



**Staff Report**

**Date:** February 15, 2024  
**To:** Mayor Brekhus and Council Members  
**From:** Alex Lopez-Vega, Assistant Planner  
**Subject:** Horatio LLC Residence, 15 Skyland Way

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**Recommendation**

Town Council consideration for Design Review, and a Hillside Lot Permit for the project described below located at 15 Skyland Way. The Town Council may adopt Resolution No. 2353 (Attachment 1) approving the project, subject to conditions.

Property Owner: Horatio LLC  
Applicant: Pedersen Associates, Kai Okada  
Street Address: 15 Skyland Way  
Parcel Number: 072-201-16  
Zoning: R-1: B-A  
General Plan: VL (Very Low Density)  
Flood Zone: X (Moderate Risk)

**Project Data**

	<b>Code Standard</b>	<b>Existing</b>	<b>Proposed</b>
<b>Lot Area</b>	1 Acre min.	1.5 acres, 67,140 SF	No change
<b>Floor Area (FAR)</b>	15% max.	9,624 SF (14.3%)	No change
<b>Building Coverage</b>	15% max.	8,559 SF (12.7%)	No change
<b>Impervious Surface Coverage</b>	Minimize and/or mitigate for any increase.	12,594 SF (15.2%)	12,745 SF (15.3%)

**Project Description:**

The applicant requests approval for Design Review, and a Hillside Lot Permit. The project proposes to rehabilitate and renovate the existing front and side landscape. The project will expand the existing driveway and construct retaining walls, gates and fences measuring up to 5'-6" in height, construct stone stairs, a landing, paved paths to the garage, along with realigned gravel paths to the existing pool area. Plantings will be incorporated in all disturbed areas, and exterior light fixtures within the project area will undergo renovation. Lighting will be shielded or directed downward to illuminate paved surfaces.

The front and side yard, currently features ornamental and native shrubs with seasonal grasses, and will undergo minimal changes, preserving much of the existing planting while introducing additional native and ornamental shrubs as shown on sheet L5 on the plans. The project will also remove a Blackwood Acacia to accommodate the side yard path and gate but retain the Coast live Oak.

**Impervious Surfaces:**

The project proposes to increase impervious surfaces by about 151 square-feet (SF). As shown on sheet L-2 of the project plans, drainage management areas of approximately 140 SF will be constructed to improve the drainage, directing paved areas to flow into landscape sections, slowing runoff and facilitating stormwater infiltration. In addition, the new driveway expansion will match the existing driveway to include permeable pavers that will contribute to effective stormwater management. The project is consistent with the Town's no net increase standard noted in RMC Section 18.41.100(t), Low Impact Development for Stormwater Management.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following approvals:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** for fences and gates greater than 48" in height adjacent to the street right-of-way; a project; a project resulting in over 1,000 square feet of new impervious landscape surface; and redevelopment, rehabilitation, and/or renovation of existing landscape over 2,500 square feet; and the construction of any retaining wall greater than forty-eight inches in height as measured from bottom of footing to top of wall or any terraced retaining walls totaling more than forty-eight inches in height.
- **Hillside Lot Permit is required for lots with a slope of 30 percent or more, pursuant to RMC Section 18.39.020**

**Background**

The project site is located on an irregular shaped, 67,140-square-foot lot on the south side of Skyland Way. The lot has an average slope of approximately 28.6%. The property is designated as a Hillside Lot because the north and west edges of the lot are located within Slope Stability Hazard Zone 3. The property contains an existing single-family residence with attached garage wing in the middle of the lot; a pool house at the east side; and a detached garage at the west side. The western portion of the property is bisected by a vehicular access easement that separates the detached garage from the remainder of the property. The lot has an approved Design Review, Hillside Lot Permit and a Variance for a first and second-story addition to an existing attached garage at the west wing of the existing single-family residence.

**Advisory Design Review**

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

On January 16, 2024, the proposed project was reviewed by the Advisory Design Review (ADR) group. The ADR members supported overall the design of the project. The ADR members, however, recommended an earth tone color for the retaining wall along the road. The internal retaining wall closer to the existing single-family residence may remain in the color proposed to match the residence. The applicant has made the requested changes, and the project plans reflect an earthtone color for the retaining wall along the road.

Draft minutes of the January 16, 2024, ADR meeting are included as **Attachment 4**.

**Discussion**

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

***Design Review***

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve, or deny an application for Design Review. The Town Council shall include conditions necessary to meet the purpose of Design Review

pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. If the Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))**
- **The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))**

The project provides design consistent with the scale and quality of existing development; preserves and enhances the historical “small town,” provides low-density character and identity that is unique to the Town of Ross; preserves lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Landscaping protects privacy between properties and is compatible with the surrounding neighborhood. The plans meet the Town’s no net runoff policy.

### ***Hillside Lot Permit***

Hillside areas are defined as parcels which have a slope of thirty percent or greater or are wholly or partially within Hazard Zones 3 or 4 as identified on the Town slope stability map. The purpose of Hillside designation includes: preserve significant features of the natural environment including watersheds, watercourses, canyons, knolls, ridgelines and rock outcroppings and minimize disturbance to the natural terrain; protect steep slopes, creeks, significant native vegetation, wildlife and other environmental resources; ensure that development will not create or increase fire, flood, slide or other hazards to public health and safety; protect the public health, safety and general welfare and the property of people in the vicinity of steep hillside building sites; and reduce the visual impacts of construction on hillsides and encourage building designs compatible with hillside areas.

Pursuant to Section 18.39.20 (b), the proposed project requires a Hillside Lot Permit for the construction of any retaining wall greater than 48” in height and a project on a lot that previously received a Hillside Lot application approval.

Staff recommends approval of the Hillside Lot Permit as summarized below and by the findings in Exhibit “A”.

The proposed project protects and preserves public and private open space; significant features

of the natural environment, includes steep slopes, creeks, significant native vegetation, and wildlife; and other environmental resources. Development is limited to a level consistent with available public services and road access that can be reasonably provided to and within the parcel. Development will not create or increase fire, flood, slide or other hazards to public health and safety. Design is well articulated to minimize the appearance of bulk. Materials and colors are of subdued tones and blend with the natural landscape. Development minimizes the obstruction of views from surrounding properties and public vantage points, with particular care taken to protect primary views. Consistent with Chapter 18.48, the findings are recommended to support the approval of the requested hot tub to be legalized as proposed setback encroachments on a Hillside Lot.

### **Fiscal, Resource and Timeline Impacts**

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impact on the Town associated with the project.

### **Alternative actions**

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

### **Environmental Review**

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

### **Public Comment**

Public Notices were mailed to property owners within 500 feet of the project site 10 days prior to the meeting date and no comments were received at the time of writing this report.

### **Attachments**

1. Resolution No. 2353
2. Project Plans
3. Project Application and Materials
4. Draft ADR Meeting Minutes, January 16, 2024

# ATTACHMENT 1

# TOWN OF ROSS

## RESOLUTION NO. 2353

### RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW AND A HILLSIDE LOT PERMIT TO REHABILITATE AND RENOVATE EXISTING LANDSCAPING OVER 2,500 SQUARE FEET AT 15 SKYLAND WAY, A.P.N. 072-201-16

**WHEREAS**, the applicant Pederson Associates, on behalf of property owners, Horatio LLC, submitted an application requesting approval of Design Review and a Hillside Lot Permit to rehabilitate and renovate the existing front and side landscape. The project will expand the existing driveway and construct retaining walls, gates and fences measuring up to 5'-6" in height, construct stone stairs, a landing, paved paths to the garage, along with realigned gravel paths to the existing pool area. Plantings will be incorporated in all disturbed areas, and exterior light fixtures within the project area will undergo renovation. Lighting will be shielded or directed downward to illuminate paved surfaces at 15 Skyland Way APN 072-201-16 (herein referred to as "the Project").

**WHEREAS**, the Project is determined to be exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination; and

**WHEREAS**, on February 15, 2024, the Town Council held a duly noticed public hearing to consider the Project; and

**WHEREAS**, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

**NOW, THEREFORE, BE IT RESOLVED** the Town Council of the Town of Ross hereby incorporates the recitals above; making the findings set forth in Exhibit "A", and conditionally approves the Design Review and a Hillside Lot Permit to allow the Project, subject to the Conditions of Approval attached as Exhibit "B".

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 15<sup>th</sup> day of February 2024, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

**ATTEST:**

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Cyndie Martel, Town Clerk

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Elizabeth Brekhus, Mayor

**EXHIBIT "A"**  
**FINDINGS**  
**15 Skyland Way**  
**A.P.N. 072-201-16**

**A. Findings**

**I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:**

**a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.**

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellent design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," provides very low-density character and identity that is unique to the Town of Ross; preserves lands which are unique environmental resources; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

**b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.**

As recommended by the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The site would be kept in harmony with the general appearance of neighboring landscape. Lot coverage and building footprints would be minimized, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. New buildings constructed on sloping land are designed to relate to the natural landforms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site. Buildings would use materials and colors that minimize visual impacts and blend with the existing landforms and vegetative cover, including wood and stone. Good access, circulation and off-street parking would be provided consistent with the natural features of the site. Open fencing would be aesthetically attractive and not create a "walled-in" feeling or a harsh, solid expanse. Landscaping would be integrated into the architectural scheme to accent and enhance the appearance of the development, including attractive, fire-resistant, native species and replacement trees for trees removed by development. Landscaping would create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire. The Project would maximize permeability and reduce the overall impervious surface coverage on the property, by removing existing impervious surfaces to more than offset the new development, so that the post-development stormwater runoff rates from the site would be no greater than pre-project rates.



