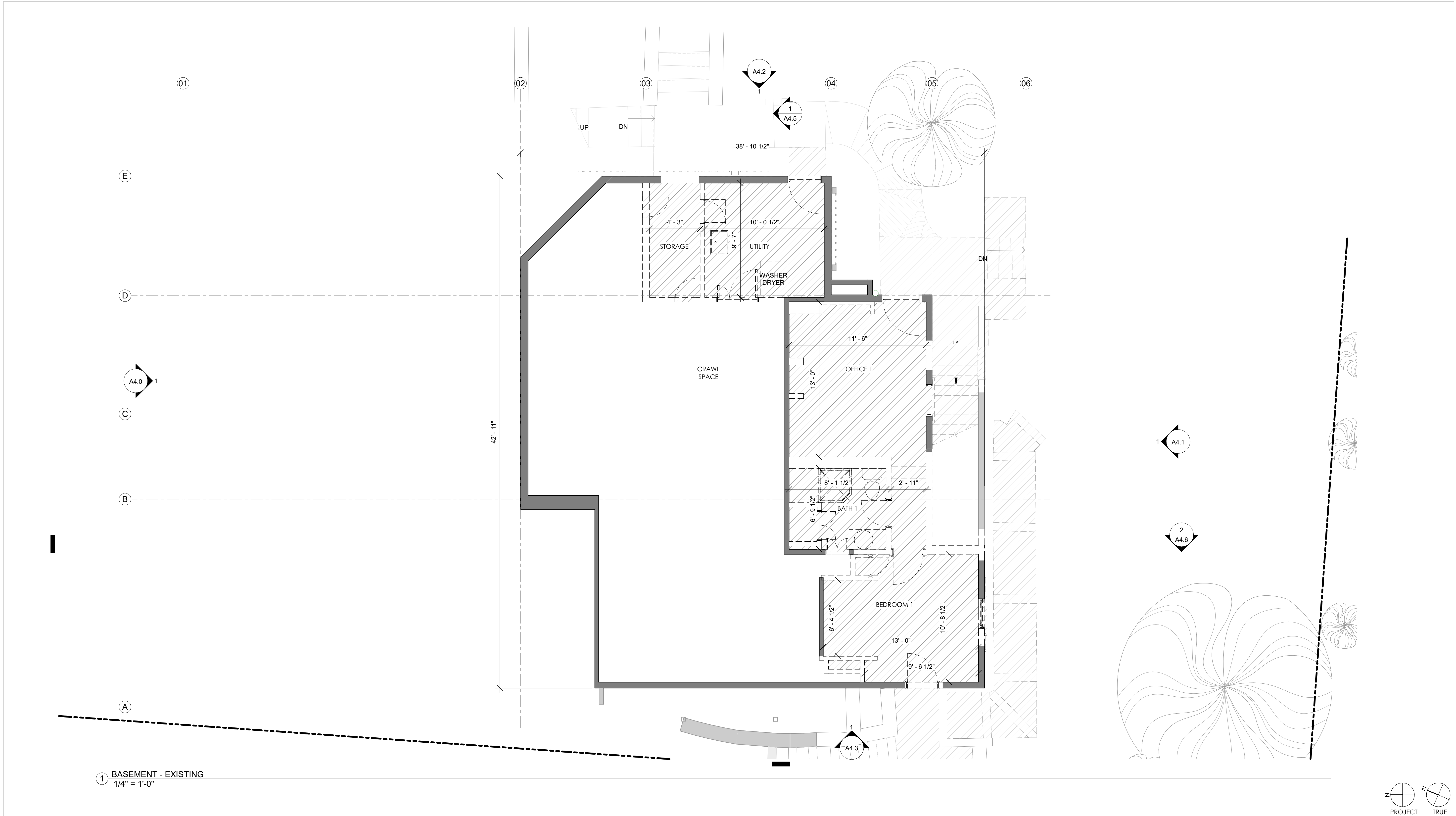
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PROPOSED 3D
RENDERING WITH
MATERIALITY KEY

1/2" = 1'-0"

A1.6

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1 BASEMENT - EXISTING
1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

1. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
3. DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED, NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

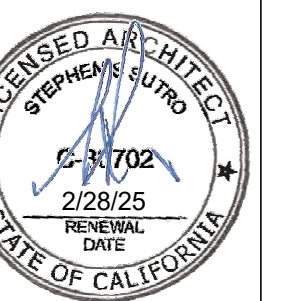
DEMOLITION KEYNOTES

WALL LEGEND

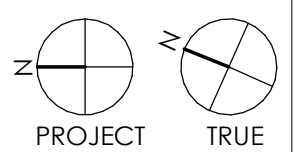
- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED.
- EXISTING ELEMENTS TO BE DEMOLISHED.
- NEW WALLS

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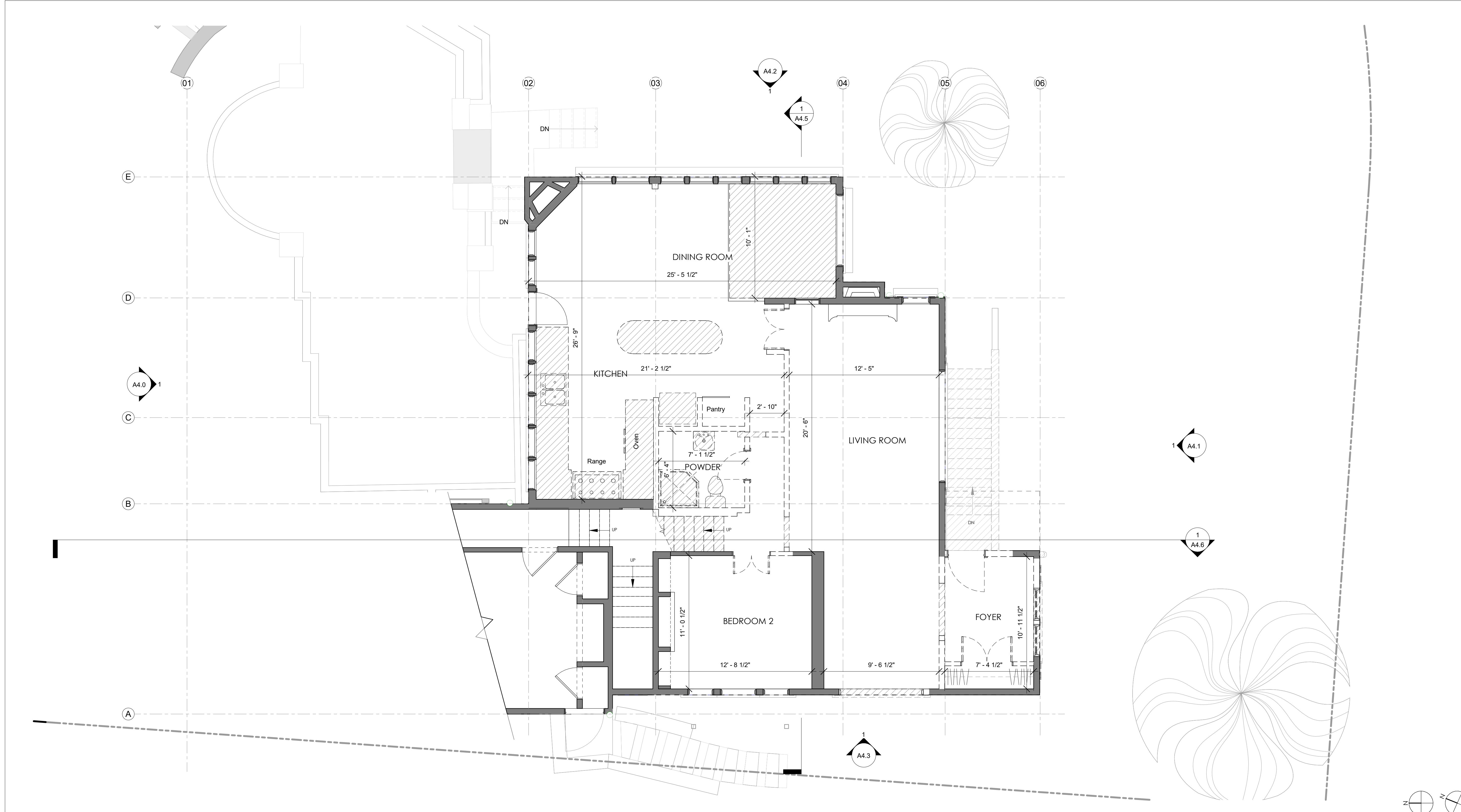
EXISTING -
BASEMENT PLAN

As indicated

A2.0

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1 LEVEL 1 - EXISTING
1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

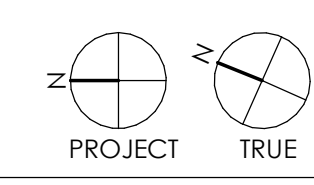
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2. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
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DEMOLITION KEYNOTES

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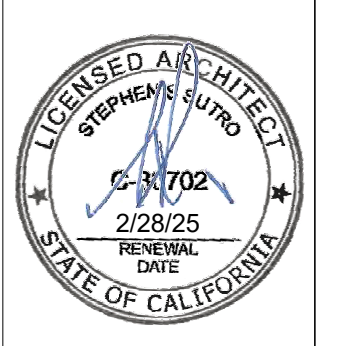
WALL LEGEND

- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED.
- EXISTING ELEMENTS TO BE DEMOLISHED.
- NEW WALLS



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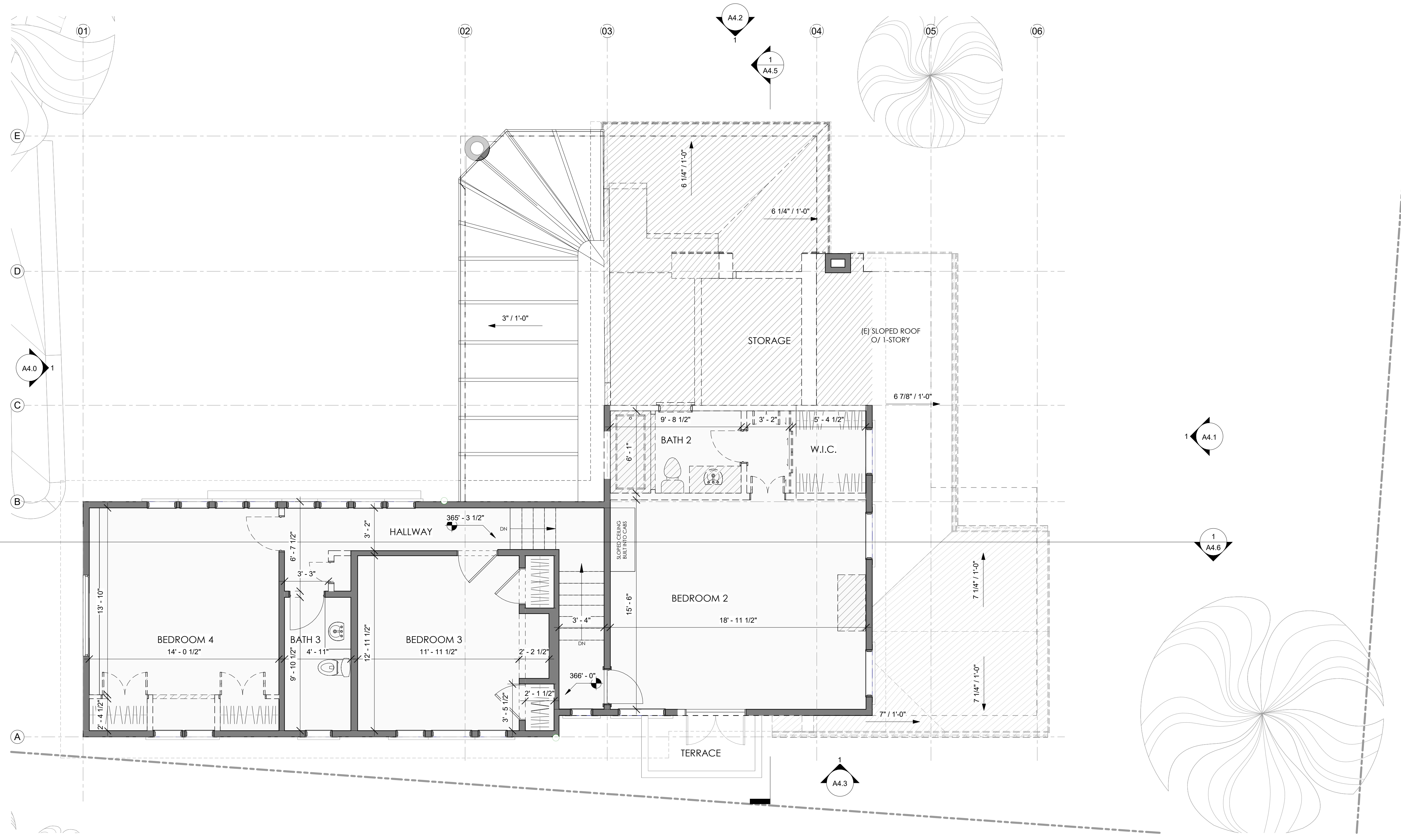
EXISTING - LEVEL 1 PLAN

As indicated

A2.1

8/17/2023 11:44:33 AM

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1 LEVEL 2 - EXISTING
1/4" = 1'-0"

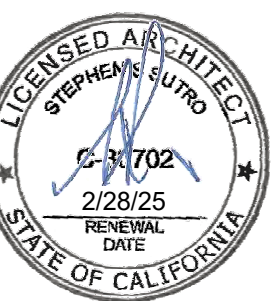
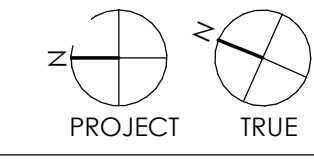
DEMOLITION PLAN GENERAL NOTES

1. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
3. DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED, NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

DEMOLITION KEYNOTES

WALL LEGEND

- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- - - - - EXISTING PARTITION TO BE REMOVED.
- - - - - EXISTING ELEMENTS TO BE DEMOLISHED.
- ▤ NEW WALLS



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EXISTING - LEVEL 2 PLAN

As indicated

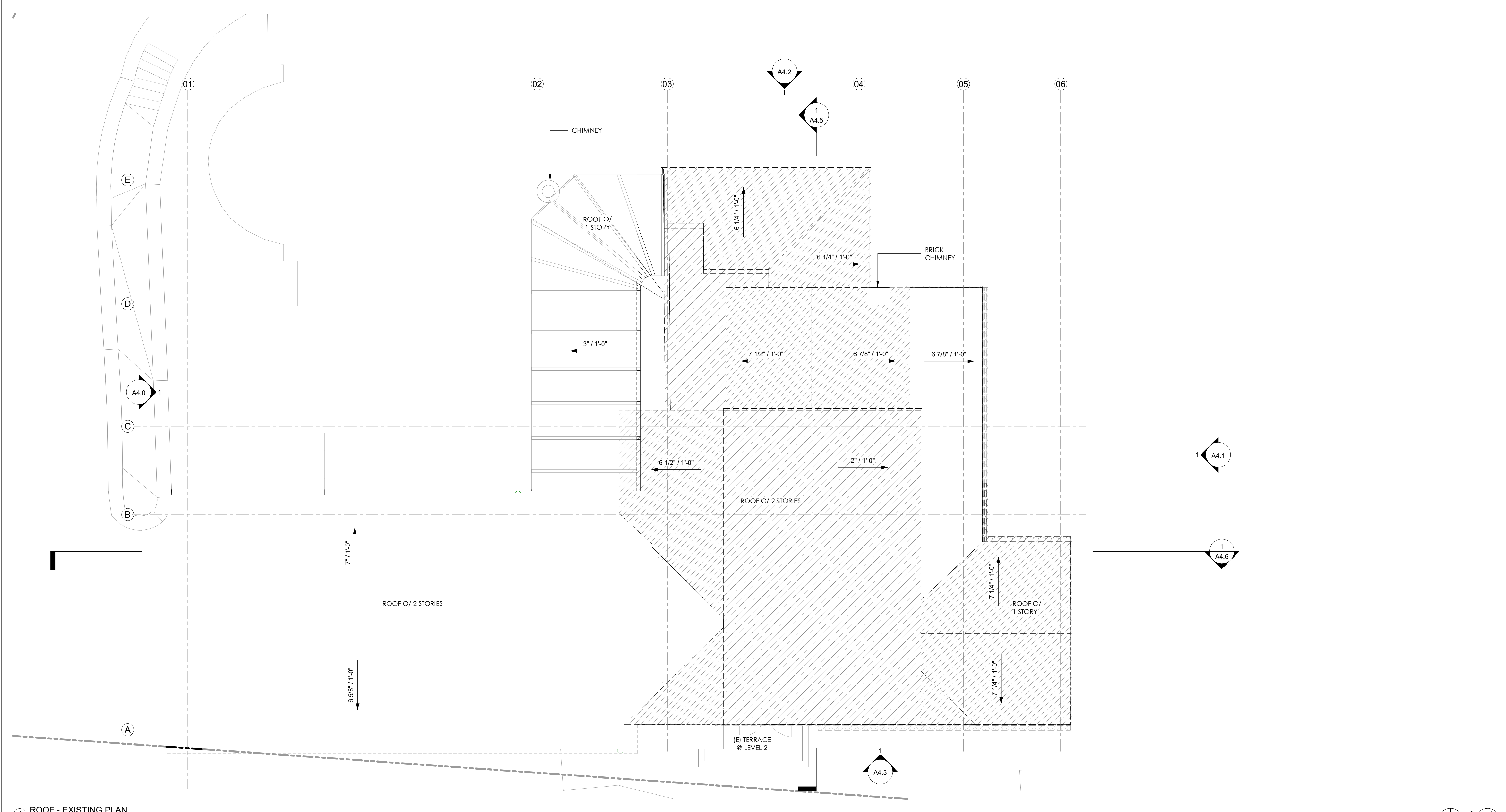
A2.2

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1055 Post Street, San Francisco, CA 94109