**c) The project is consistent with the Ross General Plan and Zoning Ordinance.**

The Project is consistent with the allowed uses and general development standards associated with the Very Low-Density land use designation of the General Plan, the Single-Family Residence and Special Building Site zoning regulations. It preserves the desirable single family residence character of the town; therefore, the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

**II. In accordance with Ross Municipal Code Section 18.39.060, Hillside Lot Permit is approved based on the following mandatory findings:**

**(1). The project complies with the stated purposes of Chapter 18.39.**

The proposed project protects and preserves public and private open space; significant features of the natural environment; includes steep slopes, creeks, significant native vegetation, and wildlife; and, other environmental resources. Development is limited to a level consistent with available public services and road access that can be reasonably provided to and within the parcel. Development will not create or increase fire, flood, slide or other hazards to public health and safety.

**(2). The project complies with the development regulations of Section 18.39.090, or that the Town Council has considered and approved a variance.**

Graded slopes do not exceed 2:1. Development adheres to the wildland urban interface building standards within the California Building Standards Code. The project would produce no net increase in peak runoff from the site compared to pre-project conditions.

**(3). The project substantially conforms to the hillside development guidelines in Section 18.39.090.**

Architectural design complements the form of the natural landscape. Design is well-articulated to minimize the appearance of bulk. Materials and colors are of subdued tones to blend with the natural landscape. The existing nonconforming residence and the placement conform to the natural contours of the site. Development minimizes the obstruction of views from surrounding properties and public vantage points, with particular care taken to protect primary views.

**EXHIBIT "B"**  
**CONDITIONS OF APPROVAL**  
**15 Skyland Way**  
**A.P.N. 072-201-16**

1. The building permit shall substantially conform to the plans entitled, "Horatio LLC" dated 1/12/2024, and reviewed and approved by the Town Council on February 15, 2024.
2. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
3. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
4. The Project shall comply with the Fire Code and all requirements of the Ross Valley Fire Department (RVFD).
5. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
6. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
7. A Tree Permit shall not be issued until the project grading or building permit is issued.
8. The Project shall comply with the following conditions of the Town of Ross Planning and Building Department and Public Works Department:
  - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within

the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.

- b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the Building Official/Director of Public Works. The Plan shall include a signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. No additional landscaping shall be permitted within the private road.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 8n.
- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion

control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).

- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust

control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.

- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the Director of Public Works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
  - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
  - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.

- iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
9. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding (“action”) against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

# ATTACHMENT 2

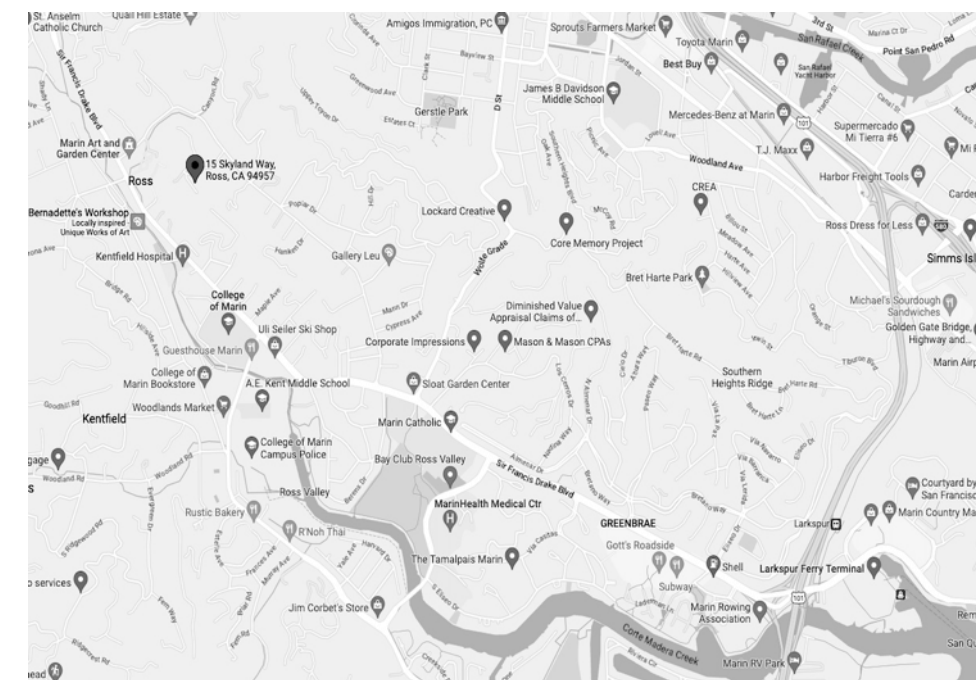
# 15 SKYLAND WAY

## LANDSCAPE RENOVATION

### SCOPE OF WORK

RETAINING WALL TO 5'-6" TALL,  
CONCRETE STAIRS,  
PAVER AUTO COURT RENOVATION,  
PAVER AND CONCRETE WALK,  
LANDSCAPE LIGHT RENOVATION  
PLANTING AND IRRIGATION RENOVATION

### VICINITY MAP:



### INDEX TO LANDSCAPE DRAWINGS:

- L-0 COVER SHEET
- L-1 LANDSCAPE MATERIAL PLAN & TREE REMOVAL LEGEND
- L-2 FINE GRADING PLAN AND PRELIMINARY STORMWATER CONTROL PLAN
- L-3 PLANTING PLAN
- L-4 SECTIONS AND ELEVATIONS
- L-5 IMAGES
- C-2 GRADING AND DRAINAGE PLAN

### GENERAL NOTES

1. ALL WORK SHALL CONFORM TO OR EXCEED THE REQUIREMENTS OF THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE, REGARDLESS OF WHAT IS SHOWN OR NOT SHOWN IN THE CONTRACT DOCUMENTS. ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES.

THE FOLLOWING 2022 CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY CALIFORNIA WILL BE ENFORCED BY THE TOWN OF ROSS:

- CALIFORNIA BUILDING CODE
- CALIFORNIA RESIDENTIAL CODE
- CALIFORNIA PLUMBING CODE
- CALIFORNIA MECHANICAL CODE
- CALIFORNIA ELECTRICAL CODE
- CALIFORNIA FIRE CODE
- CALIFORNIA ENERGY CODE
- CALIFORNIA GREEN BUILDING STANDARDS CODE

2. THE CONTRACTOR SHALL COMPLY WITH THE TOWN OF ROSS ORDINANCE AND ALL OTHER APPLICABLE STATE OR LOCAL ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

3. CONFLICTS IN THE CONTRACT DOCUMENTS: IN CASE OF DISCREPANCIES OR CONFLICTS IN INFORMATION OR REQUIREMENTS WITHIN THE DRAWINGS, SPECS, OR BETWEEN THE DRAWINGS AND THE SPECS, THE MOST EXPENSIVE REQUIREMENT SHOWN OR SPECIFIED SHALL BE THE BASIS OF THE CONTRACT FOR CONSTRUCTION.

4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC SCALE SHOWN ON THE DRAWINGS. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE SHOWN TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

5. ALL SYSTEMS AND ASSEMBLIES SHALL BE COMPLETE AND OPERATIVE THOUGH NOT FULLY DESCRIBED IN THE CONTRACT DOCUMENTS. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER OF SIMILAR CONDITIONS SHOWN OR CALLED FOR.

6. UNLESS OTHERWISE NOTED ALL CONNECTIONS AND FASTENERS SHALL BE CONCEALED. THE USE OF SURFACE FASTENERS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL EXTERIOR FASTENERS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

7. THE OWNER AND LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR: CONSTRUCTION MEANS, METHODS OR TECHNIQUES, SEQUENCES OR PROCEDURES OF THE CONTRACTOR, SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, OR FAILURE OF THE CONTRACTOR TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

8. THESE DRAWINGS MAY NOT BE TO SCALE AND ARE FOR: ILLUSTRATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO EXECUTING THE WORK.

9. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER DRAWINGS.

10. INSTALL ALL MATERIALS, EQUIPMENT, FIXTURES, APPLIANCES AND ACCESSORIES IN CONFORMANCE WITH THE MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL AND TRUE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

11. THE CONTRACTOR SHALL HOLD HARMLESS THE OWNER, THE LANDSCAPE ARCHITECT AND THE TOWN OF ROSS FROM ALL LIABILITIES AND DAMAGES RESULTING FROM HIS CONSTRUCTION OPERATIONS.

12. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.

13. SPOT ELEVATIONS INDICATED ARE CRITICAL ELEVATIONS. INTERVENING ELEVATIONS NOT SPECIFICALLY NOTED SHALL BE INTERPOLATED FROM ELEVATIONS SHOWN. A MINIMUM SLOPE OF EXTERIOR SURFACES SHALL BE 2% U.O.N.

14. INSURANCE: EACH CONTRACTOR SHALL MAINTAIN INSURANCE IN FULL FORCE AND EFFECT FOR THE LIFE OF THE CONTRACT, AND GIVE EVIDENCE OF SAME OR A CERTIFICATE INDICATING ITS EXISTENCE DELIVERED TO THE OWNER AND THE ARCHITECT AND GENERAL CONTRACTOR THE POLICIES LISTED HEREIN:

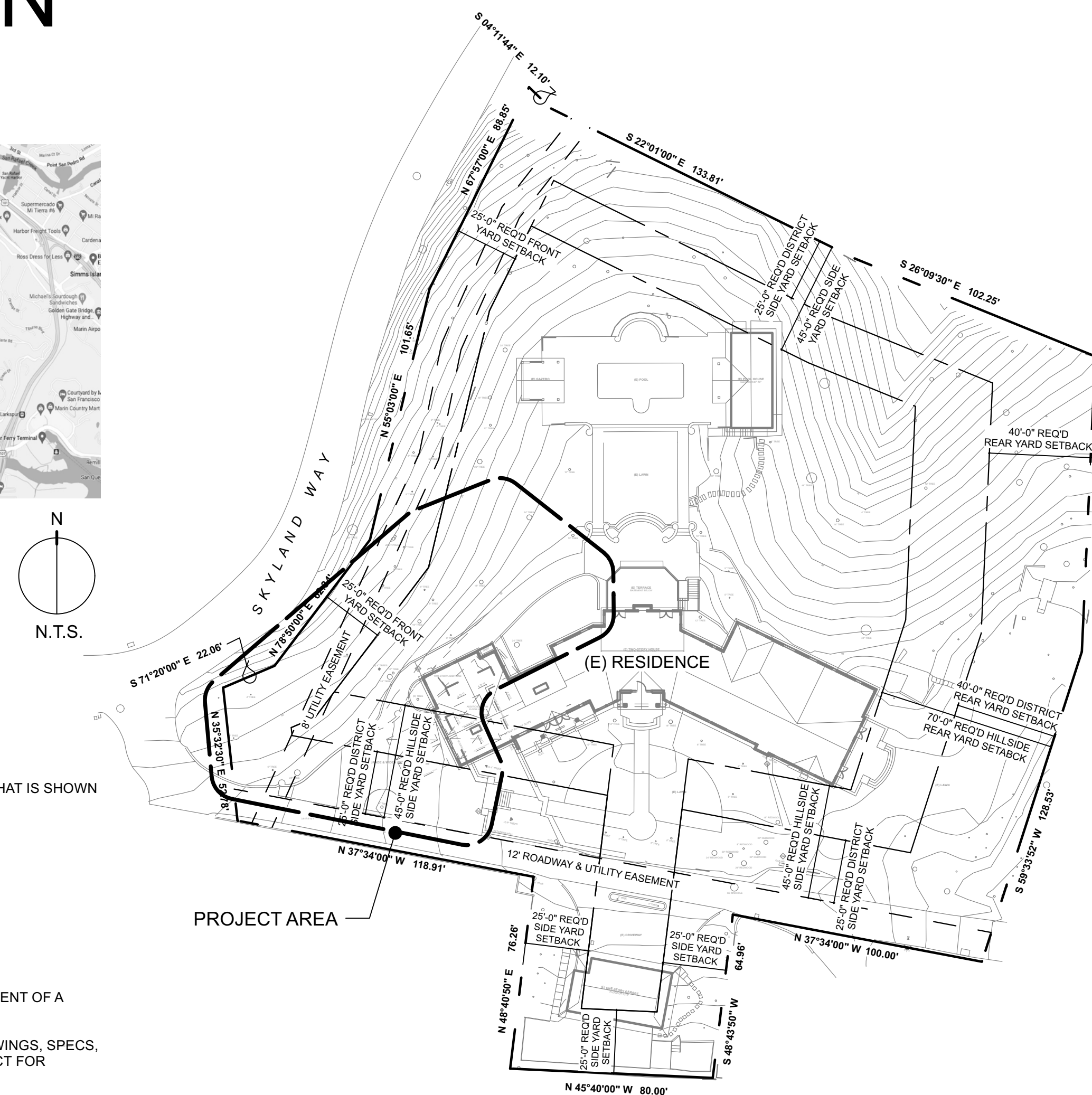
a) WORKER'S COMPENSATION COVERING CONTRACTOR'S FULL LIABILITY UNDER "THE WORKMAN'S COMPENSATION AND SAFETY ACTS."

b) COMPREHENSIVE GENERAL LIABILITY INSURANCE IN THE FOLLOWING AMOUNTS:  
BODILY INJURY: \$1,000,000  
PROPERTY DAMAGE: \$1,000,000

c) COMPREHENSIVE AUTO LIABILITY INSURANCE IN THE FOLLOWING AMOUNTS:  
BODILY INJURY: \$1,000,000 EACH PERSON  
PROPERTY DAMAGE: \$1,000,000 EACH OCCURRENCE

15. CONTRACTOR'S LIABILITY INSURANCE SHALL INCLUDE THE "OWNER" AND THE "LANDSCAPE ARCHITECT" AS ADDITIONAL INSURED. CONTRACTOR IS TO PROVIDE CERTIFICATE OF INSURANCE TO EACH OF THE ADDITIONAL INSURED PRIOR TO COMMENCING WORK. PROGRESS PAYMENTS WILL BE WITHHELD UNTIL CERTIFICATES ARE RECEIVED BY THE OWNER AND THE LANDSCAPE ARCHITECT.

16. GUARANTEE: UNLESS SPECIFICALLY STATED TO THE CONTRARY IN THE DRAWINGS, THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE TO THE EFFECT THAT ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THE CONTRACT SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE TO BE FREE FROM DEFECTS AND FAULTY WORKMANSHIP AND THAT ANY SUCH DEFECTS SHALL BE PROMPTLY REPAIRED OR REPLACED WITHOUT ADDITIONAL COST TO THE OWNER.

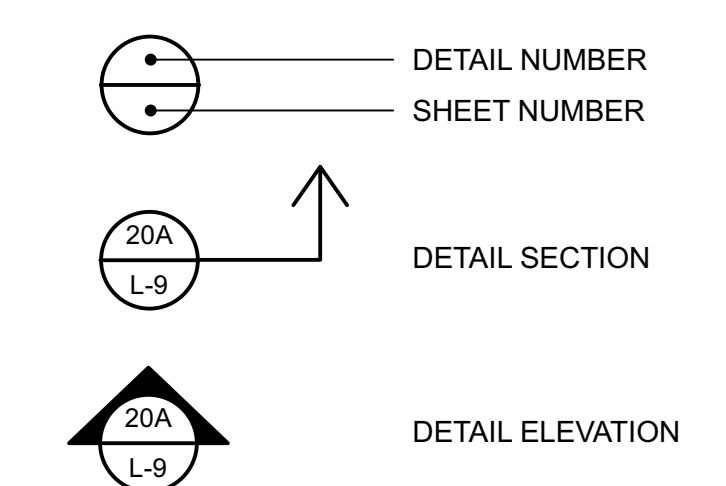


1 EXISTING SITE PLAN AND PROJECT AREA  
Scale: 1" = 40'-0"

### ABBREVIATIONS & SYMBOLS

ALIGN	DEPT.	DEPARTMENT	G	GAS	REIN.	REINFORCED
AND	D.F.	DOUGLAS FIR	GAL.	GALLON	REQ.	REQUIRED
AT	DET.	DETAIL	GALV.	GALVANIZED	RM.	ROOM
AT	DI	DROP INLET	GR.	GRADE	RWD.	REDWOOD
AT	DIM.	DIMENSION	H.B.	HOSE BIB	SHT.	SHEET
EXISTING	DN.	DOWN	HDWD.	HARDWOOD	SIM.	SIMILAR
NEW	DR.	DOOR	HORIZ.	HORIZONTAL	SPEC.	SPECIFICATION
AIR CONDITIONING	DS.	DOWNSPOUT	HT.	HEIGHT	SO.	SQUARE
AREA DRAIN	DWG.	DRAWING	INST.	INSTALL	S.S.T.	STAINLESS STEEL
ADJUSTABLE	E	ELECTRIC	JT.	JOINT	STD.	STANDARD
APPROXIMATE	EA.	EACH	MAX.	MAXIMUM	STL.	STEEL
ARCHITECTURAL	E.J.	EXPANSION JOINT	MECH.	MECHANICAL	STOR.	STORAGE
BOARD	EL.	ELEVATION	MFR.	MANUFACTURER	STR.	STRUCTURAL
BUILDING	E.M.	ELECTRIC METER	MH.	MANHOLE	SYM.	SYMMETRICAL
BOTTOM OF WALL	ENCL.	ENCLOSURE	MIN.	MINIMUM	TRD.	TREAD
CABLE	E.P.	ELECTRICAL PANELBOARD	MISC.	MISCELLANEOUS	T.C.	TOP OF CURB
CATCH BASIN	EQ.	EQUAL	N.I.C.	NOT IN CONTRACT	T.P.	TOP OF PIER/COLUMN
CEMENT	EXST.	EXISTING	NO./#	NUMBER	T.W.	TOP OF WALL
CERAMIC	EXP.	EXPANSION	NOM.	NOMINAL	TYP.	TYPICAL
CONTROL JOINT	EXT.	EXTERIOR	N.T.S.	NOT TO SCALE	U.O.N.	UNLESS OTHERWISE NOTED
CLEAR	FIN.	FINISH	O.C.	ON CENTER	VERT.	VERTICAL
CONCRETE	FIN.GR.	FINISH GRADE	O.C.E.W.	ON CENTER EACH WAY	W/	WITH
CONNECTION	FL.	FLOOR	P.A.	PLANTING AREA	WD.	WOOD
CONTINUOUS	FLASHG	FLASHING	P.L.	PROPERTY LINE	W.M.	WATER METER
COUNTERSUNK	F.O.F.	FACE OF FINISH	P.O.B.	POINT OF BEGINNING	W/O	WITHOUT
CENTER	FT.	FOOT/FEET	R.	RISER	WP.	WATERPROOF
DOUBLE	FTG.	FOOTING	RAD.	RADIUS		
	FUT.	FUTURE	REF.	REFERENCE		