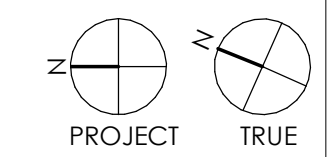
RESIDENTIAL REMODEL
65 WELLINGTON AVENUE
SAN ANSELMO, CA 94960

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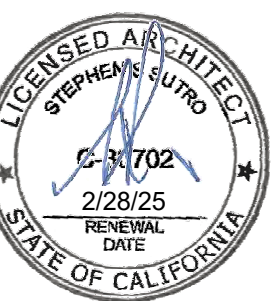
1 ROOF - EXISTING PLAN
1/4" = 1'-0"



DEMOLITION PLAN GENERAL NOTES	DEMOLITION KEYNOTES	WALL LEGEND
<ol style="list-style-type: none"> CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE. DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED, NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING. 		<ul style="list-style-type: none"> PROPERTY LINE EXISTING PARTITION TO REMAIN EXISTING PARTITION TO BE REMOVED. EXISTING ELEMENTS TO BE DEMOLISHED. NEW WALLS

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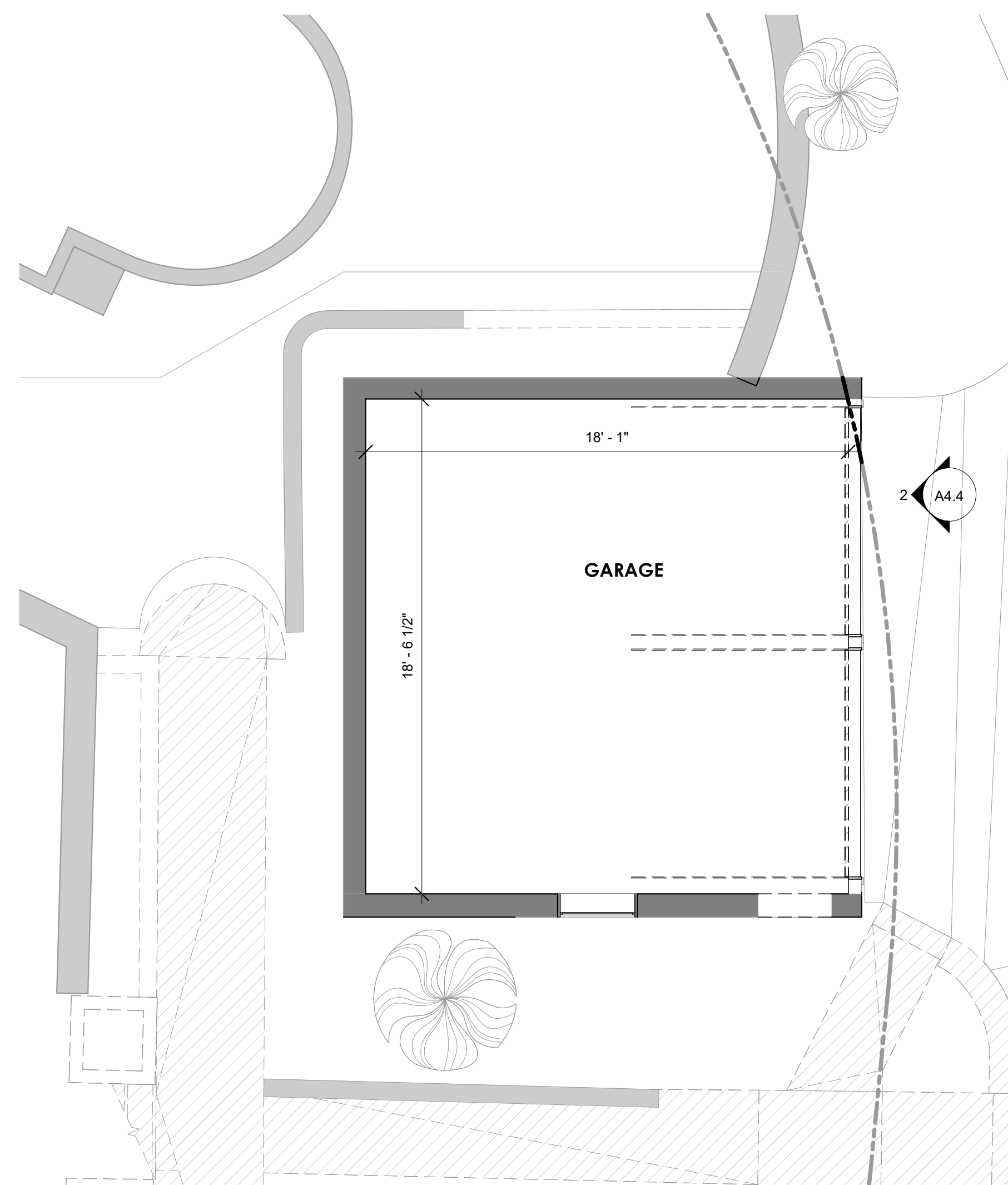
EXISTING - ROOF PLAN

As indicated

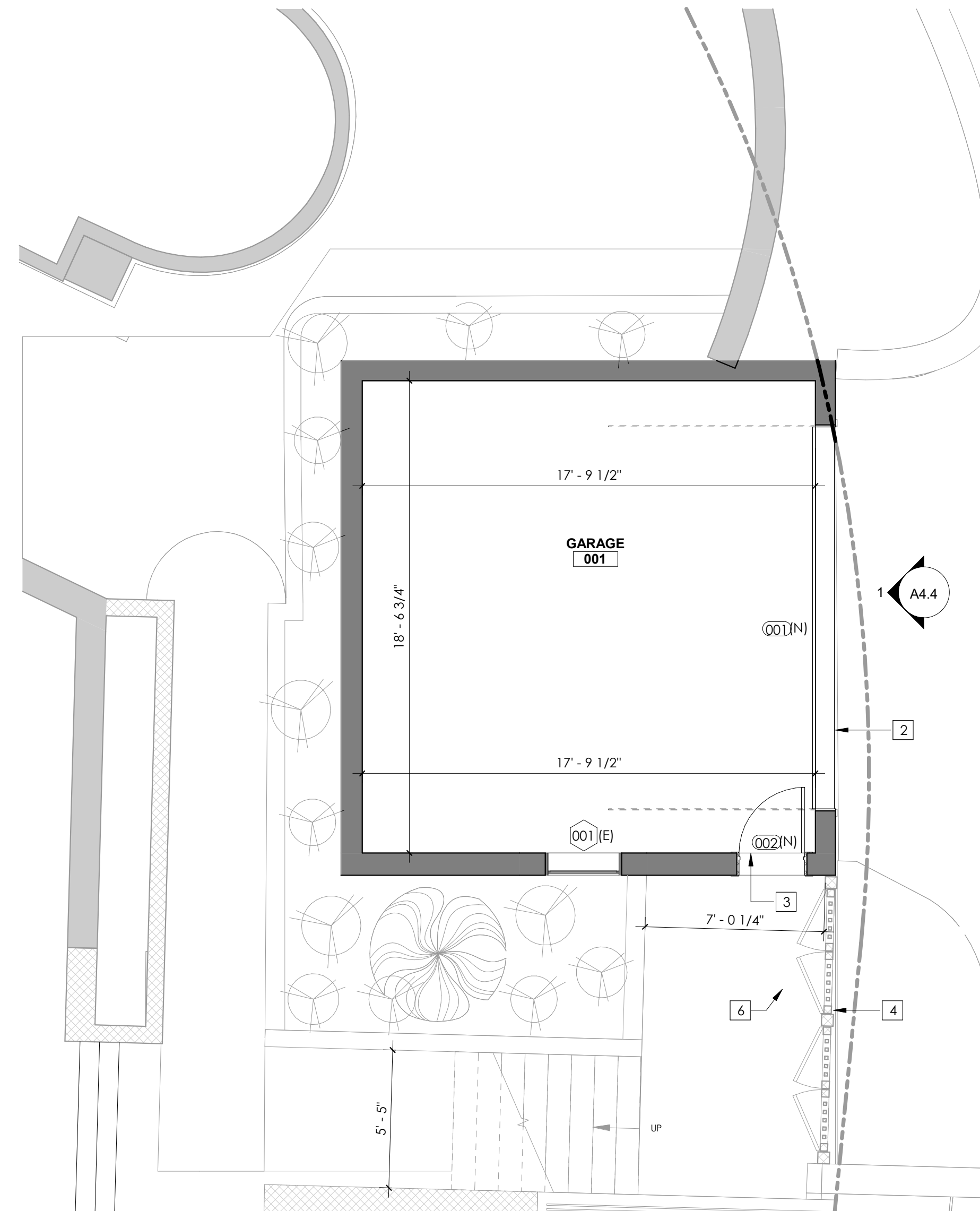
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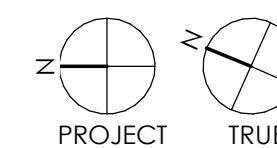
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3 GARAGE - EXISTING
1/4" = 1'-0"



1 GARAGE - CONSTRUCTION PLAN
1/4" = 1'-0"



CONSTRUCTION PLAN GENERAL NOTES

- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
- NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

PLUMBING NOTES:

- DISHWASHERS SHALL BE INSTALLED WITH AN APPROVED AIR GAP PER MANUFACTURER'S INSTRUCTIONS ON THE DISCHARGE SIDE OF THE MACHINE.
- ALL HOSE BIBBS SHALL BE PROTECTED WITH A LISTED NON-REMOVABLE BACKFLOW PREVENTER OR ATMOSPHERIC VACUUM BREAKER INSTALLED 6" MIN ABOVE THE HIGHEST POINT OF USAGE.
- IF A RECIRCULATING DOMESTIC HOT WATER SYSTEM IS INSTALLED, THE RECIRCULATING SECTIONS SHALL BE INSULATED FOR THEIR ENTIRE LENGTH (R4 MIN UP TO 1 1/2" AND R6 MIN FOR 2" OR GREATER DIAMETER.)

HVAC NOTES:

- APPLY DUCT MASTIC ON ALL HVAC DUCT JOINTS AND SEAMS.
- VENTILATE BATHROOMS PER C.M.C. TYP. FANS TO BE ENERGY STAR PER HVI STANDARDS WITH HUMIDITY/MOISTURE SENSOR (SEE SPEC.) AIR FLOW TO BE VERIFIED.
- RANGE HOOD FAN TO BE 100 CFM MIN.
- HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
- HVAC FILTER TO BE HIGH EFFICIENCY (MERV 8+)
- HOT WATER HEATER TO PROVIDE 80 GALLONS MINIMUM AT FIRST HOUR RECOVERY RATE

CONSTRUCTION KEYNOTES

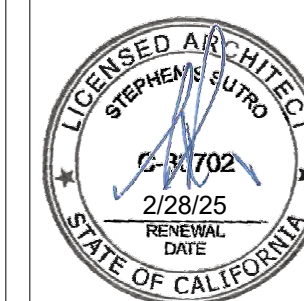
#	Sheet Note
1	VENTILATION OF BATHROOMS TO MEET REQUIREMENTS OF 2013 CGBSC 4.506; "INDOOR AIR QUALITY AND EXHAUST" HUMIDITY CONTROLLED EXHAUST FANS, ENERGY STAR RATED AND DUCTED TO EXTERIOR OF BUILDING
2	REPLACE 2 (E) GARAGE DOORS W/ A SINGLE LARGER GARAGE DOOR. DOOR TO HAVE A SINGLE-RECESSED PANEL.
3	ADD NEW SIDE ENTRY DOOR TO GARAGE.
4	NEW WOOD ENTRY GATE TO MATCH STYLE OF (E) ADJACENT WOOD FENCE. MAX. 7'-0"
5	EXPANDED AND COVERED ENTRY
6	LOWERED PATIO AREA ADJACENT TO (E) GARAGE
7	REFRAME (E) ROOF SO THAT THE PEAK OF THE GABLE IS CENTERED OVER THE (E) LEVEL 2 MASS

WALL LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- 1-HR RATED WALL
- EGRESS ROUTE
- (H) (E) - EXISTING WINDOW TAG
- (R) - REPLACE (N) - NEW
- (XXX) (E) - EXISTING DOOR TAG
- (R) - REPLACE (N) - NEW

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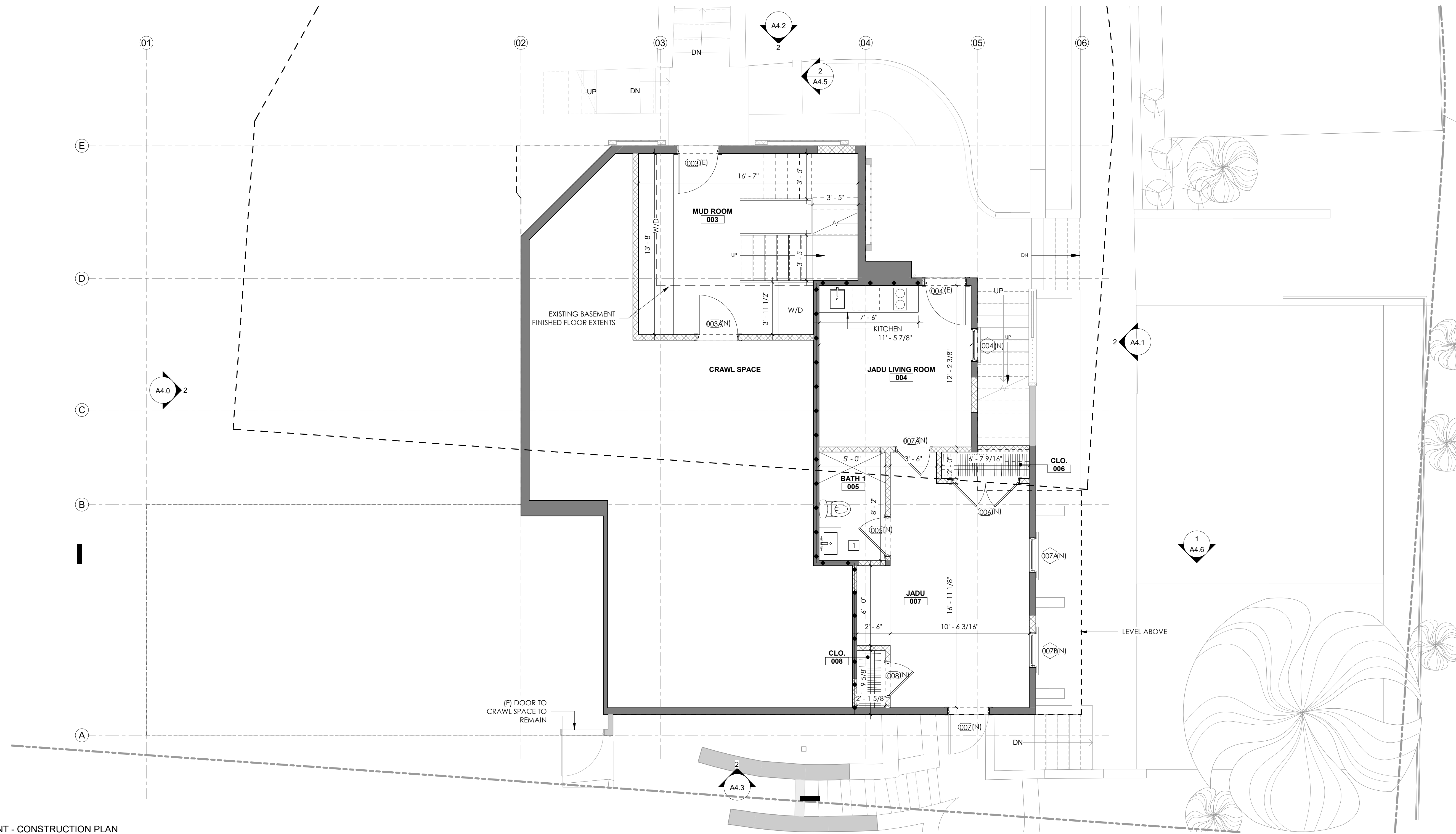
EXISTING & PROPOSED - GARAGE

As indicated

A2.4

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1 BASEMENT - CONSTRUCTION PLAN
1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
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PLUMBING NOTES:

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- IF A RECIRCULATING DOMESTIC HOT WATER SYSTEM IS INSTALLED, THE RECIRCULATING SECTIONS SHALL BE INSULATED FOR THEIR ENTIRE LENGTH (R4 MIN UP TO 1 1/2" AND R6 MIN FOR 2" OR GREATER DIAMETER.)