### DETAIL SYMBOL KEY



### PROJECT DATA

TOTAL LOT AREA	82,542 SF	
SETBACKS		
FRONT (WEST)	25'0"	
SIDE (NORTH)	45'0"	
SIDE (EAST)	45'0"	
REAR (SOUTH)	70'0"	
PARKING	4	
	EXISTING	PROPOSED
BUILDING COVERAGE		
TOTAL BUILDING COVERAGE	8,559 SF	8,559 SF (NO CHANGE)
SITE COVERAGE	10.4%	10.4% (NO CHANGE)
IMPERVIOUS SURFACES		
ASPHALT & BRICK DRIVEWAY	5,599 SF	5,599 SF
PAVING AND LANDSCAPE WALLS	6,995 SF	7,146 SF
TOTAL IMPERVIOUS SURFACE	12,594 SF	12,745 SF
COVERAGE PERCENTAGE	15.2%	15.3%
PERVIOUS SURFACES		
PAVER (PERVIOUS)	2,229 SF	3,009 SF
GRAVEL	1,190 SF	1,517 SF
LANDSCAPE /TURF AREA	57,970 SF	56,712 SF
TOTAL PERVIOUS SURFACE	61,389 SF	61,238 SF
COVERAGE PERCENTAGE	74.4%	74.2%

### PROJECT TEAM

OWNER	HORATIO LLC PO BOX 1558 ROSS, CA 94957 PHONE: 415-256-9240
LANDSCAPE ARCHITECT	PEDERSEN ASSOCIATES 24 H STREET SAN RAFAEL, CA. 94901 PHONE: 415-456-2070 CONTACT Pete Pedersen: ppedersen@pedersenassociates.com Kai Okada: kokada@pedersenassociates.com
CIVIL ENGINEER	LTD ENGINEERING, INC. 1050 NORTHGATE DRIVE SAN RAFAEL, CA 94903 PHONE: 415-446-7402 CONTACT Glenn Dearth: gdearth@ltdengineering.com



**15 SKYLAND**  
15 SKYLAND WAY  
ROSS, CA  
APN: 072-201-16  
ZONING: R-1-B-A

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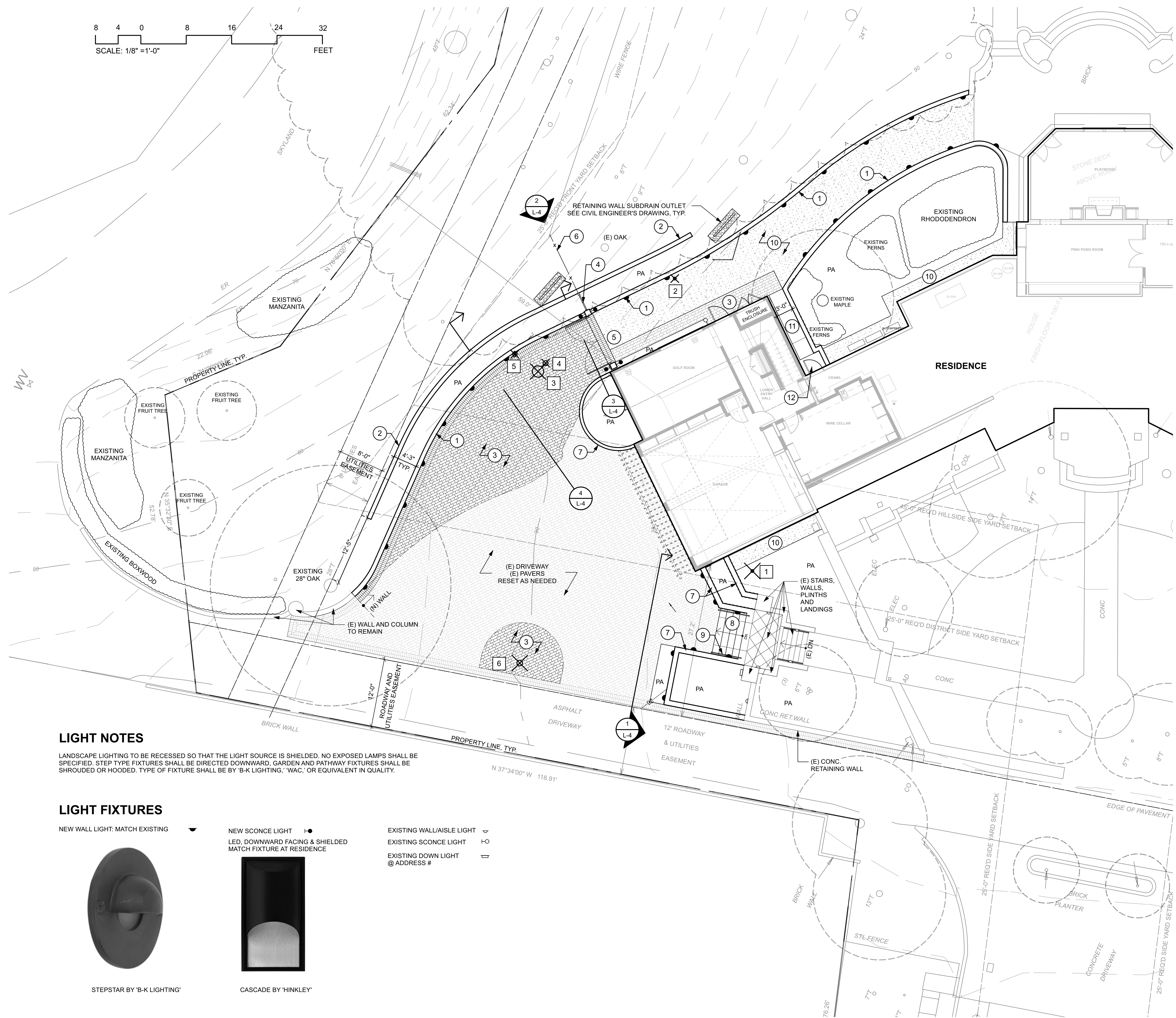
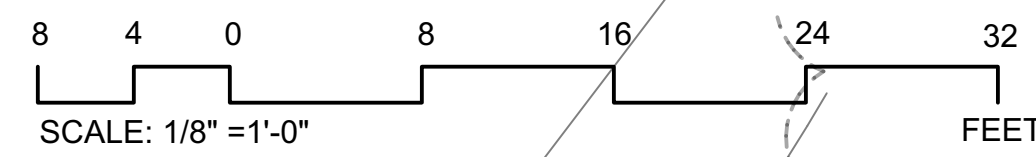
PROJECT# 2022.32 DRAWN BY: TK/  
KO  
ORIGINAL DRAWING SIZE: 24" X 36"

**COVER SHEET**  
SHEET #

**L-0**

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**LEGEND**

	PROPERTY LINE
	SETBACK & EASEMENT
	(E) TREE TO REMAIN
	(E) TREE TO BE REMOVED
	PA PLANTING AREA

**LEGEND**

1	<b>NEW SITE WALL W/ ROLLED CAP</b> 3'-6" TALL MAX., SLOPE WITH GRADE, STUCCO ON CONCRETE, WITH ROLLED CAP @ DRIVEWAY ONLY FINISH & COLOR TO MATCH EXISTING STUCCO
2	<b>NEW TERRACE WALL</b> 5'-6" TALL MAX., STUCCO ON CONCRETE, FINISH TO MATCH EXISTING STUCCO COLOR: "COYOTE" BY WESTERN BLENDED PRODUCTS
3	<b>PAVER AT DRIVEWAY AND WALK</b> COLOR & PATTERN TO MATCH EXISTING DRIVEWAY
4	<b>NEW SOLID BOARD FENCE AT COLUMN</b> PAINT TO MATCH TRIM AT RESIDENCE
5	<b>GATES AND COLUMNS</b> GATE: UTILIZE EXISTING GATES. COLOR TO MATCH TRIM AT RESIDENCE COLUMN: STUCCO ON CONCRETE, COLOR AND FINISH TO MATCH EXISTING WALLS
6	<b>NEW DEER FENCE</b> CONNECT TO EXISTING DEER FENCE WITH PTDG FRAMES WITH HOG WIRE MESH
7	<b>NEW GARDEN WALL</b> STUCCO ON CONCRETE WITH PRE-CAST CAP COLOR AND FINISH TO MATCH EXISTING
8	<b>NEW STAIRS</b> STONE TREADS AND RISERS TO MATCH EXISTING
9	<b>NEW HANDRAIL</b> METAL, MATCH EXISTING
10	<b>NEW CRUSHED ROCK</b> 1" OF 3/8" "PACIFIC GOLD" CRUSHED ROCK ON COMPACTED PERVIOUS BASE MATERIAL
11	<b>CONCRETE WALK AND CURB</b> SCORED & COLORED CONC.
12	<b>CONCRETE LANDING</b> SCORED & COLORED CONC.