HVAC NOTES:

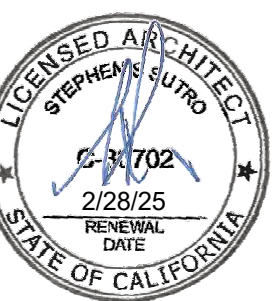
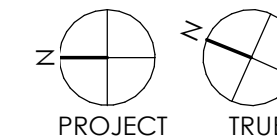
- APPLY DUCT MASTIC ON ALL HVAC DUCT JOINTS AND SEAMS.
- VENTILATE BATHROOMS PER C.M.C. TYP. FANS TO BE ENERGY STAR PER HVI STANDARDS WITH HUMIDITY/MOISTURE SENSOR (SEE SPEC.) AIR FLOW TO BE VERIFIED.
- RANGE HOOD FAN TO BE 100 CFM MIN.
- HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
- HVAC FILTER TO BE HIGH EFFICIENCY (MERV 8+)
- HOT WATER HEATER TO PROVIDE 80 GALLONS MINIMUM AT FIRST HOUR RECOVERY RATE

CONSTRUCTION KEYNOTES

#	Sheet Note
1	VENTILATION OF BATHROOMS TO MEET REQUIREMENTS OF 2013 CGBC 4.506; INDOOR AIR QUALITY AND EXHAUST HUMIDITY CONTROLLED EXHAUST FANS, ENERGY STAR RATED AND DUCTED TO EXTERIOR OF BUILDING
2	REPLACE 2 (E) GARAGE DOORS W/ A SINGLE LARGER GARAGE DOOR. DOOR TO HAVE A SINGLE-RECESSED PANEL.
3	ADD NEW SIDE ENTRY DOOR TO GARAGE.
4	NEW WOOD ENTRY GATE TO MATCH STYLE OF (E) ADJACENT WOOD FENCE. MAX. 7'-0"
5	EXPANDED AND COVERED ENTRY
6	LOWERED PATIO AREA ADJACENT TO (E) GARAGE
7	REFRAME (E) ROOF SO THAT THE PEAK OF THE GABLE IS CENTERED OVER THE (E) LEVEL 2 MASS

WALL LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- 1-HR RATED WALL
- EGRESS ROUTE
- WINDOW TAG
- REPLACE (N) - NEW
- DOOR TAG



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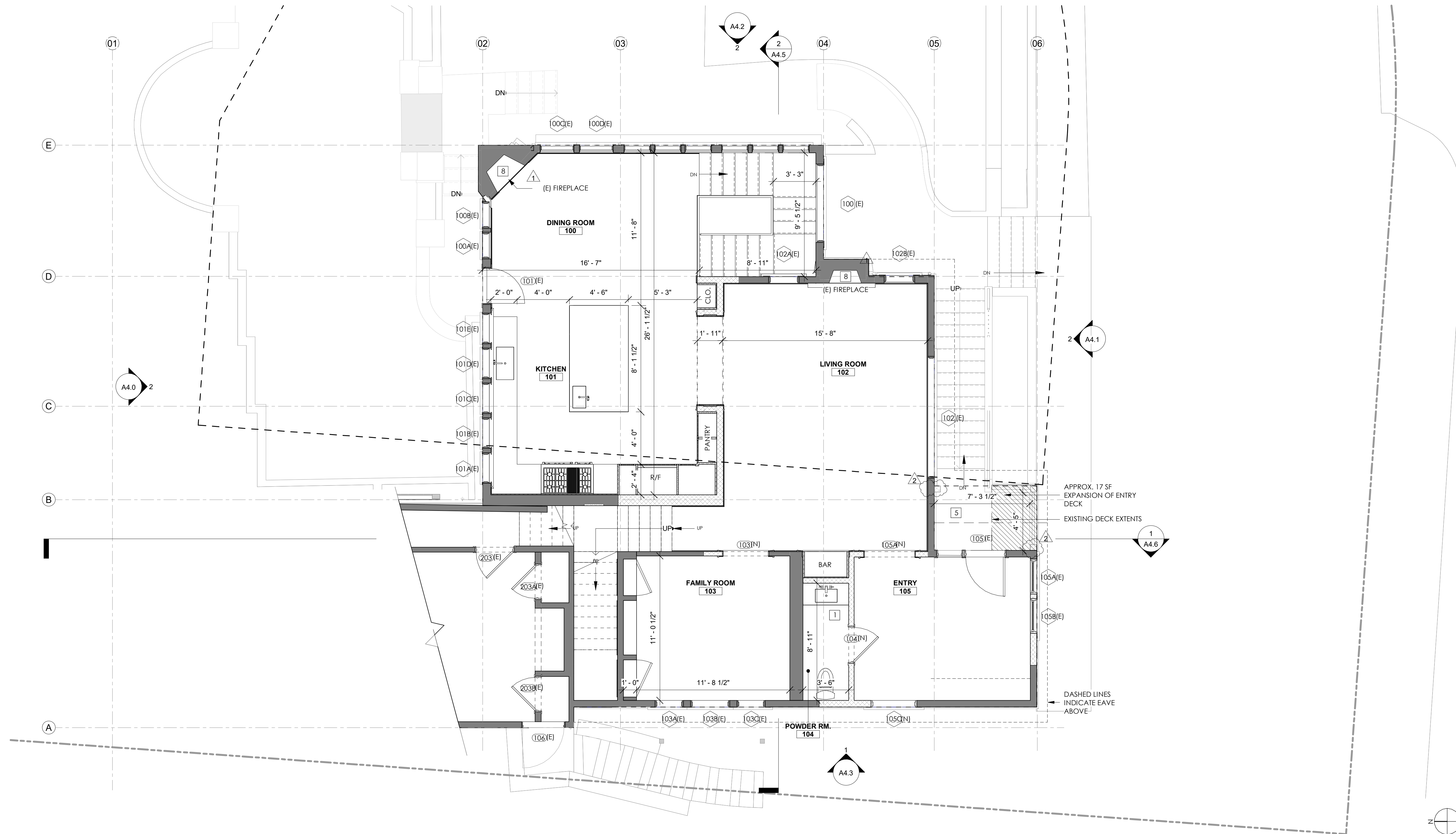
PROPOSED BASEMENT PLAN

As indicated

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1 LEVEL 1 - CONSTRUCTION PLAN
1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

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HVAC NOTES:

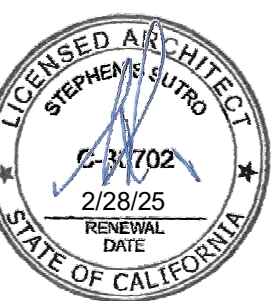
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8	(N) GAS INSERT AT EXISTING FIREPLACE.

WALL LEGEND

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 - BUILDING SETBACK LINE
 - EXISTING PARTITION TO REMAIN
 - NEW WALLS
 - 1-HR RATED WALL
 - EGRESS ROUTE
 - WINDOW TAG
 - DOOR TAG
- (E) - EXISTING
 (R) - REPLACE
 (N) - NEW
 (X) - EXISTING
 (R) - REPLACE
 (N) - NEW



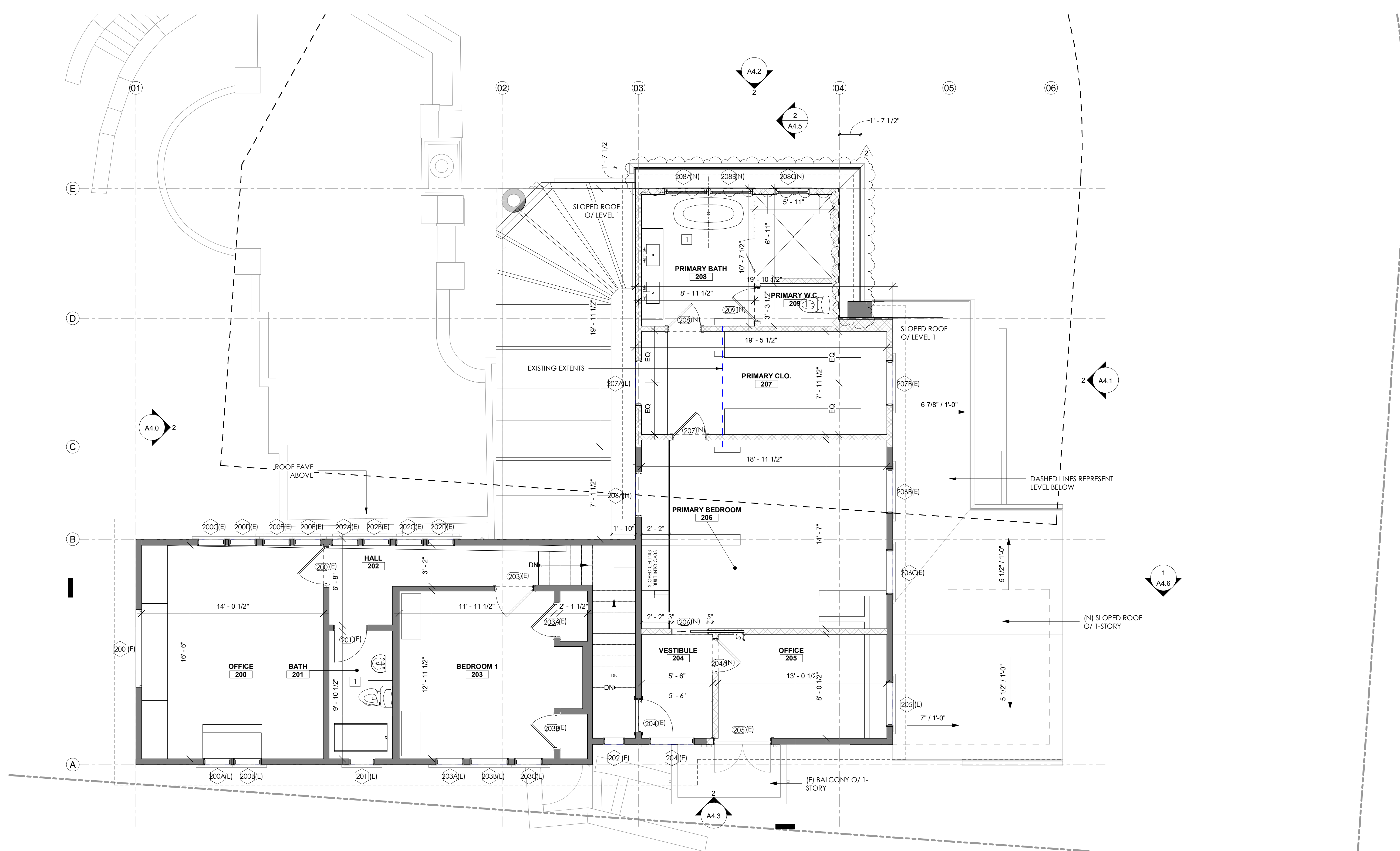
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ADR CMNT 11/17/23
ADR 12/20/23
CMNT2

PROPOSED - LEVEL 1 PLAN

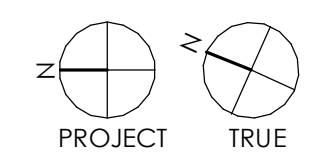
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1 LEVEL 2 - CONSTRUCTION PLAN
1/4" = 1'-0"



CONSTRUCTION PLAN GENERAL NOTES

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HVAC NOTES:

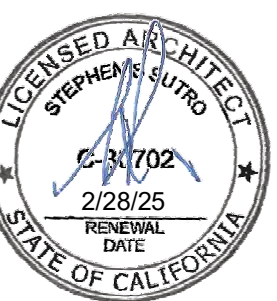
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- RANGE HOOD FAN TO BE 100 CFM MIN.
- HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
- HVAC FILTER TO BE HIGH EFFICIENCY (MERV 8+)
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CONSTRUCTION KEYNOTES

#	Sheet Note
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8	(N) GAS INSERT AT EXISTING FIREPLACE.

WALL LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- 1-HR RATED WALL
- EGRESS ROUTE
- WINDOW TAG
- DOOR TAG
- EXISTING
- REPLACE
- NEW



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ADR CMNT2 12/20/23

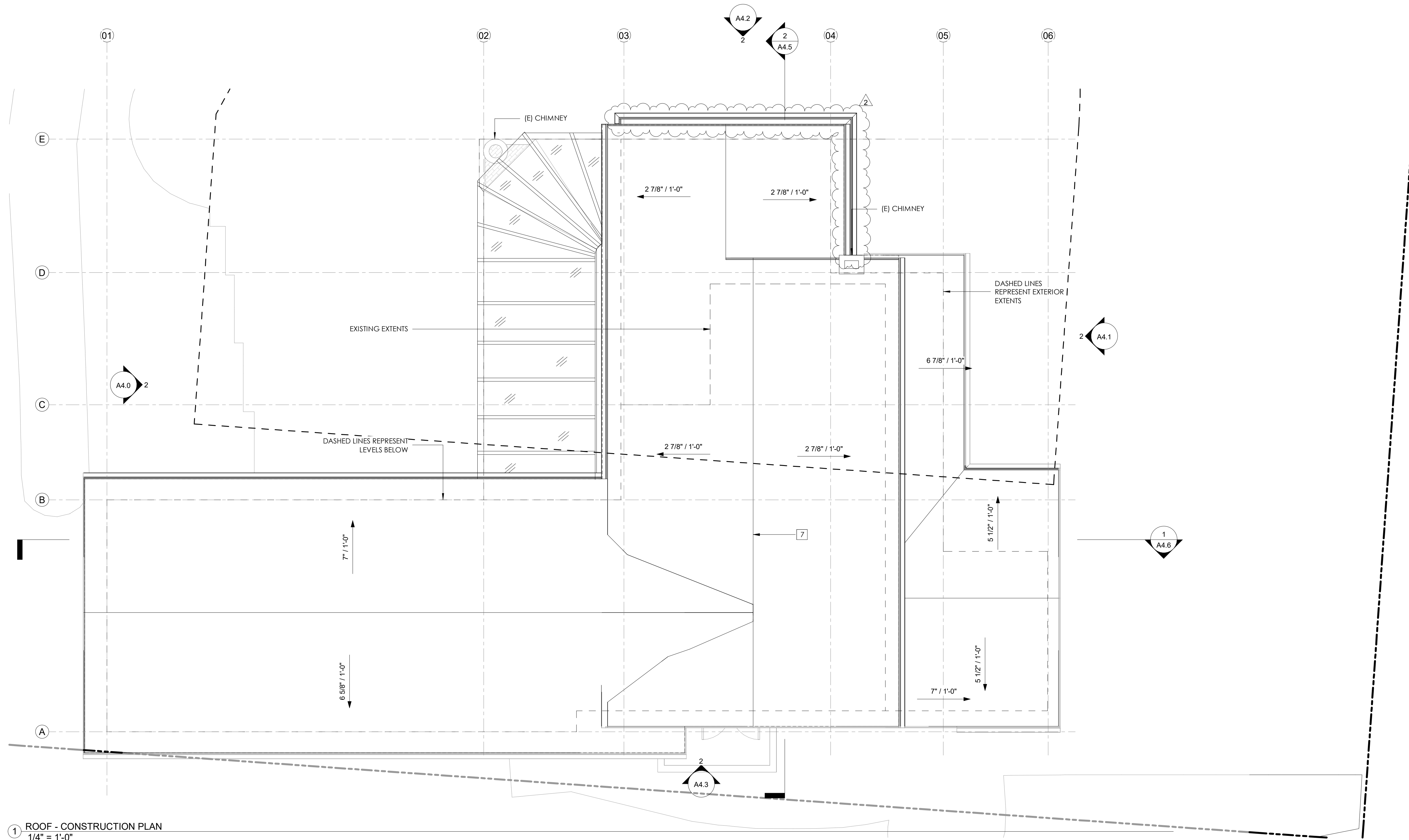
PROPOSED - LEVEL 2 PLAN

As indicated

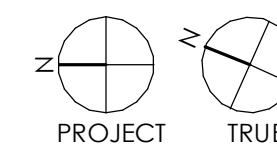
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1 ROOF - CONSTRUCTION PLAN
1/4" = 1'-0"



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HVAC NOTES:

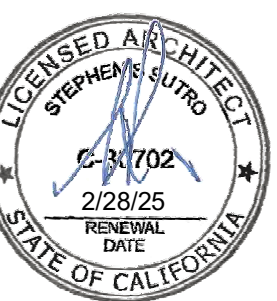
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CONSTRUCTION KEYNOTES

#	Sheet Note
1	VENTILATION OF BATHROOMS TO MEET REQUIREMENTS OF 2013 CGSBC 4.506; "INDOOR AIR QUALITY AND EXHAUST" HUMIDITY CONTROLLED EXHAUST FANS, ENERGY STAR RATED AND DUCTED TO EXTERIOR OF BUILDING
2	REPLACE 2 (E) GARAGE DOORS W/ A SINGLE LARGER GARAGE DOOR. DOOR TO HAVE A SINGLE-RECESSED PANEL.
3	ADD NEW SIDE ENTRY DOOR TO GARAGE.
4	NEW WOOD ENTRY GATE TO MATCH STYLE OF (E) ADJACENT WOOD FENCE. MAX. 7'-0"
5	EXPANDED AND COVERED ENTRY
6	LOWERED PATIO AREA ADJACENT TO (E) GARAGE
7	REFRAME (E) ROOF SO THAT THE PEAK OF THE GABLE IS CENTERED OVER THE (E) LEVEL 2 MASS
8	(N) GAS INSERT AT EXISTING FIREPLACE.