**TREE REMOVAL LEGEND**

	COMMON NAME	DBH (INCHES)
1	MAGNOLIA	6"
2	PITTOSPORUM	6"
3	ACACIA	24"
4	LOCUST	10"
5	CHERRY	(4) 4"
6	OAK	12"

**TREE PROTECTION NOTES**

THE LANDSCAPE ARCHITECT (L.A.) SHALL HAVE A PRE-DEMOLITION MEETING WITH CONTRACTOR OR RESPONSIBLE PARTY AND ALL OTHER FOREMEN OR CREW MANAGERS ON SITE PRIOR TO ANY WORK TO REVIEW ALL WORK PROCEDURES, ACCESS AND HAUL ROUTES, AND TREE PROTECTION. THE CONTRACTOR MUST NOTIFY THE L.A. IF ROOTS ARE DAMAGED OR IF TRUNK OR BRANCHES ARE WOUNDED.

**LIGHT NOTES**

LANDSCAPE LIGHTING TO BE RECESSED SO THAT THE LIGHT SOURCE IS SHIELDED. NO EXPOSED LAMPS SHALL BE SPECIFIED. STEP TYPE FIXTURES SHALL BE DIRECTED DOWNWARD, GARDEN AND PATHWAY FIXTURES SHALL BE SHROUDED OR HOODED. TYPE OF FIXTURE SHALL BE BY 'B-K LIGHTING', 'WAC', OR EQUIVALENT IN QUALITY.

**LIGHT FIXTURES**

NEW WALL LIGHT: MATCH EXISTING

NEW SCONCE LIGHT: LED, DOWNWARD FACING & SHIELDED MATCH FIXTURE AT RESIDENCE

EXISTING WALL/AISLE LIGHT

EXISTING SCONCE LIGHT

EXISTING DOWN LIGHT @ ADDRESS #




STEPSTAR BY 'B-K LIGHTING'

CASCADE BY 'HINKLEY'

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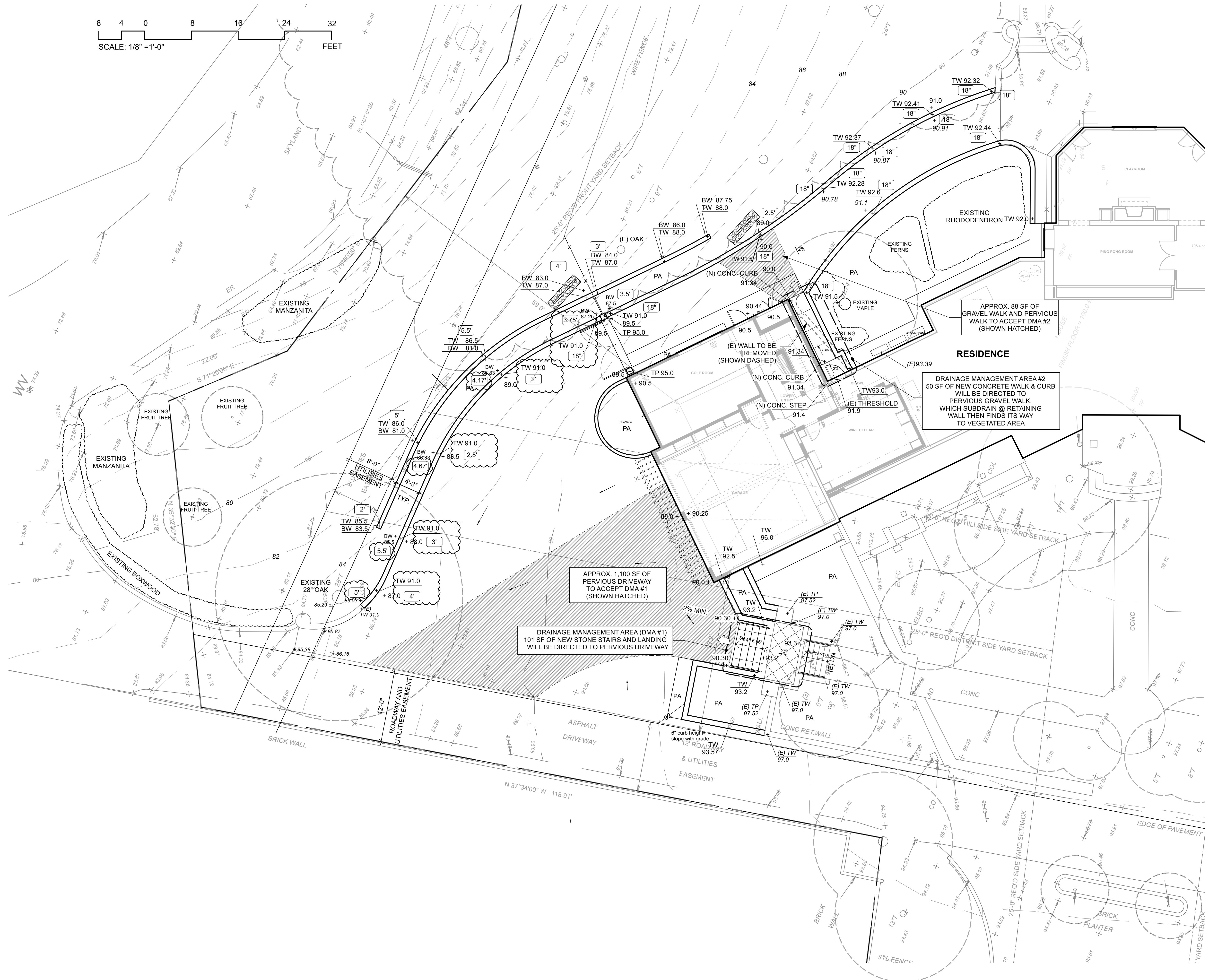
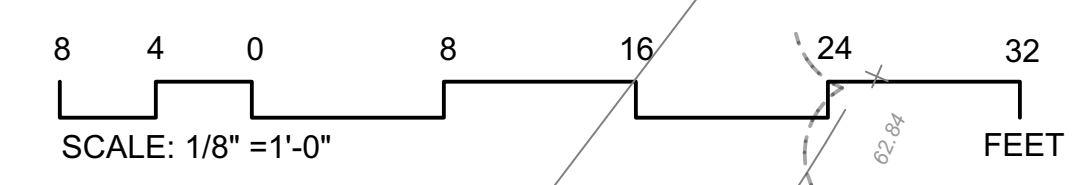
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**LANDSCAPE MATERIAL PLAN & TREE REMOVAL LEGEND**  
 SHEET #

**L-1**

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**LEGEND**

- + 93.5 (E) SPOT ELEVATION
- + 93.5 PROPOSED SPOT ELEVATION
- DIRECTION OF SLOPE
- C.O./CLEAN OUT
- (E) CONTOURS
- PROPOSED CONTOUR LINES
- HP HIGH POINT
- TW TOP OF WALL
- BW BOTTOM OF WALL
- PA PLANTING AREA
- 18" WALL HEIGHT
- DRAINAGE MANAGEMENT AREA
- DIRECTION OF FLOW
- ▨ RETAINING WALL SUBDRAIN OUTLET SEE CIVIL ENGINEER'S DRAWING

**GRADING & DRAINAGE NOTES**

PROPERTY ALIGNMENT AND BUILDING ALIGNMENT ARE BASED ON INFORMATION PROVIDED BY POLSKY PERLSTEIN ARCHITECTS.

CONTRACTOR SHALL REMOVE ALL DEBRIS AND UNSUITABLE MATERIAL GENERATED BY ITS OPERATIONS FROM THE SITE.

KEEP WORK SPRINKLED TO PREVENT DUST. PROVIDE, ERECT AND MAINTAIN BARRICADES TO PROTECT THE GENERAL PUBLIC, WORKERS AND ADJOINING PROPERTY.

SLOPE TRANSITIONS TO BE SMOOTH AND EVEN WITH NO ABRUPT CHANGES IN GRADE. SLOPE ALL SOIL AWAY FROM BUILDING AT A MINIMUM OF 2%.

THE CONTRACTOR SHALL VERIFY ALL ROUGH GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR A DECISION BEFORE PROCEEDING FURTHER WITH WORK.

ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH SC150 EROSION CONTROL BLANKETS BY AMERICAN GREEN O.E. SLOPES LESS THAN 2:1 SHALL BE COVERED BY THE DIRECTION OF THE L.A. ANY EROSION CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE L.A. FOR IMMEDIATE ACTION.

**FINE GRADING**  
ALL GRAVEL BROKEN GLASS, ASPHALT, WOOD AND CONCRETE CHUNKS SHALL BE REMOVED FROM PLANTING AREAS DURING FINE GRADING PROCEDURES.

FINE GRADING PROCEDURES SHALL INCLUDE EVENING OF GRADE AROUND ANY EXISTING UTILITY BOXES AND GRATES.

THE CONTRACTOR SHALL PLACE AMENDED ON-SITE STOCKPILED OR IMPORTED TOPSOIL TO ACHIEVE THE FINISH GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN TO WITHIN TWO TENTHS OF A FOOT. TOPSOIL TO BE GENERAL LANDSCAPE MIX. THE CONTRACTOR IS RESPONSIBLE TO CALCULATE FILL SETTLEMENT.

THE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPED AREAS.

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SCALE: 1/8" = 1' - 0"

FINE GRADING  
PLAN AND  
PRELIMINARY STORMWATER  
CONTROL PLAN  
SHEET #

**L-2**

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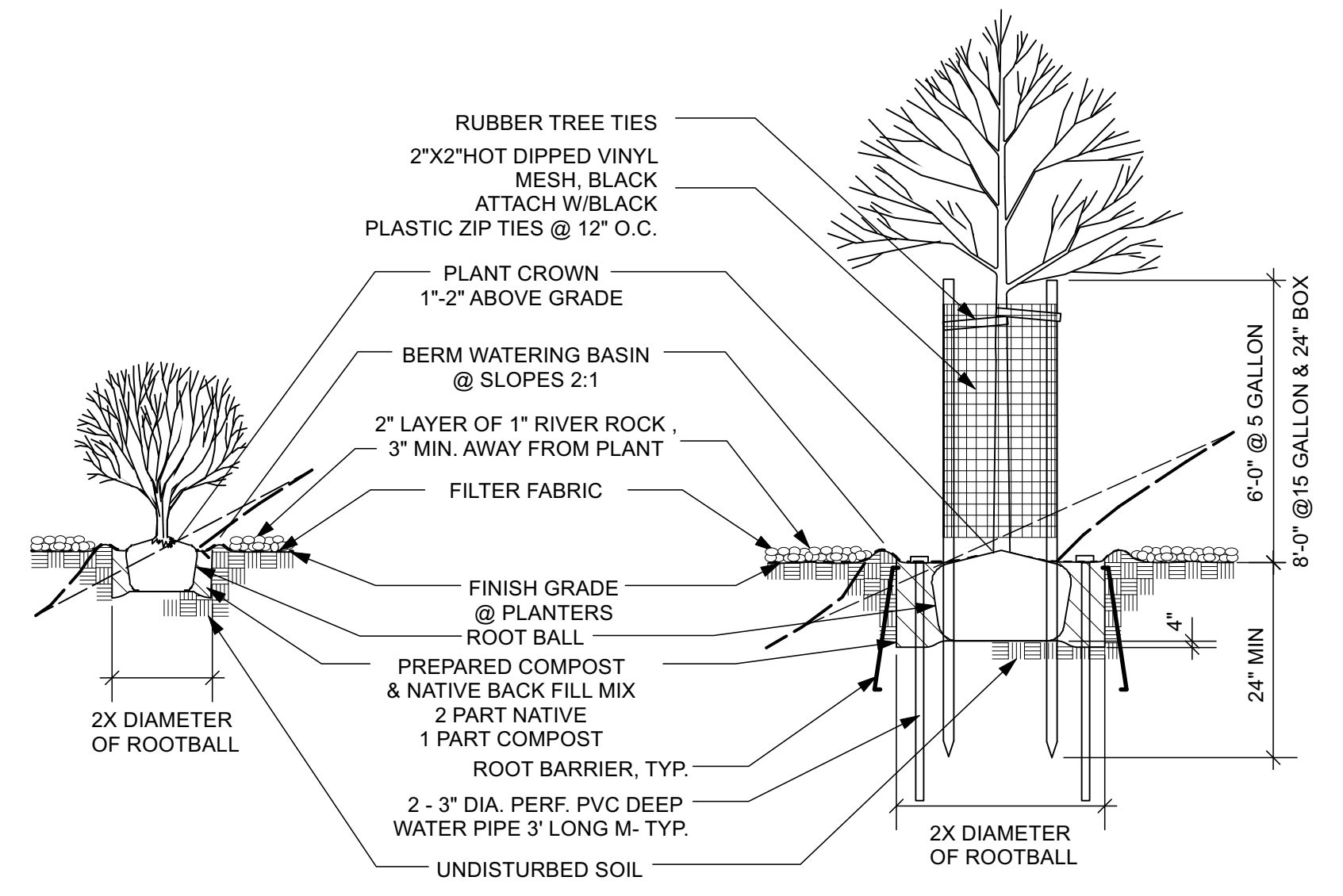


**LANDSCAPE NOTES**

- PLANT SYMBOLS REPRESENT A 3-5 YEAR GROWTH PROJECTION.
- PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN.
- STAKE OR GUY TREES PER DETAILS.
- CONTRACTOR SHALL COORDINATE ALL PLANTING WITH UTILITY LOCATIONS NOT SHOWN ON THE PLANS. ANY CONFLICTS BETWEEN LOCATIONS OF PROPOSED SITE UTILITIES OR LIGHTING SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL EXISTING TREES SHALL REMAIN AND PROTECTED IN PLACE, UNLESS DESIGNATED TO BE REMOVED OR TRANSPLANTED.
- GENERAL PURPOSE BACKFILL MIX TO BE 50% ON-SITE OR IMPORTED TOPSOIL, 50% APPROVED SOIL AMENDMENT.
- PLANTING HOLES TO BE TILLED SO THAT THE SOIL IS LOOSE AND NOT COMPACTED TO A MINIMUM DEPTH OF 8". COMPACTED SOILS SHALL BE RIPPED TO 10" DEPTH AND GRADED SMOOTH TO TRANSITION TO SURROUNDING AREAS.
- SOIL TESTS (THERE SHALL BE A MINIMUM OF 6) SHALL BE PERFORMED ON THE EXISTING SOIL TO DETERMINE THE FINAL AMENDMENT AND FERTILIZER FORMULA. THE SOILS REPORT SHALL CONTAIN THE FOLLOWING INFORMATION:
  - SOIL PERMEABILITY RATE IN INCHES PER HOUR
  - SOIL TEXTURE TEST
  - CATION EXCHANGE CAPACITY
  - SOIL FERTILITY (INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHOROUS, PH. ORGANIC MATTER AND ELECTRICAL CONDUCTIVITY)
  - RECOMMENDATIONS FOR AMENDMENTS TO THE PLANTING AREA SOIL
- GROUND COVER AREAS SHALL BE FERTILIZED PRIOR TO PLANTING WITH "AGRIFORM 18-18-6 OR EQUAL AT TWELVE POUNDS PER THOUSAND SQUARE FEET. BROADCAST FERTILIZER EVENLY AND WORK THOROUGHLY INTO THE TOP THREE INCHES OF SOIL.
- FURNISH AND INSTALL A 3" LAYER OF MULCH IN ALL PLANTING AREAS. MULCH TO BE "VINEYARD" MULCH FROM SONOMA COMPOST/WESTMARIN COMPOST (PH# 707-664-9113), "ORGANIC ARBOR MULCH" FROM GRAB N' GROW (PH# 707-575-7275) OR FOREST FLOOR MULCH FROM AMERICAN SOIL PRODUCTS (PH# 510-860-0197). TRANSITION MULCHES TO 1" DEPTH AT ALL PLANT ROOT CROWNS. PLANT ALL MATERIALS 2" MINIMUM ABOVE EXISTING SOIL LEVELS.
- THE CONTRACTOR SHALL GUARANTEE TREES FOR A PERIOD OF 1 YEAR.
- THE CONTRACTOR SHALL GUARANTEE PLANTED STOCK FOR A 90-DAY MAINTENANCE PERIOD AFTER FINAL ACCEPTANCE BY THE OWNER.
- IRRIGATION SYSTEM TO BE A FULLY AUTOMATIC, LOW GALLONAGE DRIP SYSTEM WITH COMPLETE WATER PROTECTION. TREE, SHRUB, AND GROUND COVER AREAS TO RECEIVE DRIP EMITTER TYPE IRRIGATION.