WALL LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- 1-HR RATED WALL
- EGRESS ROUTE
- (E) - EXISTING WINDOW TAG
- (R) - REPLACE WINDOW TAG
- (N) - NEW WINDOW TAG
- (E) - EXISTING DOOR TAG
- (R) - REPLACE DOOR TAG
- (N) - NEW DOOR TAG



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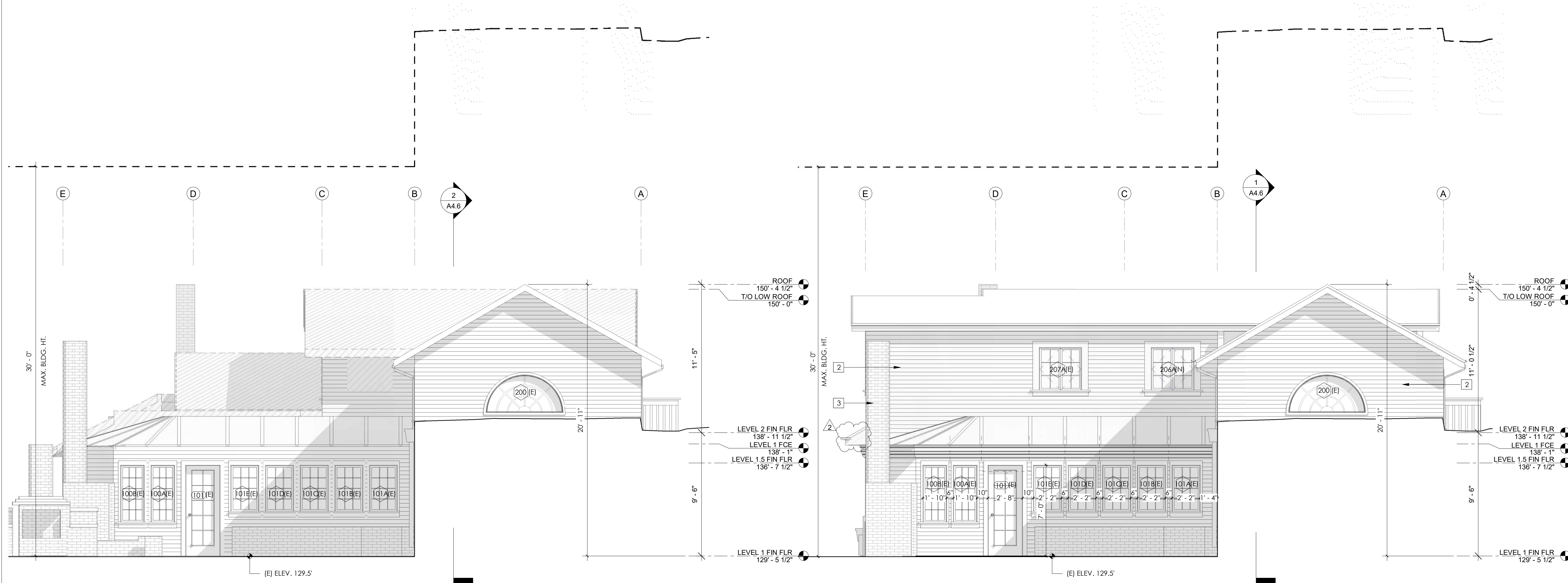
PROPOSED - ROOF PLAN

As indicated

A2.8

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1 NORTH ELEVATION - EXISTING
1/4" = 1'-0"

2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES
1. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
3. DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED, NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

DEMOLITION KEYNOTES

CONSTRUCTION PLAN GENERAL NOTES
1. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
2. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
3. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

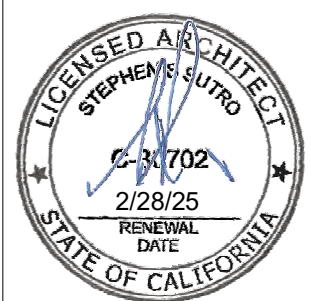
CONSTRUCTION KEYNOTES
Sheet Note
1 (N) ROOF TO MATCH EXISTING
2 (E) WOOD SIDING
3 (E) CHIMNEY TO REMAIN
4 (N) EXTERIOR BRACKETS
5 (N) PLANTING
6 (N) GARAGE DOOR
7 REUSE (E) WINDOWS
8 (N) WINDOWS, MATCH (E) WINDOWS
9 (N) GATES: 6'-0" MAX. ABOVE GRADE

LEGEND	
	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW WALLS
	EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE DEMOLISHED.
	WINDOW TAG
	(R) - REPLACE
	(N) - NEW
	(XXX) - EXISTING
	(R) - REPLACE
	(N) - NEW
	DOOR TAG

ELEVATION - EXISTING & PROPOSED NORTH

As indicated

A4.0



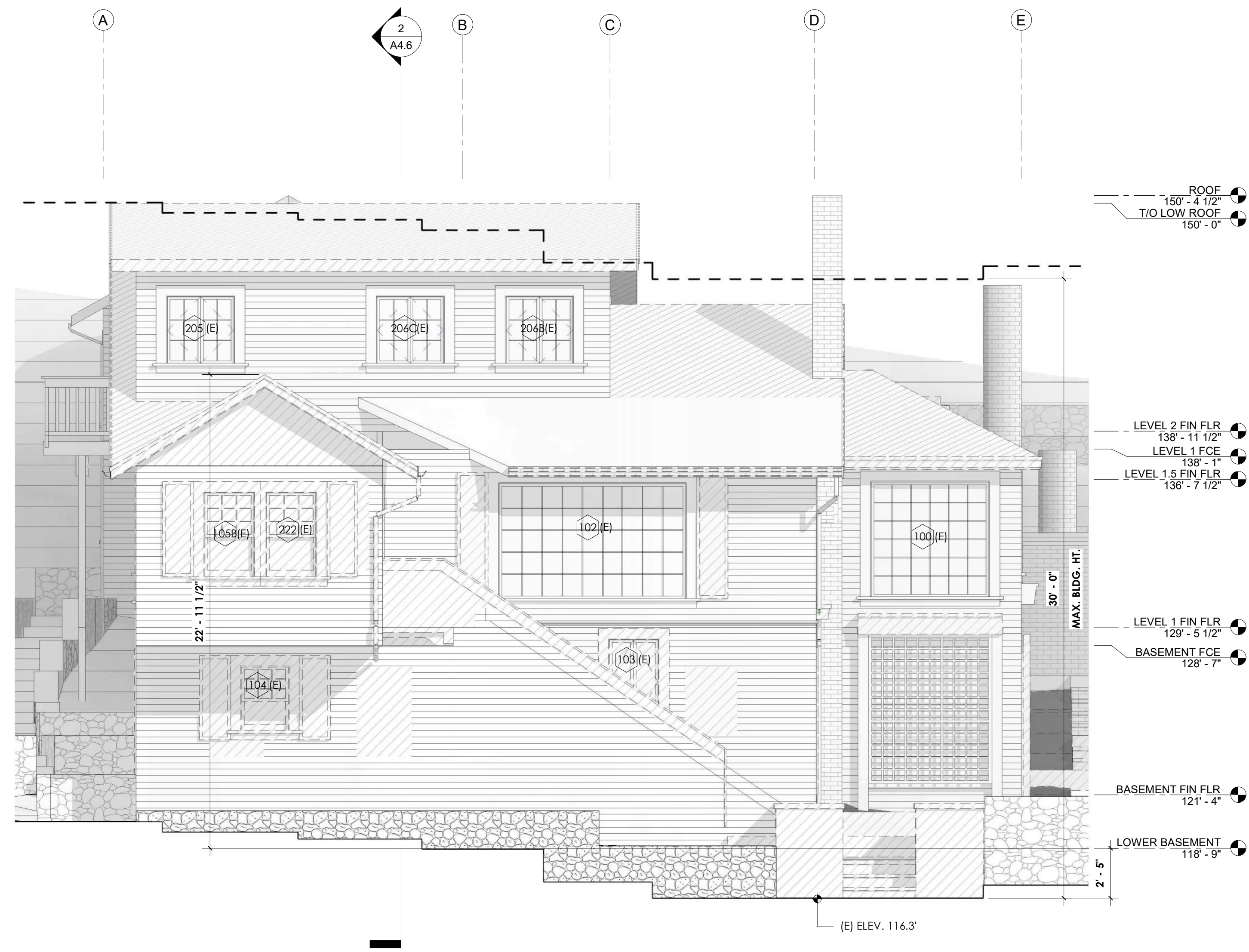
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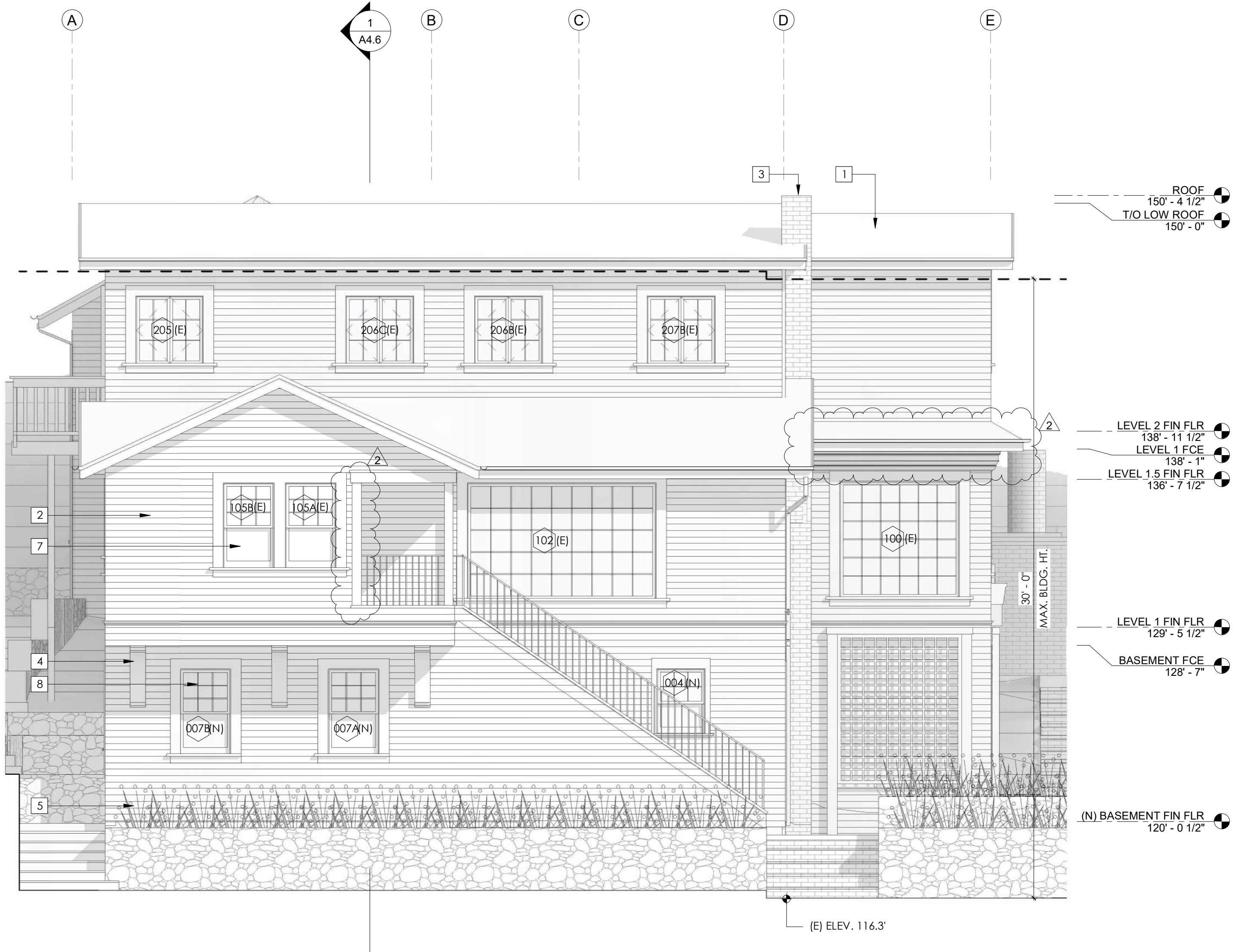
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1 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"



2 PROPOSED SOUTH
1/4" = 1'-0"

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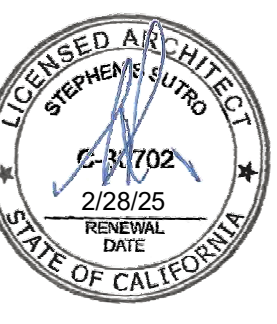
DEMOLITION KEYNOTES

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CONSTRUCTION KEYNOTES	
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5	(N) PLANTING
6	(N) GARAGE DOOR
7	REUSE (E) WINDOWS
8	(N) WINDOWS, MATCH (E) WINDOWS
9	(N) GATES: 6'-0" MAX. ABOVE GRADE

LEGEND	
	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW WALLS
	EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE DEMOLISHED.
	WINDOW TAG
	DOOR TAG

LEGEND	
	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW WALLS
	EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE DEMOLISHED.
	WINDOW TAG
	DOOR TAG



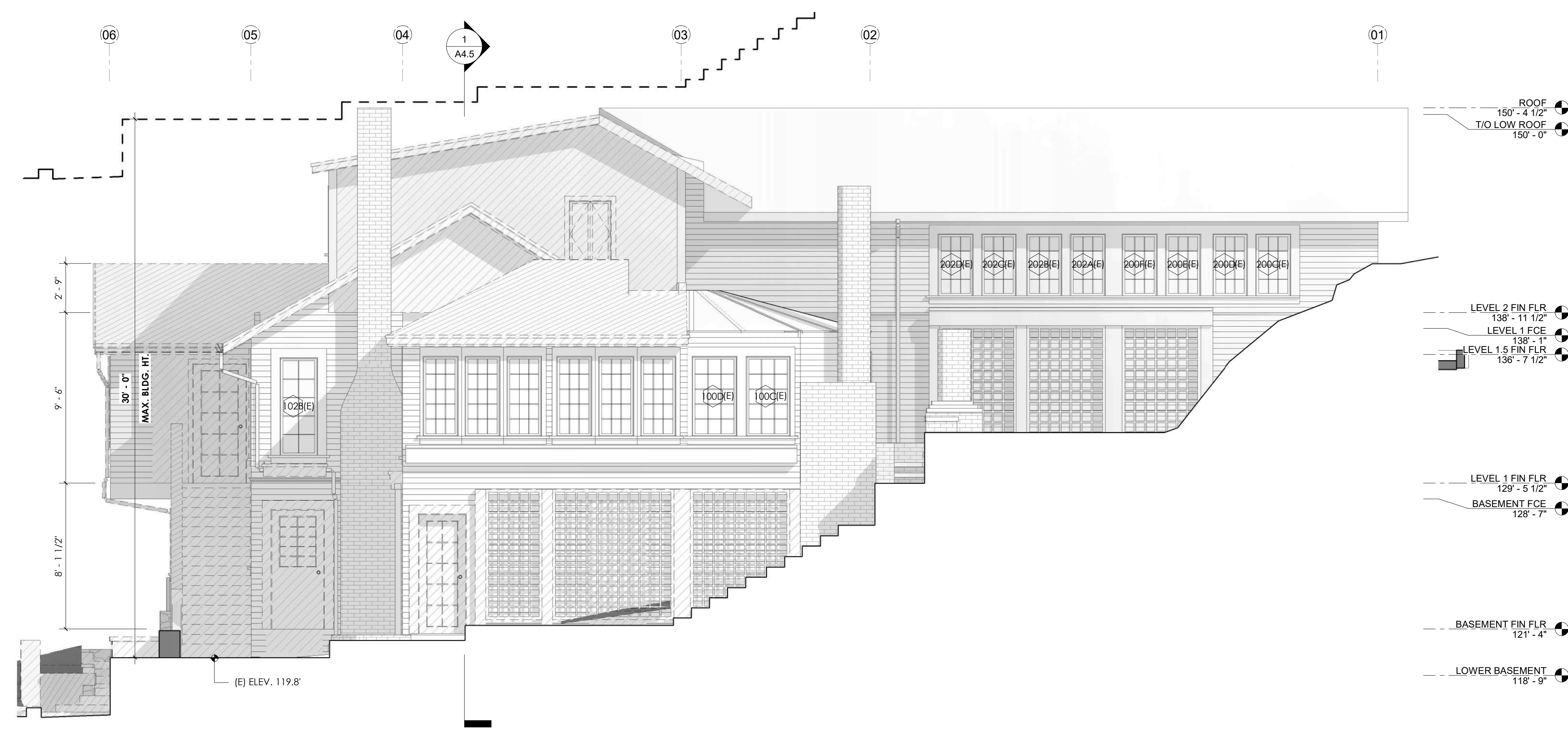
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ELEVATION - EXISTING & PROPOSED SOUTH
As indicated
A4.1

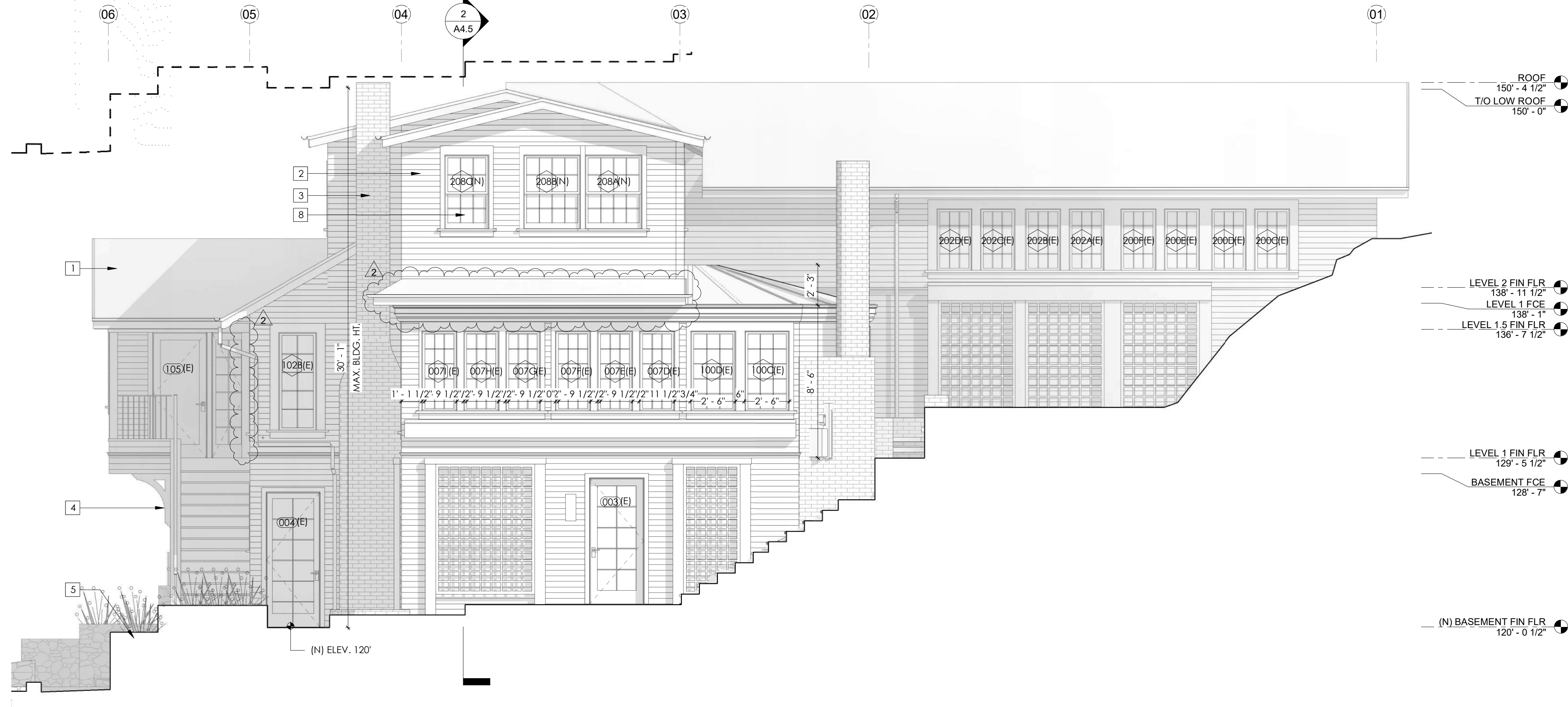
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1 EAST ELEVATION - EXISTING
1/4" = 1'-0"