**PLANTING LEGEND**

Symbol	Latin Name	Common Name	Quantity	Size	Mature Size (H X W)	Water Use Rating VL, L, M, H	Native Plant Yes(Y) or No(N)	Fire-Prone Listed Yes(Y) or No(N)	Remarks
<b>Trees</b>									
BET JAC	Betula utilis jacquemontii	Himalayan Birch	8	24" Box	30' x 15'	M	N	N	
COR KOU	Cornus kousa	Kousa Dogwood	5	24" Box	20' x 20'	M	N	N	
MAG DEN	Magnolia denudata	Yulan Magnolia	3	24" Box	30' x 30'	M	N	N	
PRU BLI	Prunus x blicreana	Purple-leafed Plum	5	24" Box	15' x 15'	L	N	N	
<b>Shrubs</b>									
AZA ALA	Azalea indica 'Alaska'	Alaska Azalea	7	5 Gal.	5' x 4'	M	N	N	
BUX GLO	Buxus sempervirens 'Globe'	Globe English Boxwood	5	15 Gal.	5' x 5'	M	N	N	
LOR SHA	Loropetalum chinense 'Shang-white'	Emerald Snow Loropetalum	29	5 Gal.	4' x 4'	L	N	N	
PIT VAR	Pittosporum tobira 'Variegatum'	Variegated Tobira	17	5 Gal.	4' x 4'	L	N	N	
WES FRU	Westringia fruticosa	Westringia	12	5 Gal.	5' x 5'	L	N	N	
<b>Perennials</b>									
AGA MID	Agapanthus africanus 'Midnight'	Midnight Lily of the Nile	30	1 Gal.	2' x 2'	M	N	N	
TEU CHA	Teucrium chamaedrys	Germander	33	1 Gal.	1' x 2'	L	N	N	
<b>Ferns</b>									
ASP MEY	Asparagus meyeri	Foxtail Fern	28	1 Gal.	2' x 2'	M	N	N	
<b>Grasses</b>									
<b>Succulents</b>									
AGA BFL	Agave 'Blue Flame'	Blue Flame Agave	13	15 Gal.	30"x36"	VL	N	N	16" o.c.
SED CAP	Sedum spathulifolium 'Cape Blanco'	Cape Blanco Stonecrop	19	4" Pot	4" x 24"	L	N	N	
<b>Vines</b>									
TRA ESP	Trachelospermum jasminoides	Star Jasmine	2	15 Gal.	6' x 6'	M	N	N	
<b>Groundcovers</b>									



1 SHRUB PLANTING @ RIVER ROCK MULCH Scale: N.T.S.

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**PLANTING PLAN**  
 SHEET #

**L-3**

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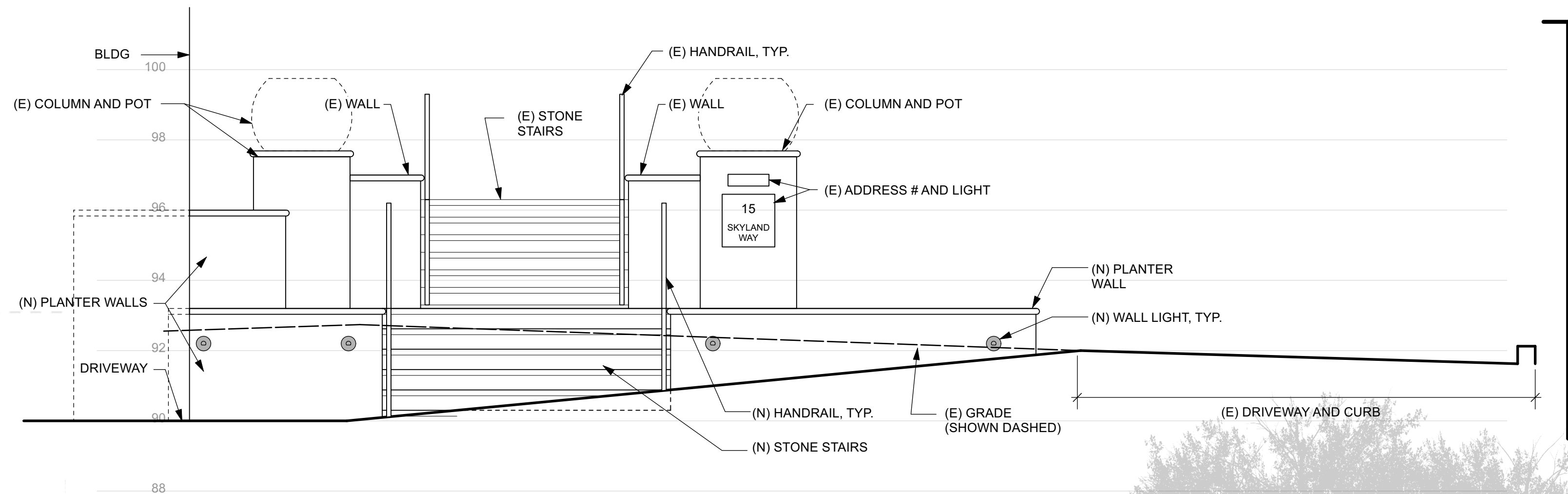
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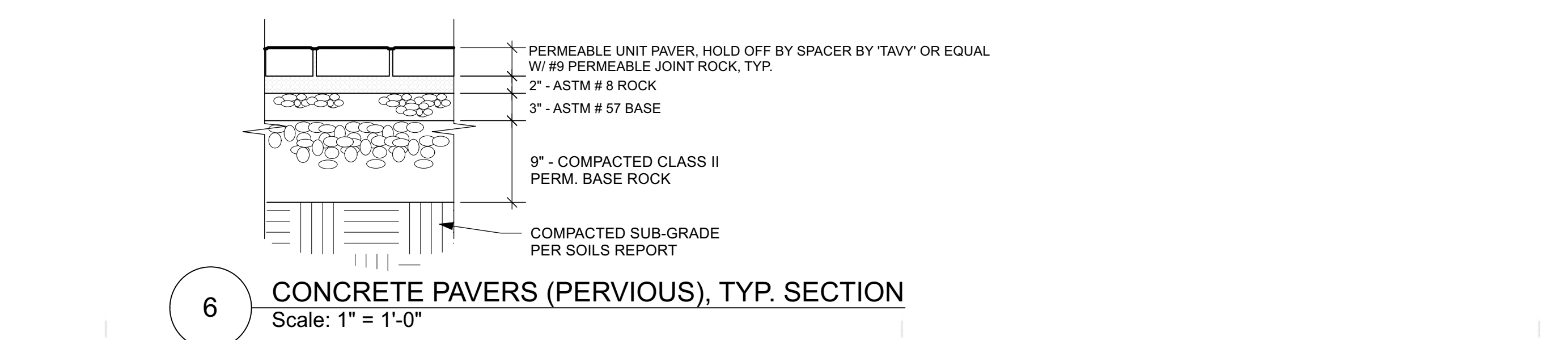
**SECTIONS / ELEVATIONS**  
 SHEET #

**L-4**

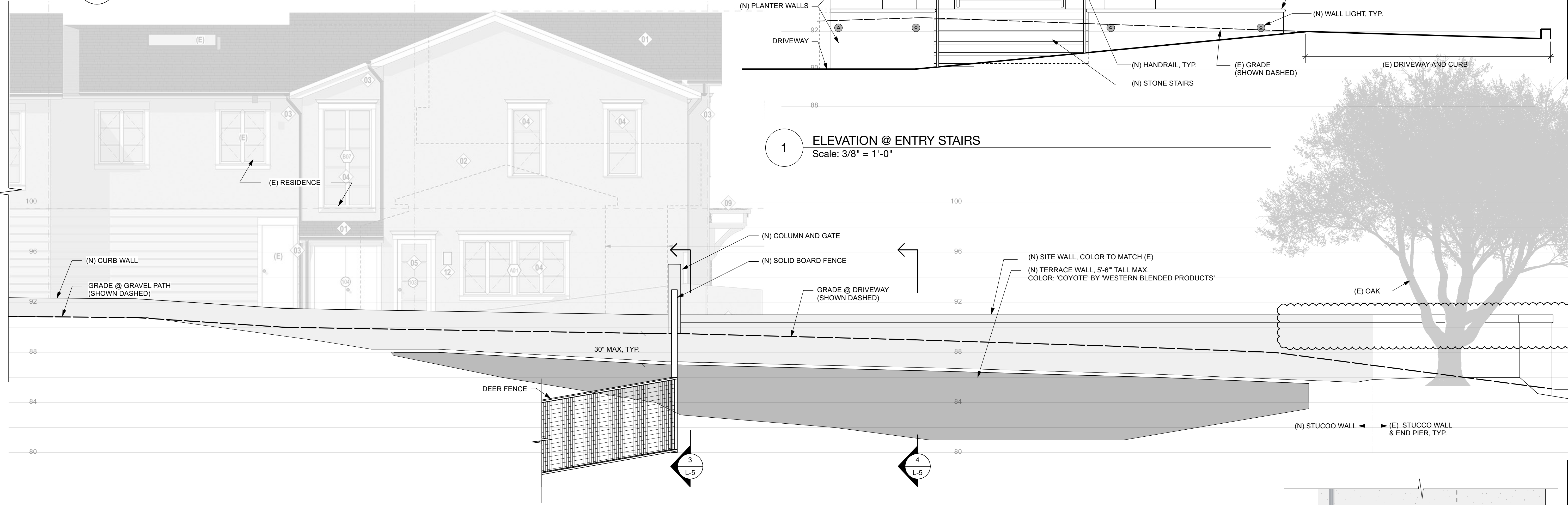
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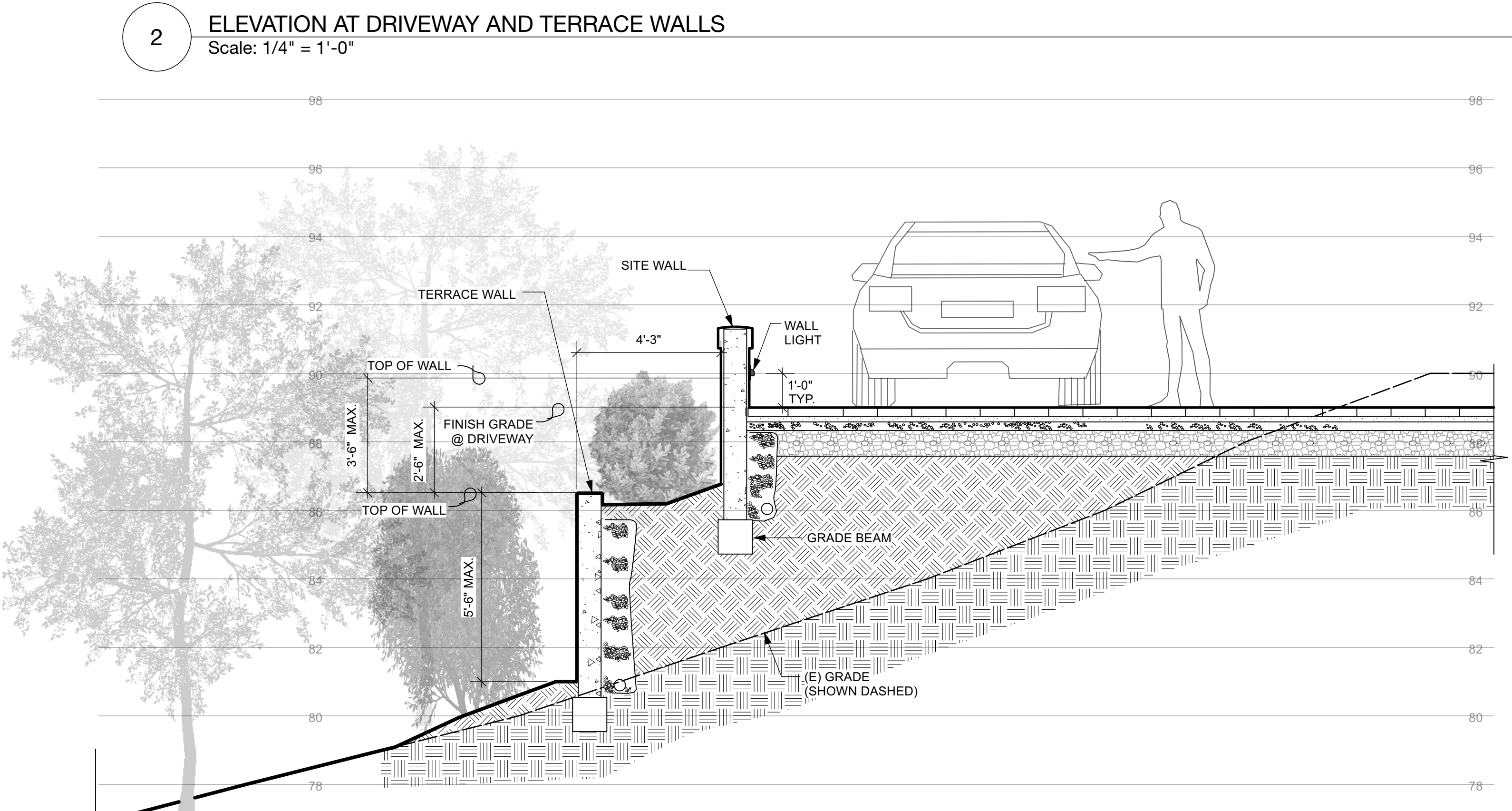
**1 ELEVATION @ ENTRY STAIRS**  
 Scale: 3/8" = 1'-0"