2 PROPOSED EAST
1/4" = 1'-0"

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DEMOLITION KEYNOTES XX

CONSTRUCTION PLAN GENERAL NOTES

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CONSTRUCTION KEYNOTES XX

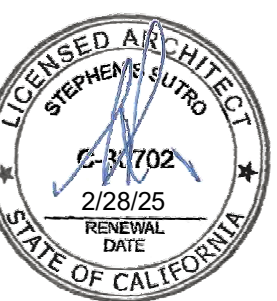
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6	(N) GARAGE DOOR
7	REUSE (E) WINDOWS
8	(N) WINDOWS, MATCH (E) WINDOWS
9	(N) GATES: 6'-0" MAX. ABOVE GRADE

WALL LEGEND

	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW WALLS
	EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE DEMOLISHED.
	WINDOW TAG
	(E) - EXISTING (R) - REUSE (N) - NEW
	DOOR TAG
	(E) - EXISTING (R) - REUSE (N) - NEW

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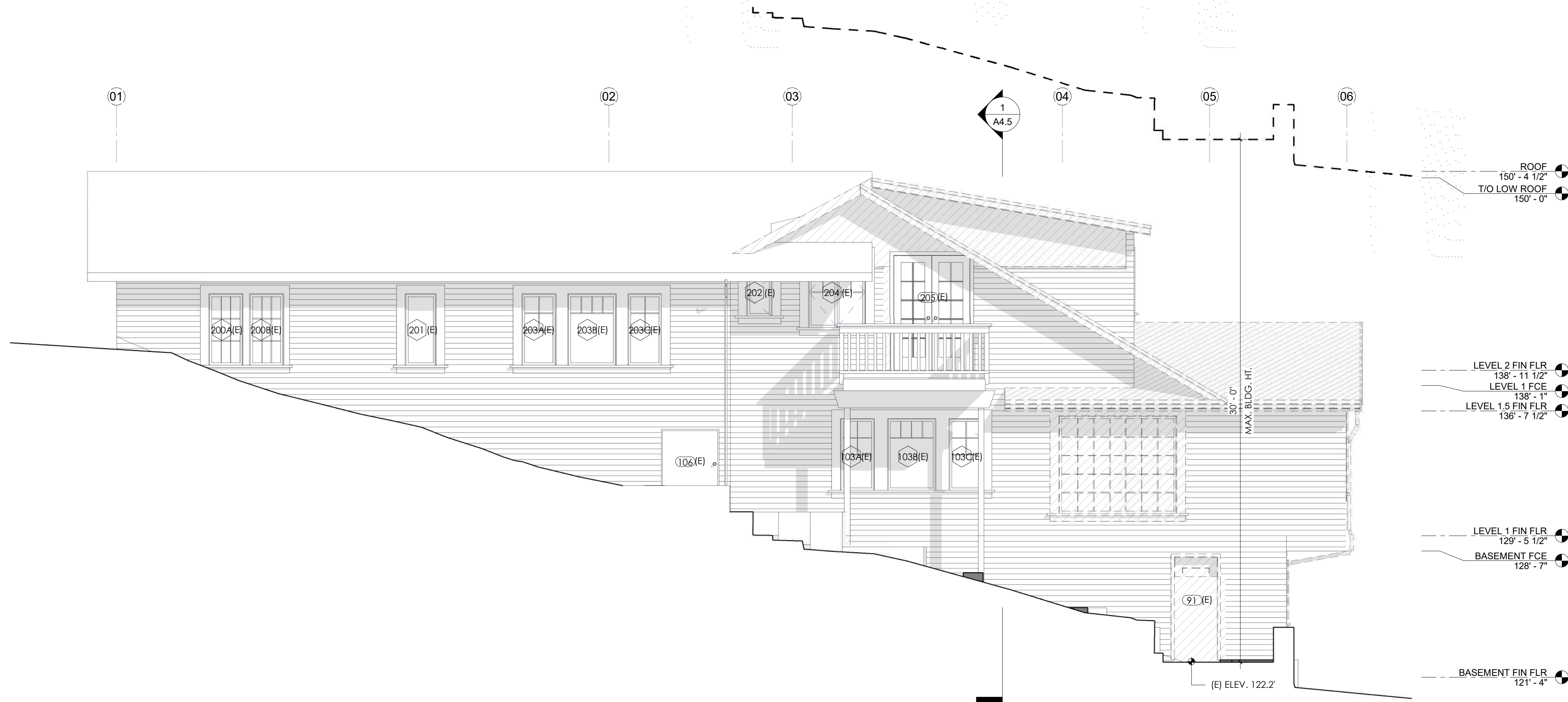


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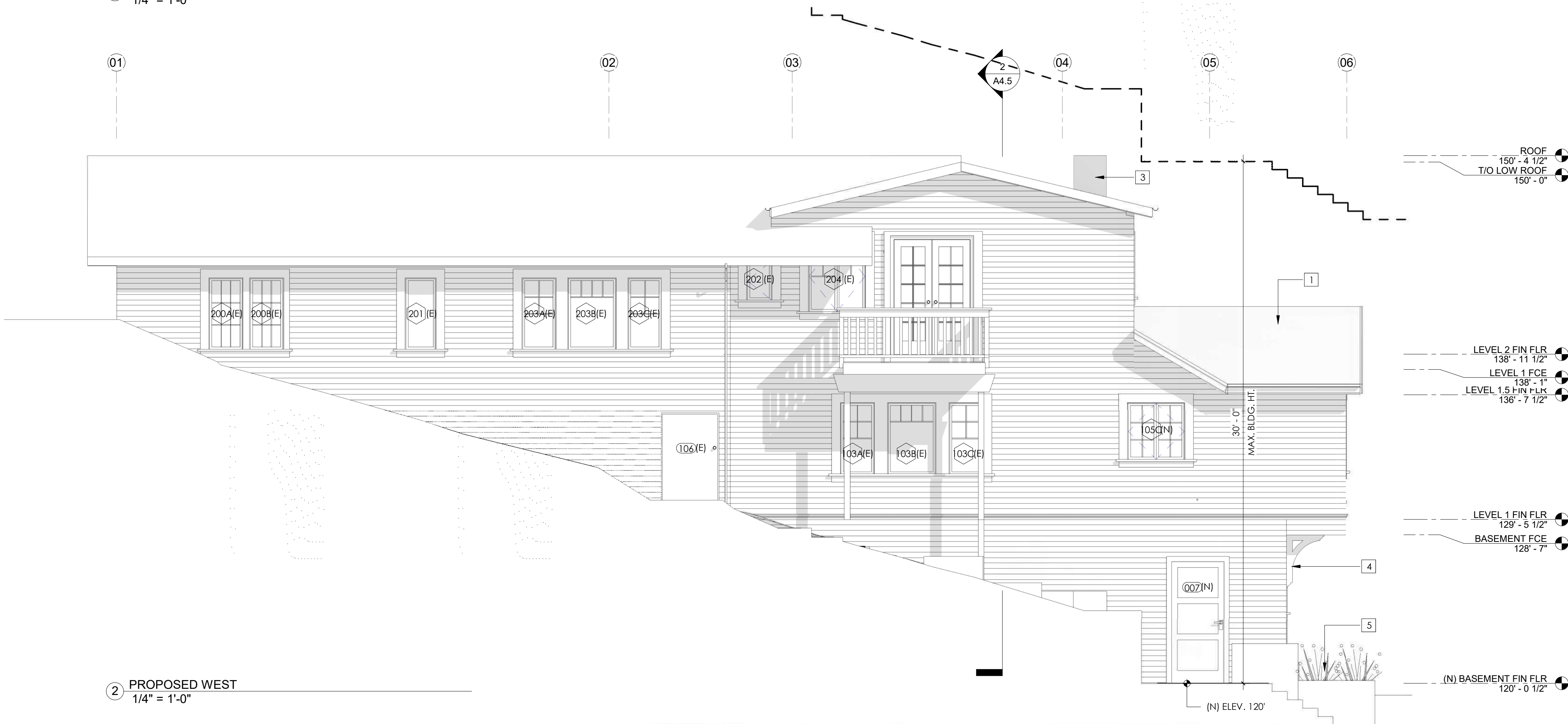
ELEVATION - EXISTING & PROPOSED EAST
As indicated
A4.2

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1 WEST ELEVATION - EXISTING
1/4" = 1'-0"



2 PROPOSED WEST
1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

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DEMOLITION KEYNOTES

XX

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CONSTRUCTION KEYNOTES

XX

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5	(N) PLANTING
6	(N) GARAGE DOOR
7	REUSE (E) WINDOWS
8	(N) WINDOWS, MATCH (E) WINDOWS
9	(N) GATES; 6'-0" MAX. ABOVE GRADE

WALL LEGEND

- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- EXISTING PARTITION TO BE REMOVED.
- EXISTING ELEMENTS TO BE DEMOLISHED.
- (#) (E) - EXISTING
(R) - REUSE
(N) - NEW
- (XXX) (E) - EXISTING
(R) - REUSE
(N) - NEW
- WINDOW TAG
- DOOR TAG

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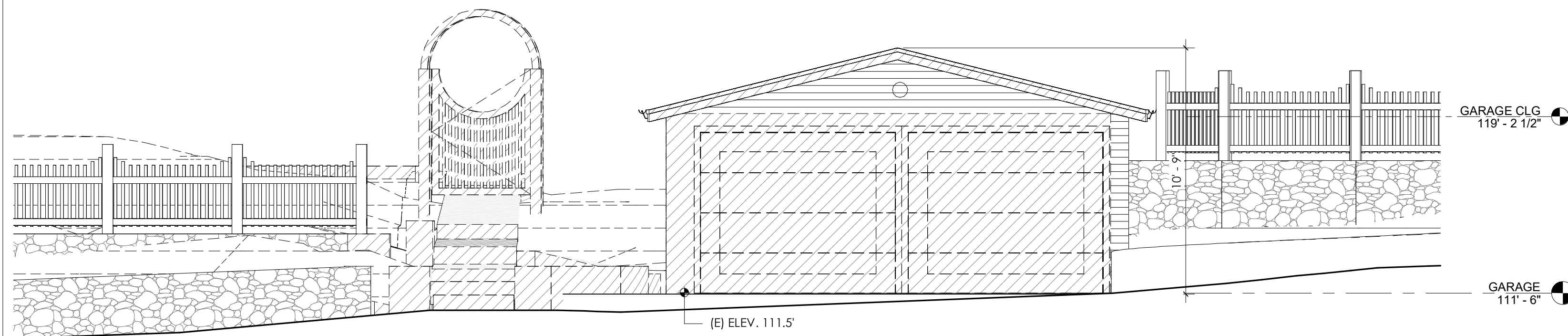
ELEVATION - EXISTING & PROPOSED WEST

As indicated

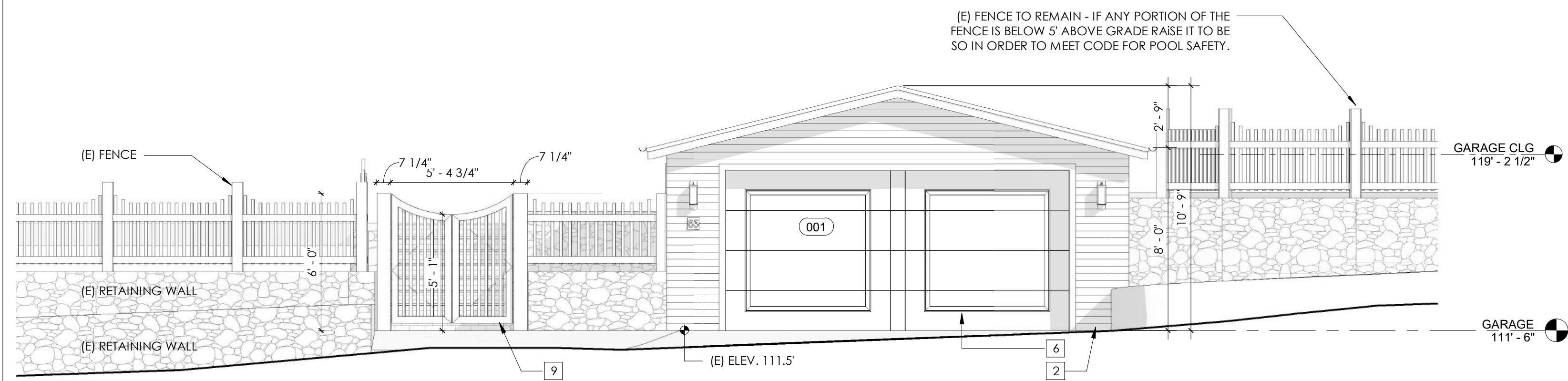
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2 GARAGE & ADU EAST ELEVATION - EXISTING
1/4" = 1'-0"



1 GARAGE & ADU EAST ELEVATION - PROPOSED
1/4" = 1'-0"



EXISTING GARAGE AND ENTRY



PROPOSED GARAGE AND ENTRY

DEMOLITION PLAN GENERAL NOTES

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DEMOLITION KEYNOTES

CONSTRUCTION PLAN GENERAL NOTES

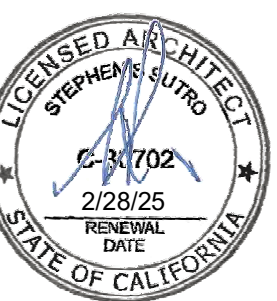
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8	(N) WINDOWS, MATCH (E) WINDOWS
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LEGEND

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- (E) - EXISTING
- (R) - REPLACE
- (N) - NEW
- (E) - EXISTING
- (R) - REPLACE
- (N) - NEW
- WINDOW TAG
- DOOR TAG



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ELEVATIONS - EXISTING & PROPOSED GARAGE

As indicated

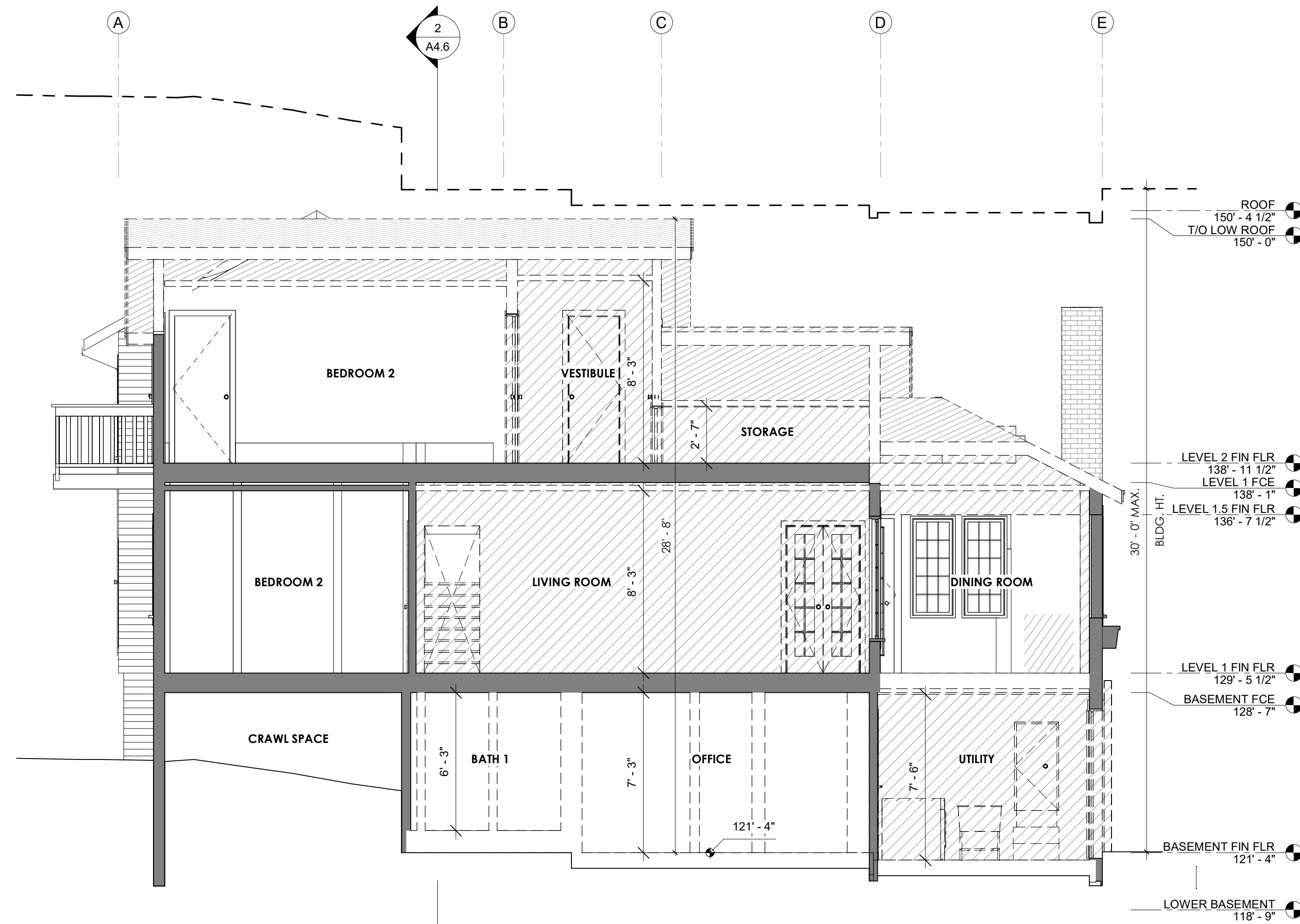
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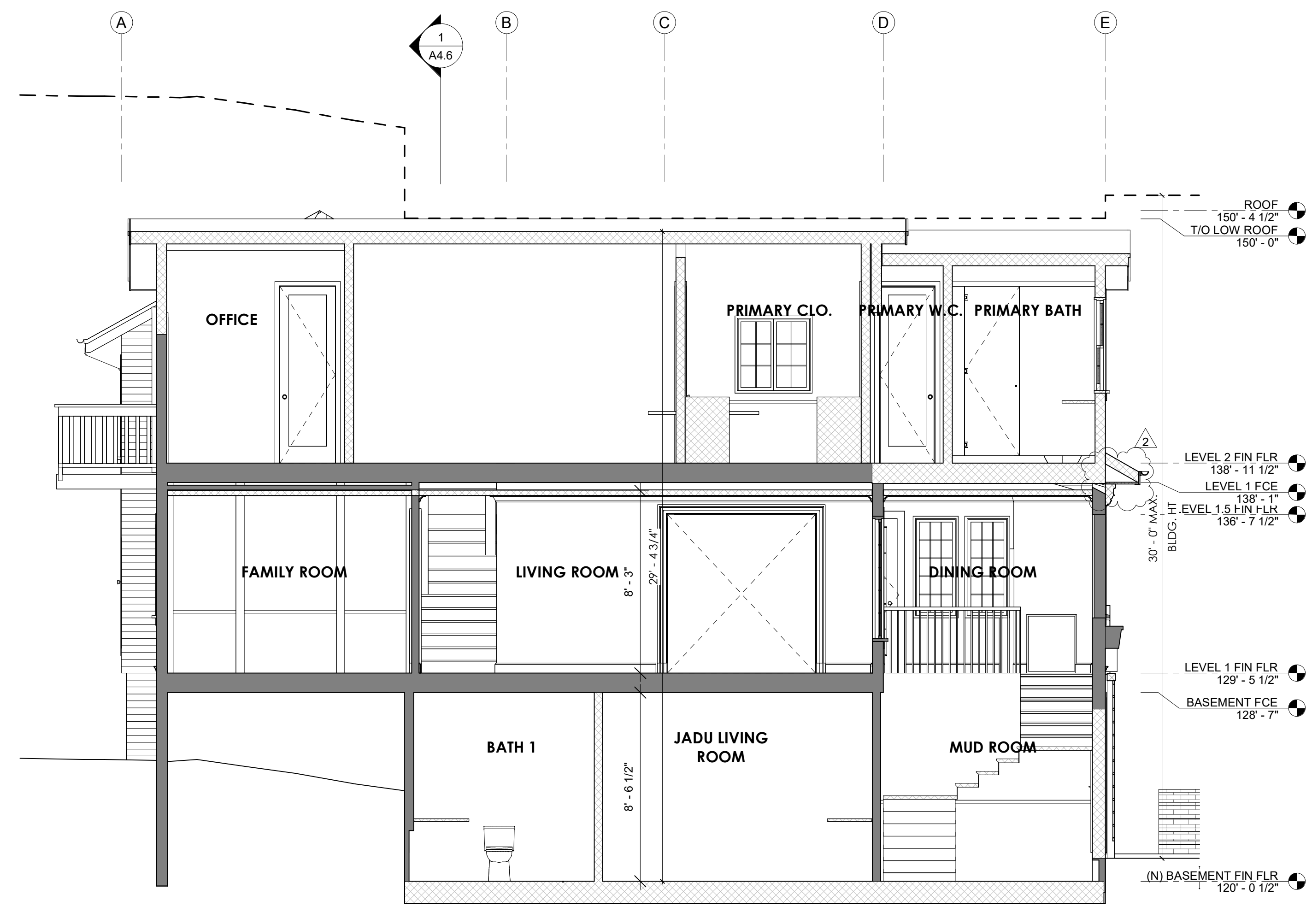
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1 BUILDING SECTION - LONGITUDINAL - EXISTING
1/4" = 1'-0"



2 BUILDING SECTION - LONGITUDINAL - PROPOSED
1/4" = 1'-0"

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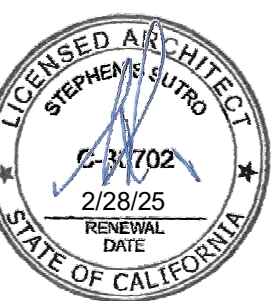
CONSTRUCTION KEYNOTES

LEGEND

- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- EXISTING PARTITION TO BE REMOVED.
- EXISTING ELEMENTS TO BE DEMOLISHED.
- (E) - EXISTING
- (R) - REPLACE
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- (N) - NEW
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SECTION - EXISTING/ PROPOSED LONGITUDINAL

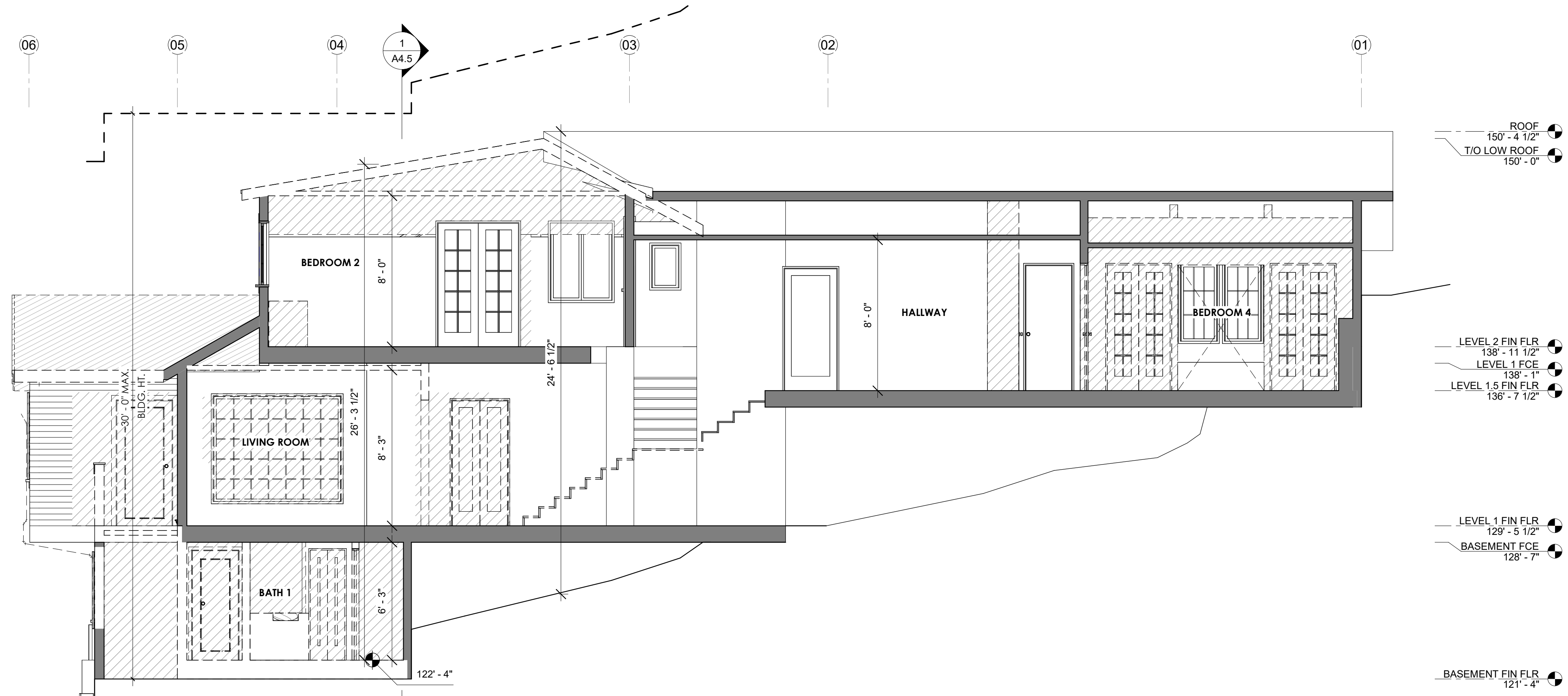
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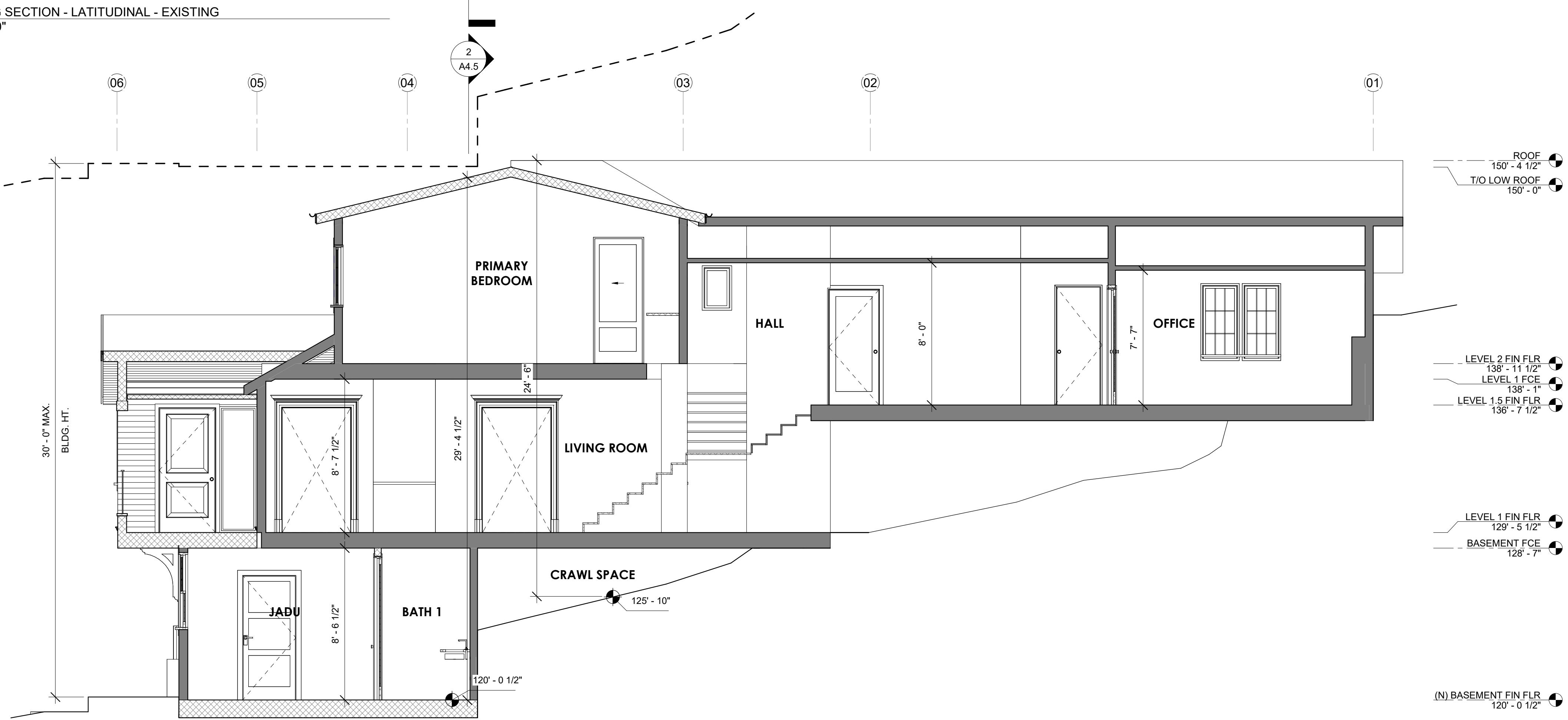
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2 BUILDING SECTION - LATITUDINAL - EXISTING
1/4" = 1'-0"



1 BUILDING SECTION - LATITUDINAL - PROPOSED
1/4" = 1'-0"



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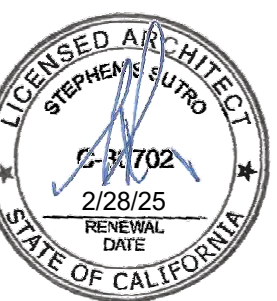
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WALL LEGEND

- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- EXISTING PARTITION TO BE REMOVED.
- EXISTING ELEMENTS TO BE DEMOLISHED.
- # (E) - EXISTING WINDOW TAG
- (R) - REUSE WINDOW TAG
- (N) - NEW WINDOW TAG
- XXX (E) - EXISTING DOOR TAG
- (R) - REUSE DOOR TAG
- (N) - NEW DOOR TAG

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco, CA 94109

RESIDENTIAL REMODEL
65 WELLINGTON AVENUE
SAN ANSELMO, CA 94960



ADR SUBMITTAL 08/18/23

SECTION - EXISTING & PROPOSED CROSS SECTION

As indicated

A4.6

8/17/2023 11:45:20 AM

LEGEND:

- AC ASPHALTIC CONCRETE
- BRKRW BRICK RETAINING WALL
- CF CONCRETE FOOTING
- CHM CHIMNEY
- CONC CONCRETE
- DO DRAIN OUTLET
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- GM GAS METER
- GRND GROUND
- GS GROUNDSHOT
- INV INVERT
- RF ROCK FACADE
- RRW ROCK RETAINING WALL
- SD STORM DRAIN
- SSMH SANITARY SEWER MANHOLE
- TBRKRW TOP OF BRICK RETAINING WALL
- THRESH THRESHOLD
- TRRW TOP OF ROCK RETAINING WALL
- TWRW TOP OF WOOD RETAINING WALL
- TYP TYPICAL
- UNKN UNKNOWN
- UTIL UTILITY
- VALT VALT
- WRW WOOD RETAINING WALL

- INDICATES FOUND IRON PIPE AS NOTED
- X101.5 INDICATES GROUNDSHOT
- 12TREE INDICATES TREE SIZE
- INDICATES BOUNDARY LINE
- INDICATES LOT LINE
- INDICATES MAJOR CONTOUR LINE
- INDICATES MINOR CONTOUR LINE
- INDICATES WIRE FENCE
- INDICATES WOOD FENCE
- X — X — X — INDICATES WOOD LATTICE FENCE
- INDICATES ROCK RETAINING WALL

- ▢ INDICATES BRICK
- ▢ INDICATES CONCRETE

NOTES:

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. THE DATE OF THE FIELD SURVEY WAS OCTOBER 12 AND NOVEMBER 16, 2022.
3. ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
4. CONTOURS SET AT 1 FOOT INTERVALS.

BENCHMARK:

- ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:

THE BEARING, NORTH 18°30'00" WEST, OF THE COMMON LINE BETWEEN LOTS 2 AND 3, IN BLOCK 8 "WINSHIP PARK", 4 RM 33, BETWEEN THE FOUND IRON PIPES AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED ON SEPTEMBER 20, 2004 IN BOOK 2004 OF MAPS AT PAGE 251, IN THE OFFICE OF THE RECORDER OF MARIN COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

TITLE REPORT NOTE:

NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

UTILITY NOTE:

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

HD SCANNING NOTE:

TOPOGRAPHIC DATA DERIVED FROM HIGH DEFINITION SCANNING METHODS.
SCANNER: LEICA P40

TREE NOTE:

TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

RECORD OF SURVEY NOTE:

BOUNDARY DATA SHOWN ON THIS SURVEY IS BASED ON A BOUNDARY SURVEY RESOLVED BY THE LICENSED LAND SURVEYOR AS SHOWN ON THE SURVEYOR'S STATEMENT. PER SECTION 8762 OF THE LAND SURVEYORS' ACT, A RECORD OF SURVEY WILL BE PREPARED AND SUBMITTED TO THE COUNTY OF RECORD AS PART OF THIS SURVEY.

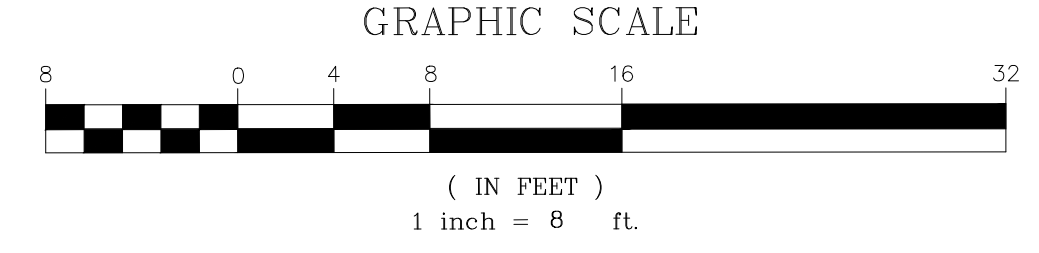
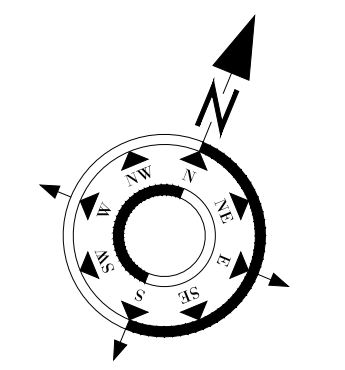
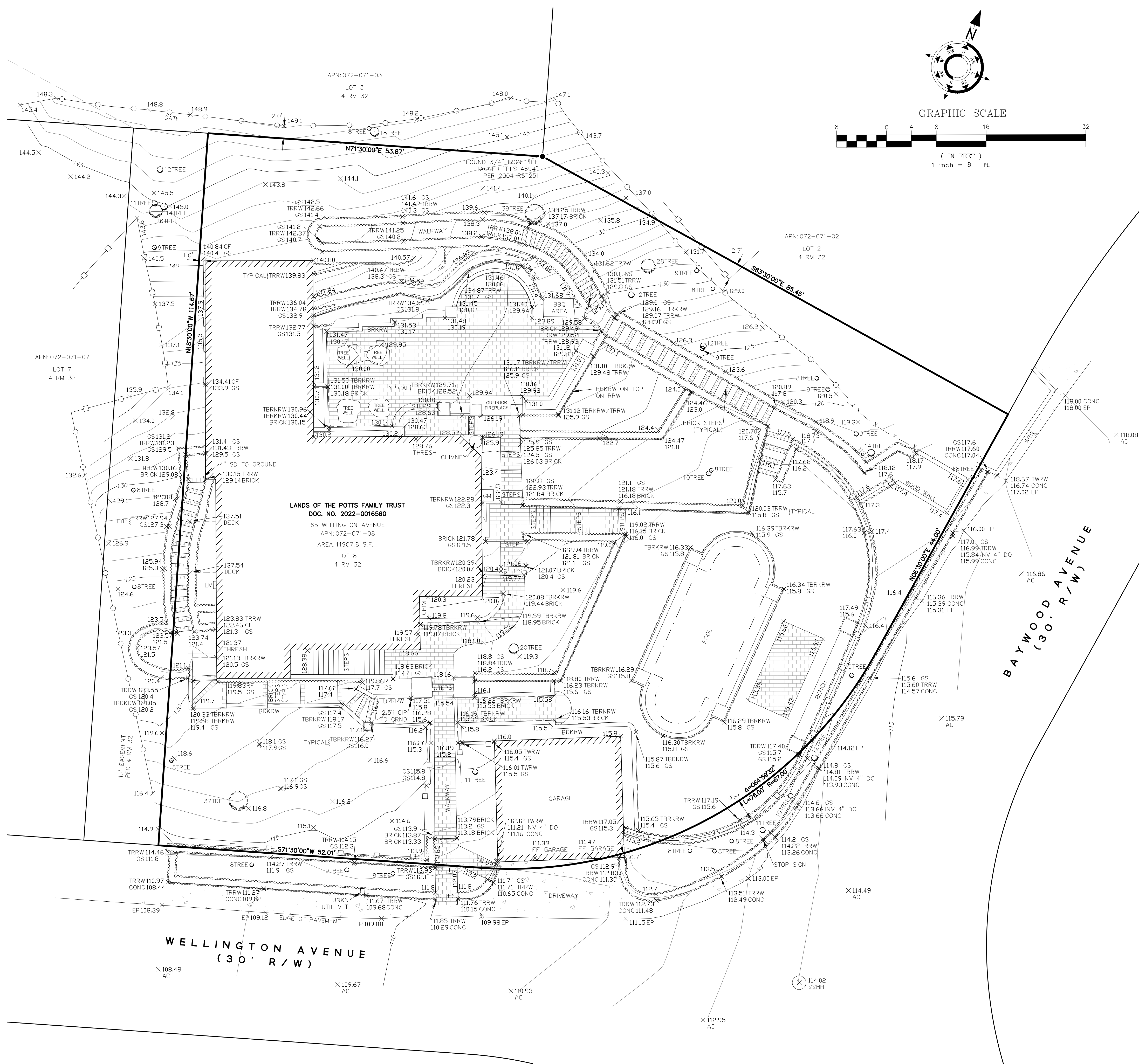
SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

[Signature]
PAUL M. SMITH, S. #7539



DATE _____



MUIR CONSULTING
139 CHURCH AVENUE
DANFORTH, CA 95361
(209) 845-8630
SURVEY • HD • GPS • UAV
www.muiconsulting.com



BOUNDARY & TOPOGRAPHIC SURVEY
OF
65 WELLINGTON AVENUE
MARIN COUNTY CALIFORNIA

REVISIONS	JOB NUMBER	6107-05	DRAWING NAME	6107-05TOPO.dwg	
	DRAWN BY	WCC		CHECKED BY	TJE
				DATE	11/22/2022
				SHEET NO.	1 OF 1
				ROSS	

ATTACHMENT 3



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|--|
| <input type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): _____

Project Address: _____

Property Owner: _____

Owner Mailing Address (PO Box in Ross): _____

City/State/Zip: _____ Owner's Phone: _____

Owner's Email: _____

Applicant: _____

Applicant Mailing Address: _____

City/State/Zip: _____ Applicant's Phone: _____

Applicant's Email: jsimenic@sutroarchitects.com

Primary point of Contact Email: Owner Buyer Agent Architect

jsimenic@sutroarchitects.com

To Be Completed by Town Staff:

Date Received: _____	Planning 5300 _____
Application No.: _____	Tree Permit 5305 _____
Zoning: _____	Fee Program Administration 5315-05 _____
	Record Management 5316-05 _____
	Record Retention 5112-05 _____
	Technology Surcharge 5313-05 _____
Date paid: _____	TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: 1

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment:

Existing Parcel Size(s)	Parcel 1:	Parcel 2:
Adjusted Parcel Size(s)	Parcel 1:	Parcel 2:

PARCEL ONE	PARCEL 2
Owners Signature:	Owner's Signature:
Date:	Date:
Owner's Name (Please Print):	Owner's Name (Please Print):
Assessor's Parcel Number:	Assessor's Parcel Number:

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment:

CERTIFICATION AND SIGNATURES

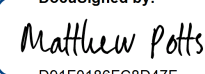
I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

DocuSigned by: 

Owner's Signature: _____ Date: 8/21/2023

AA86704A9B4B487...

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

DocuSigned by: 

Owner's Signature: _____ Date: 8/23/2023

D91F0180FC8D47F...

SIGNATURE:

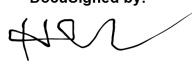
I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.


I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

_____, California on _____

DocuSigned by:

AA86704A9B4B487...

DocuSigned by:
Matthew Potts
D91F0186FC8D47F...



Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm _____
Project Landscape Architect _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm _____
Project Engineer _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
Project Arborist _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Written Project Description – *may be attached.*

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

65 Wellington Ave is an existing single family home in the R1-B10 zoning district in Ross, CA. The lot is also a hillside lot due to the sloping portion at the rear of the site. The proposed project will convert the existing habitable basement into a JADU, remodel and add onto the existing primary, remodel the interior, rebuild the existing roof, and reconfigure a portion of the front yard landscape and retaining walls.

The front stairs of the home will be reconfigured, and we propose to make the entry more inviting by adding 17 square feet of porch area. This will allow for someone to stand outside the front door when ringing the doorbell. To complete the porch addition, we are proposing to reframe the roof to overhang the exterior porch addition. Given the existing, nonconforming position of the home on the site and the lot's designation as a hillside lot (which increases setback requirements) we are requesting a modest variance for this work.

The renovation to the primary suite at level 2 will include an addition over existing space below and proposes a reconfigured roof above which has the peak centered over the massing of the space. We think led to a more overall appealing mass.

At the street level we are proposing a single large garage door at the existing garage along with new gates which lead to a flattened entry terrace.

The overall renovation aims to keep the existing character of the home intact. All window and door casings along with siding will match the existing and the house will be painted navy blue with a creamy white trim color. We think this color along with keeping the existing architectural features creates a design which fits in with the neighborhood aesthetic.

SUTRO ARCHITECTS

December 20, 2023

Alex Lopez-Vega
Town of Ross Planning
P.O. Box 320 | 31 Sir Francis Drake Blvd.
Ross, CA 94957-0320

Email: alopez-vega@townofross.org

65 Wellington Ave – ADR Hearing Response Letter

Dear Alex,

Below is a written summary of ADR Comments and how we have addressed them, and which sheets have changed.

A revised package of drawings is included. The changes are clouded with a delta 2.

Comment 1:

Add a small sloping roof adjacent the level 2 primary bath addition.

Response 1:

This has been added. The following sheets have been updated: A1.1, A1.3, A1.6, A2.7, A2.8, 2/A4.0, 2/A4.1, 2/A4.2, 2/A4.5

Comment 2:

Add a 2 columns at the main house entry.

Response 2:

Columns adjacent the entry have been added. The following sheets have been updated: A1.6, A2.6, 2/A4.1, 2/A4.2

Comment 3:

Change from a 1-panel to a 2-panel garage door with more detail.

Response 3:

Garage door has been updated to make it look more detailed and make it look like 2 doors even though it is a single door. The following sheets have been updated: A4.4.

Comment 4:

Do a better job of showing the front entry gate and landscaping.

SUTRO ARCHITECTS

Response 4:

Existing and Proposed garage elevations have been updated. We added a 3d view of the front gate and property entry and added an enlarged landscaping plan on A1.3. The following sheets have been updated: A1.3, A4.4.

Thanks for your time and let us know what questions you have.

Sincerely,



John Simenic
Studio Director | Architect

415.956.3445.

415.766.4088.

jsimenic@sutroarchitects.com

Name	Address	Date and nature of contact	Response
Alex and Nick Hudson	66 Wellington Ave	emailed plans and to set up time to discussion 11/13/3	Verbal conversation, they asked if we intend to keep similar landscaping in front of house, particularly the trees closest to street, and we replied yes. Updated them on intention to have workers carpool from SFD to reduce parking burden. They said they have no problem with the project. Sent email confirming conversation on 11/22
Ashley and Nick Ghiradelli	70 Wellington Ave	emailed plans and to set up time to discussion 11/13/3	Sent emailing saying they have no problem and approve of contractor :)
Linda Brown	7 Baywood	emailed plans and to set up time to discussion 11/13/3	Verbal conversation. Linda expressed concerns about parking and workers smoking on her property, we promised to advise Nick (contractor) of these concerns and believe that when he is living in the immediate vicinity and sees this first hand he can manage the workers. Also explained intention to have workers carpool from SFD. Linda said she would support the project, sent email confirming on 11/22. She responded and wants to talk more about parking
Erin and JD Lumpkin	69 Wellington	emailed plans and to set up time to discussion 11/13/3	Sent follow up email on 11/22; they responded that they are 100% supportive and offered to submit a letter.
Joanne Hom and	58 Wellington Ave	got email from Alex Hudson and emailed plans and to respond to any questions pn 11/16/23	Followed up on 11/22 received email approving of project with some requests re cleaning up nails and parking on baywood
Melissa and Bart Welles	55 Fallen Leaf Ave	emailed plans and to set up time to discussion 11/13/3	Asked for images showing impact to the West side of house, sent to them. Followed up on 11.22
Justyna and Michael Llyod	54 Wellington	emailed plans and to set up time to discussion 11/13/3	sent follow up email on 11/22; received a response on 11/27 stating concerns about trucks turning around in their driveway from other projects and damagin their driveway and fence.
Melissa and Craig Slayen	51 Wellington	emailed plans and to set up time to discussion 11/13/3	Also emailed about concerns about parking; shared the plan to commute from SFD, and they approve of project.
unknown	50 Wellington	note: two different families listed in directory not sure of current owner	
Nancy Gilmore	73 Wellington	emailed plans and to set up time to discussion 11/13/3	Emailed with some questions about duration and parking, approved of the project.
Cynthia and Richard Hannum	23 Baywood	emailed plans and to set up time to discussion 11/13/3	After some initial confusion via email about the property line, agreed surveys match. They will be moving their fence to the property line and both of us will look to increase landscaping between the properties. We met with them in person and they approve of the project

ATTACHMENT 4

BROWN & DELZELL, LLP
Attorneys at Law

Workers' Compensation

Linda Joanne Brown*
Karina Kowler Delzell*
David J. Angelo

Rafael Town Center
999 Fifth Avenue
Suite 430
San Rafael, CA 94901

EAMS ID No.: 4870671

Tel: (415) 925-9212

January 10, 2024

David Woltering
Town of Ross
P.O. Box 320
Ross, CA 94957

Re: 65 Wellington's Proposal for Construction and Management Plan

Dear Mr. Woltering:

My name is Linda Brown. I live next door to 65 Wellington Avenue. I have already expressed concerns about various issues, but I wanted to make sure you had all of my concerns in writing before you. The concerns are as follows:

As you are aware, 65 Wellington has a non-conforming yard in front of the home that was never permitted and usurps the parking necessary on Wellington and Baywood. We understand that there has been a proposal for the landscaping part of this project that would change their "front yard." Their changes proposed do not, however, address the main issue which of course is lack of parking and an illegal, non-permitted and non-conforming front yard. By this non-conforming aspect, the parking requirement required of all Ross residents has not and will not be met unless something is done. We are requesting that you abide by the rules applied to all of Ross residents, for the most part, that parking and construction is held to certain standards. Involving the construction we understand that they intend to potentially change the elevations in front of the house. If the change of elevations are allowed, is it going to include of course the requirement that they provide parking in front of their home?

As we understand it, you are responsible for the safety of the neighborhood. We encourage you to exercise your rights to protect us. As I have indicated to you already in prior communication, I have literally been almost killed by the construction problems caused by Contractor Ghirardelli. This is the same contractor that the Potts are using for their project. I have witnesses to the fact that I cannot back out of my driveway without risking my own life because of their construction vehicles and their failure to provide parking for the residents and their workers.

I am held to provide parking for my home. I have a garage and two places outside on my property to provide parking for three vehicles. I suggest that the same requirements be made for the number of people that will be living at 65 Wellington.

I want to let you know that should I or anyone in my family be injured by the failure to properly protect our ingress and egress to our property because of the parking failures, I will hold the Town of Ross responsible for any physical or property damage. Further, there is the failure to protect people at the stop sign (i.e., the failure to protect distancing from the stop sign and visual clearance), which they have not provided or can they provide in the current set up.

Page 2
January 10, 2024
Re: 65 Wellington Construction

We have had to deal with Mr. Ghirardelli's mess in terms of parking, coordination of his workers and lack of concern for the neighborhood. To face another two plus years of his attitude and disregard of other people's concerns and problems should not be contemplated by any legitimate government and should not be "forced" on the neighborhood.

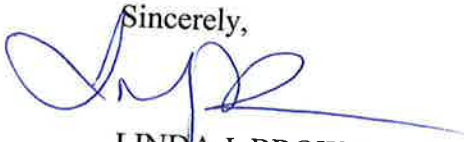
I am not alone in this opinion. Please contact Dan Tedford of 102 Wellington who attended the last ADR meeting regarding 70 and 65 Wellington. I believe he also asked that the parking issue be addressed in the planning stages. Mr. Tedford indicated that he asked if there was a forum to air our issues. As of the last time we heard from Mr. Tedford, he had not heard back. I am asking for the same courtesy. It seems to me that you should involve the neighbors who are so adamantly and for good reason concerned about this project.

In addition to the parking of course, there is the issue of their decision to place a porta potty as close as possible to my property line and my bedroom (i.e., within feet of my liveable space) so that they can avoid the malodorous use of the porta potty. It would seem to me that that burden should be born by the homeowners and not inflicted upon the neighbors.

I have asked that the placement of the porta potty be moved closer to their swimming pool side where they will be working and where it would be most appropriate for their use. Because the porta potty is literally within feet of my liveable space, it is encroaching upon my enjoyment of my property.

Please advise me of your decision on this. If you decide against me and have the porta potty placed there (within feet from my liveable space), I will be bringing a case against the Town of Ross for wrongful discrimination against the elderly and infliction of emotional distress and failure to provide me a safe place to breathe, eat and sleep. If this is so allowed, it would be encroaching upon my private enjoyment of my property. I look forward to your response.

Sincerely,



LINDA J. BROWN
LJB:vs

 [65 wellington.pdf](#)

As a neighbor and original founder of ADR in Ross, I am writing out of concern for the design and process undertaken for the remodel of 65 Wellington. Part of our collegial process is to share design documents with neighbors in a timely manner, giving them the opportunity to consider and review designs for impact on both their privacy and enjoyment but also to look at larger elements like the fabric of the neighborhood and elements of the General Plan like contributing elements to the community experience.

In both of these considerations, we find the current submittal by the design team to be lacking.

In my opinion, as both a neighbor and professional, I support the overall massing and addition to the home. The landscape proposal and particularly the garage lack proper consideration for the texture and context in this neighborhood. These were not presented at ADR and the statements for the design intent are not clear or are misleading. We believe this is intentional.

In discussions and in the presentation to ADR it is represented that the proposed changes to the entry of the home, involving a 6 foot tall multi gate access, is a requirement of the safety requirements for the existing swimming pool. A study of these requirements shows this to be untrue. We think something else is in play. The owners regularly park a large SUV Sprinter Camper on the street. It seems clear that, as they do today, they want to create a new parking area, partially in the Town ROW, to park the SUV. The gates, now 4 instead of a typical single entry, will serve as a loading area for the equipment and service of the Camper vehicle. This will materially change the texture and scale of this important corner and change the fabric of the neighborhood. This oversized camper will create an attractive nuisance at this intersection blocking sight lines at the corner and contributing to an expansion of the parking clutter we now experience. It is important that this intent is obfuscated by the landscape presentation and not discussed as part of the design. DPW should look carefully at this proposal.

Attached is a google link to the submittal documents with comments on all of these issues. Also attached are the rules of pool enclosures.

We look forward to hearing the feedback of your agencies and seeing updated plans from the sponsors. These have been promised but not seen yet.

Richard Hannum



Town of Ross
Planning and Building Department
Post Office Box 320, Ross, CA 94957

SWIMMING POOL BARRIER REQUIREMENTS

The requirements listed below are for permits issued after **January 1, 2020 for new swimming pools,** pool repairs, or pool alterations located at a single-family home.

CA requires for any remodel after 2018

An enclosure that meets the requirements of **section 115923** and isolates the swimming pool or spa **from the private single-family home** and;

this is a 60 inch height requirement but can be located as a barrier to isolate the pool and is not required away from the pool area on a property with this site arrangement. It could be part of a pool isolation barrier per ASTM F2286 and not at the property line as shown. It does not require 6' and could be located elsewhere. It does not require 4 gates.

At least **two** of the following six drowning prevention safety feature:

1. Removable mesh fencing that meets **ASTM specifications F2286** standards in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.
2. An approved **safety pool cover**, as defined in subdivision (d) of section 115921.
3. Exit alarms on the private single-family home's doors that provide direct access to the swimming pool or spa. The **exit alarm** may cause either an alarm noise or a verbal warning, such as a repeating notification that "the door to the pool is open."
4. A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa.
5. **An alarm** that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM standard F2208 "standard safety specification of residential pool alarms," which includes surface motion, pressure, sonar, laser, and infrared type alarms.
6. Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by and approved testing laboratory as meeting standards for those features established by the ASTM or the American Society of Mechanical Engineers (ASME)

Before the issuance of a final approval for the completion of permitted construction or remodeling work, the local building code official shall inspect the drowning safety prevention features required by this section and, if no violations are found, shall give final approval.

"Swimming pool" or "pool" means any structure intended for swimming or recreational bathing that contains water over 18 inches deep.

Hi,

I'm following up on the proposed construction work at 65 Wellington and the ongoing work at 70 Wellington.

There is currently an ADR Meeting scheduled for March 19th about this house (65) but my understanding is that ADR is only for aesthetic discussions so the ADR committee cannot address other concerns, of which there are several.

What meeting date and time is appropriate for neighbors to discuss with the town our ongoing concerns with these projects? I am mentioning them both because they are related.

70 Wellington has been under construction for 2 years. It has been a nightmare for the neighbors here and there is no end in sight.

We have been putting up with noise, traffic, shouting, and confrontations for 2 years now. The entire neighborhood is overrun with work trucks from 7:30 to 5:30 daily. We all need tree trimmers, plumbers, etc and this is not the only project going on. But the sheer scale and duration FAR outstrips anything else happening in the neighborhood. Not even 1 CREST was as disruptive!!! Our neighborhood has been turned into a commercial construction zone. This would never be allowed on Lagunitas. So why is it ok here?

The sheer duration, noise, and mess of the project FOR ONE SMALL HOUSE!

This project is inflicting its cost savings, lack of planning, and poor coordination on the neighbors. Just shuttling a crew in with a leased van would have made a world of difference and is only a decimal point for this project.

Ignoring No Parking zone on Wellington

On a regular basis there are large trucks parked in the No Parking zone in front of this house on a blind turn. There have been more than a few close calls between drivers, pedestrians, cyclists, pet walkers here. They rarely have flaggers and only recently have made a half-hearted effort to turn on blinkers, set out cones, etc. But for 2 years this has generally been the exception - even after they have been spoken to by the town.

Parking on private property

Our houses and driveways are not their jobsite parking. I have two private parking spaces I allow neighbors to use. But when I need my own contractor to visit and label the site accordingly, 70 Wellington crew/owner will park there anyway. cause delays and rude behavior when we have to ask them to move.

Construction activity BEFORE and AFTER allowable hours

Large LOUD, toxic Diesel trucks show up early with engines idling and I would argue that is not in the spirit of an 8am start. They routinely jackhammer after 5pm and do not stop when asked.

Profanity from workers

Asking workers to move a blocking vehicle or stop work on time results in "F you!" responses. Enough said.

Possible lawsuits and slide issues

Apparently they knowingly excavated across property lines. When asked about this by his neighbor he was evasive. A subsequent survey revealed he has indeed done this. Why was this allowed? What are the consequences from the town? On a slide prone hill too!!!

Trucks all day every day

I have attached photos for your viewing pleasure. This is representative of almost every day for the last 2 years.

Zero accommodation for neighbors needs

A neighbor had a contractor out to do some work (one guy, one truck) and the GC/owner of 70 Well. ran out shouting F-bombs telling him to move because he needed the space. So apparently the street is his private staging area? I was not aware of this privilege until I heard him shouting at the poor guy. Nice family new to the neighborhood too! Quite a welcome.

Dangerous road conditions

Wellington is routinely challenging to navigate with all the trucks. There are days when I am certain a firetruck cannot get through. I drive a smallish car and have been mirror to mirror between parked trucks as I try to get by. No fire truck or ambulance could get through that. We have elderly neighbors at the top of Wellington that increasingly have needed emergency service.

Confrontational General Contractor

From where our house sits we get to hear everything! It is not fun to hear a contractor cursing at a neighbor and refusing to move a vehicle because "I have a job to do!" Apparently that is more important than being a good neighbor and following some basic rules.

This will be repeated for 65 Wellington, and 66 Wellington, and work on Loma Linda?

Word has it this same general contractor is going to take the same approach on a new project at the same intersection so this is going to continue for yet another year??? At least? They have turned the entire neighborhood into a jobsite with no end. More excavation and concrete? This is not small scale residential work, folks! Large, loud, excavators brought in on flat bed trailers and parked wherever they well please is a far cry from framing a wall with 2x4s. We have raised these issues already but have not heard of any changes to future plans. We need to ration or spread out the large scale work and we need plans in place that will not inflict this perpetual trainwreck on the neighbors. This is severely impacting quality of life and you cannot tell me it has no impact on home values.

I have heard that the crew is not as disciplined when the GC is absent but I sit above this site and hear this mess daily. Most of my examples *involve* the GC/owner. His approach is the problem. His crew just reflects that. I have been told verbatim, "F off, the owner said it was ok." When cops and inspectors leave they just go right back to business as usual.

What is the town doing to:

- Get 70 Wellington done and in a manner that stops inflicting this crap on the neighbors?
- Ensure that we DO NOT repeat this for 65 Wellington? Currently it sounds like this is going to be status quo.
- Figure out a plan to coordinate 66 Wellington and Loma Linda in a manner that does not leave us in a perpetual state of large scale construction?

I did not complain for the first year plus. But with zero goodwill established and daily problems/traffic/close calls I am asking for some meaningful action. I have shared some of these issues with some of you when we have had incidents recently. But I am sharing a fuller picture more broadly as I wanted to make sure the town really knew how bad this was. We are fed up back here. Every neighbor I have spoken with shares these experiences and point of view. To date I have heard empathetic responses from many of you and the police rolled by a couple times when they were jackhammering late. but stopped before the office had time to drive by. I believe they heard about the need for flaggers from you so they brought out the orange vests for a few days. That has stopped again so we are back to the wild west on that turn.

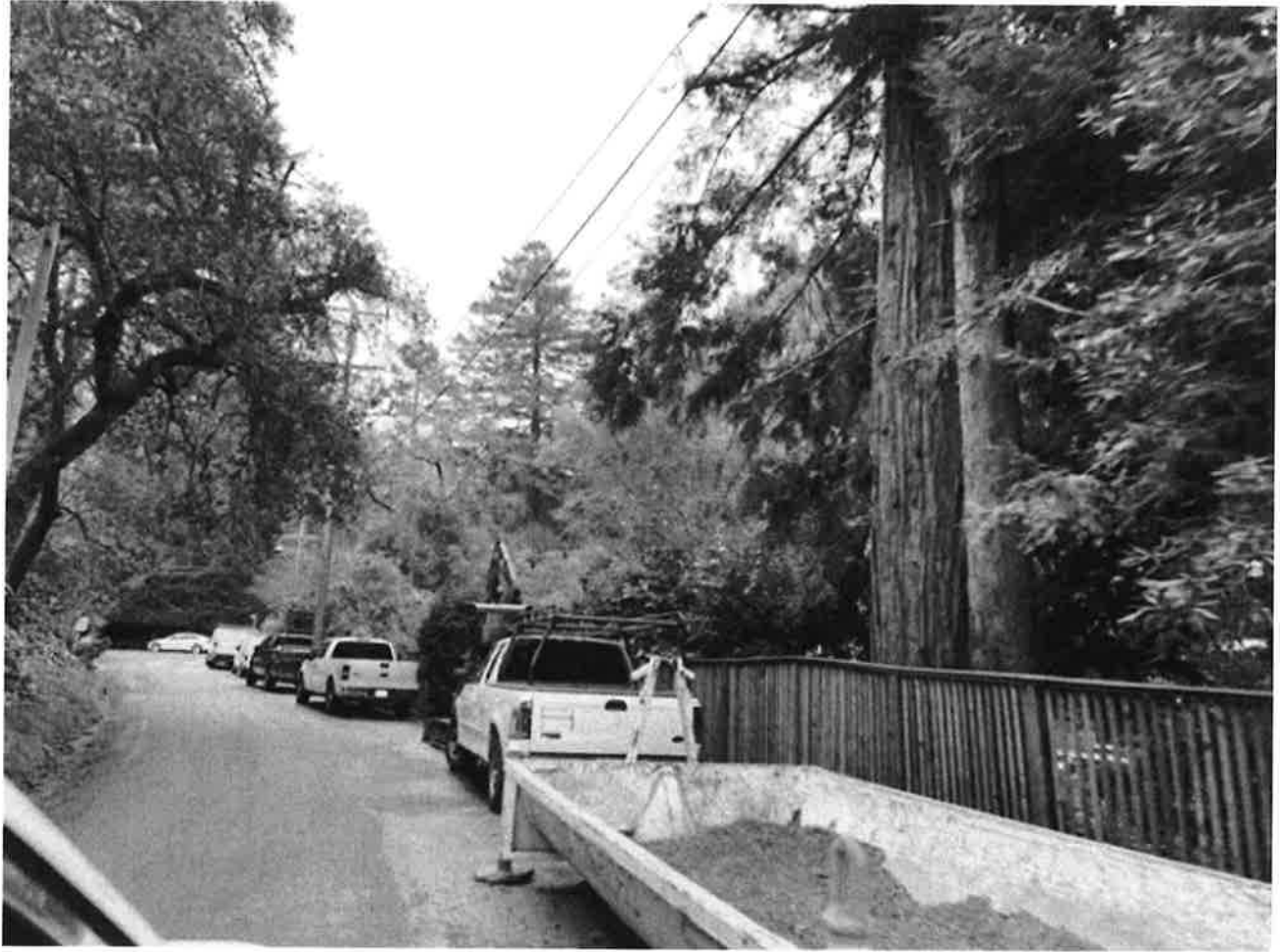
Again, what meeting date and time do I need to put on my calendar to speak about these in the right forum? What actions is the town going to take to address this going forward?

I understand that there are limits to what the town can and can't demand of private property owners but I also believe that much more can and should be done to put in ***guardrails and accountability***. The neighborhood is frustrated the town has allowed this to go on for so long but we are hoping for meaningful change. Lots of lessons here.

Dan Tedford

PS From before and during the entire time I was writing this they had a truck parked in the No Parking zone. No blinkers, no cones, no flags, cars meeting on the blind turn. Status quo.







From: Elinor Mann <elliemann58@gmail.com>

Sent: Friday, March 1, 2024 5:00 PM

To: Christa Johnson - Town Manager <cjohnson@townofross.org>

Cc: Roberta Feliciano <rfeliciano@townofross.org>; Raffaello Pata <rpata@townofross.org>; CouncilAll <towncouncil@townofross.org>; Dan Tedford <dan.tedford@gmail.com>

Subject: 65 Wellington, Potts project.

Greetings Ms. Johnson,

My name is Elinor Mann and I live at #8 Baywood, nearly across the street from #65 Wellington. Dan Tedford has shared with me your current communications regarding the neighborhood impact from ongoing construction by Nick Ghiradelli at #70 and his future job at #65 Wellington for the Potts project.

We greatly appreciate our Police Department's recent enforcement of the No Parking areas at the Baywood and Wellington stop signs. This will sure help improve the safety at this intersection. Plus, a crackdown on illegally parked vehicles will significantly help also. Big huge thank you!!

However, a key neighborhood impact that remains unaddressed is the blatant disregard for a construction crew carpool. Mr. Ghiradelli has made a mockery of the concept for his project at #70 and there is great concern that he will do the same for #65. The Construction Management Plan for the Potts project has been revised from "mandatory" to now merely "encouraged" carpooling. This is not comforting, at all!

The majority of the ten neighbors that were listed in the Potts original outreach had concerns about construction parking. They were all told there would be a crew carpool from SFD that would mitigate the burden. Neighborhood project support hinged on viable carpooling that was compulsory, not just encouraged.

The Potts property will have zero room onsite for any crew vehicles once the debris box is in place. The selfish assumption that they are entitled to park ALL of their work vehicles lining our narrow streets for another 18 month project is extremely disturbing. Parking is anything but plentiful here! To monopolize the few spaces the residents depend on for their own workers/guests is not right. And, to impede access to our garages/driveways because the parked trucks are limiting sightlines is an inexcusable hazard.

On behalf of the neighborhood, may I implore you to please figure out a way to mandate an enforceable and viable construction carpool requirement for the Potts project. Leaving it up to Mr. Ghiradelli to "encourage" is not by any means adequate or acceptable, based on what he's forced us to endure for the past two years.

Thank you for attention in this matter.

Elinor Mann
8 Baywood

ATTACHMENT 5

MINUTES

Meeting of the Ross
Advisory Design Review Group
December 12, 2023, 7:00pm

Video and audio recording of the meeting is available online at the Town's website at:
townofross.org/meetings.

1. 7:00 p.m. Commencement

ADR Group Chair Kruttschnitt called the meeting to order.

Present: Mark Kruttschnitt, Joey Buckingham, Laura Dewar, Mark Fritts, and Stephen Sutro; Alex Lopez-Vega (Assistant Planner) David Woltering (Planning staff)

2. Approval of Minutes.

The ADR Group approved the minutes from the November 14, 2023, meeting.

3. Open Time for Public Comments

No comments were provided.

4. Planning Applications/Projects

- a. **Property Address:** 65 Wellington
A.P.N.: 072-071-08
Applicant: Sutro Architects (John Simenic)
Property Owner: Heather and Matt Potts
Zoning: R-1:B-10
General Plan: ML (Medium Low Density)
Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval for Design Review, a Nonconformity Permit, and a Hillside Lot Permit. The project includes interior and exterior remodeling at the single-family residence to include reconfiguring the front stairs of the home and adding a porch. The project proposes to add a primary suite on the second level that will be over existing space. The project will add a new roof and the house will be painted navy blue with a creamy white trim color. The project also includes new landscaping and hardscape throughout the property. A Nonconformity Permit is required to enlarge, extend, reconstruct, or structurally alter existing nonconforming structures. A separate application has been submitted for ministerial review for a new Junior Accessory Dwelling Unit.

Mark Fritts

- Massing perspective and is okay with the project.
- Minor details to improve the project: compression of the front windows with the overhang

- Overhang for the new porch looks a little squeezed, perhaps make the porch more shallow
- New articulation of the 2nd floor
- No privacy problems for the new 2nd floor
- Garage door needs to show a level of detail. It is hard to tell what kind of door it will be. More detail will also help minimize the mass of the door.
- Supports the flattening of the front lawn
- Likes the rock wall surrounding the house
- Can support the project

Joey Buckingham

- Very good looking project in terms of massing
- The dormer (main part of the front of the building) lost a little bit of charm when the window was simplified and the porch moved to the front
- In general, the project is very well designed
- Achieved useful square footage and floor plan
- Concern about the landscape. Needs a good landscape plan of what it will look like (a rendering to show proposed landscape).

Mark Kruttschnitt

- Overall supports the project
- Agrees with Mark F. that the garage door should look nicer, perhaps divide it into two (a fake double garage door)
- In regard to the entry way, agrees with Laura it's the owner choice but it does lose a little charm due to the symmetry of the windows being in the center with the shutters
- Is fine with the flattening of the lawn
- 6-ft fence the town discourages solid fence, will like to see a better drawn-out fence that is transparent

Laura Dewar

- Overall nice project
- A modest addition
- The mass, scale and location seem like it was all thought out in terms on neighbor impact.
- Layout changes are great.
- The design is an improvement.
- The existing materials are being matched, likes the darker color
- As for landscaping, it will help to know more about the front fencing

5. **Conceptual ADU**

- a. **Property Address:** 200 Lagunitas Road
A.P.N.: 073-131-23

Applicant: Brooks McDonald Architecture
Property Owner: Scott and Sarah Niehaus
Zoning: R-1:B-A
General Plan: VL (Very Low Density)
Flood Zone: X (Minimal Flood Risk)

Project Summary: The applicant requests conceptual Advisory Design Review for a proposed addition to the front and rear of an existing single-family residence.

Mark Kruttschnitt

- Would need a Variance to add patio in setback
- Neighbor support would help

Stephen Sutro

- FAR- not over the limit
- Massing looks good
- Overhang with the roof in the front is a little awkward
- Overall the architectural is very handsome

Laura Dewar

- Question regarding new ADU and the garage, confirming to add three windows
- No privacy issue since house is far away from neighbor

Mark Fritts

- Agrees with Stephen with the massing
- Question regarding impervious surfaces, knowing the limits to that
- Applicant will add about 1,000 SF of impervious surfaces
- The front façade is a huge improvement

b. **Property Address:** 12 Canyon Road
 A.P.N.: 072-031-52
 Applicant: Imprints Landscape Architecture
 Property Owner: Renaud Laplanche
 Zoning: R-1:B-5A
 General Plan: ML (Medium Low Density)
 Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests conceptual Advisory Design Review to construct a new pickle ball court with a new wooden deck and wet bar at the lower rear yard. **Continued to a future meeting.**

6. Information and Discussion.

7. New Agenda Items.

Adjournment, 8:05 PM.

Next scheduled special meeting date and time: January 16, 2023, at 7:00 PM.

DRAFT