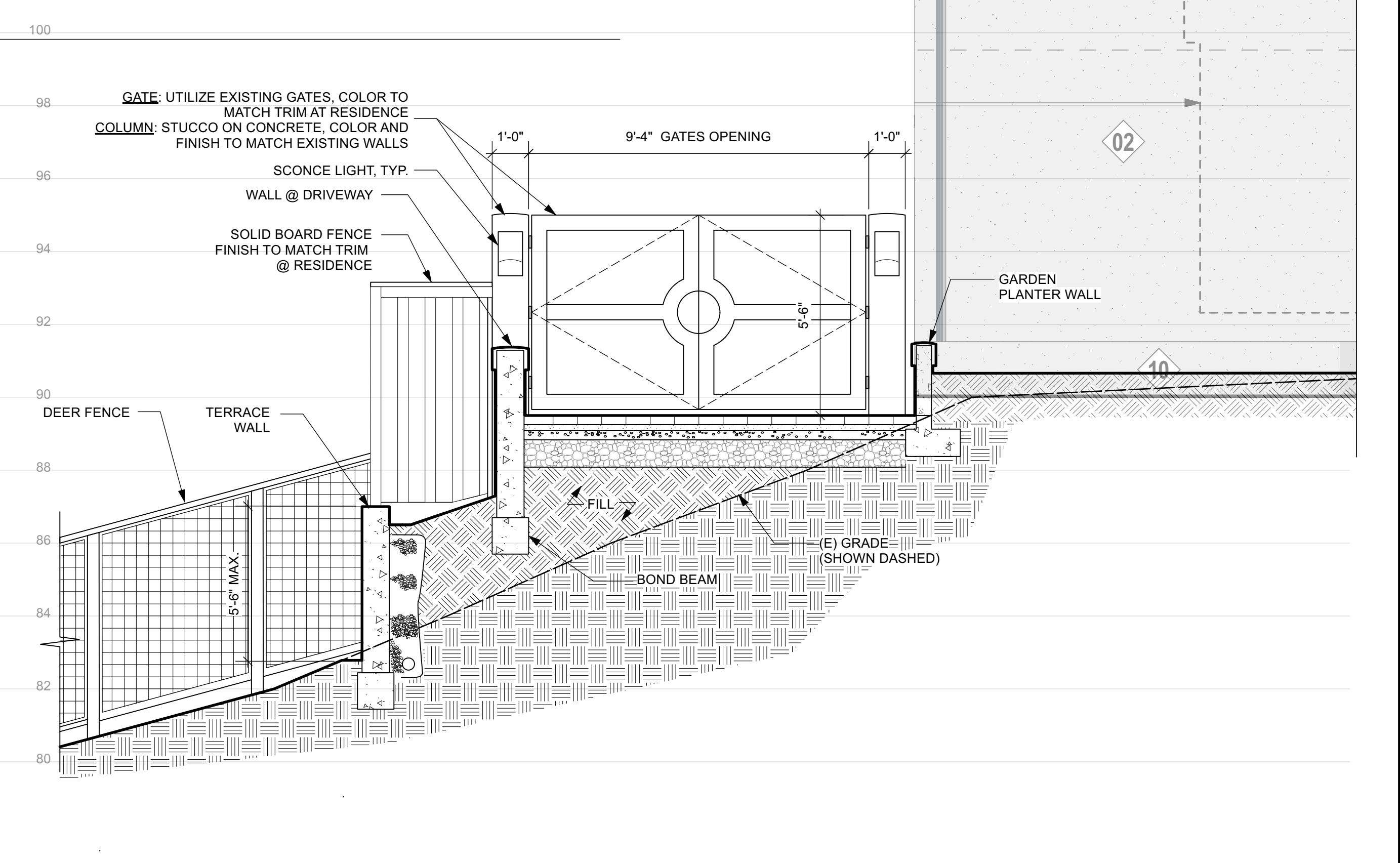
**6 CONCRETE PAVERS (PERVIOUS), TYP. SECTION**  
 Scale: 1" = 1'-0"



**2 ELEVATION AT DRIVEWAY AND TERRACE WALLS**  
 Scale: 1/4" = 1'-0"



**4 SECTION AT TERRACE WALL, DRIVEWAY WALL AND DRIVEWAY WITH PLANT MATERIALS**  
 Scale: 3/8" = 1'-0"



**3 SECTION / ELEVATION @ TERRACE WALL AND ENTRY GATE**  
 Scale: 3/8" = 1'-0"

**PLANT IMAGES**

**TREES**



Betula utilis jacquemontii (Himalayan Birch)



Cornus kousa (Kousa Dogwood)



Magnolia denudata (Yulan Magnolia)



Prunus x bireana (Purple-leafed Plum)

**SHRUBS**



Azalea indica 'Alaska' (Alaska Azalea)



Buxus sempervirens 'Globe' (Globe English Boxwood)



Loropetalum chinense ('Shang White')



Pittosporum tobira 'Variegatum' (Variegated Tobira)

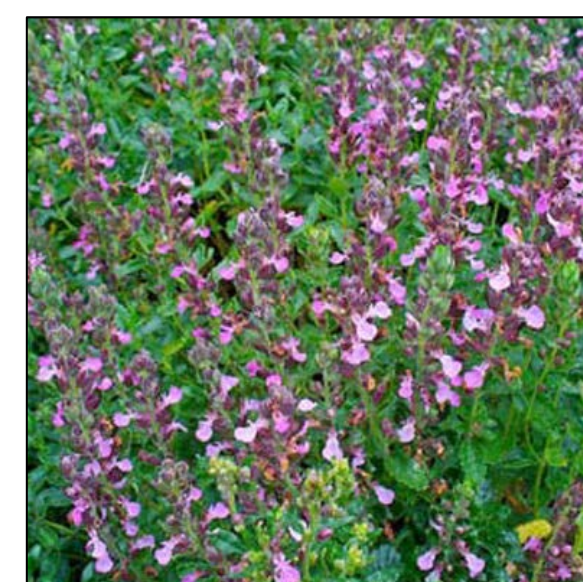


Westringia fruticosa (Westringia)

**PERENNIALS**



Agapanthus a. 'Midnight' (Midnight Lily of the Nile)



Teucrium chamaedrys (Germander)

**FERNS**



Asparagus meyeri (Foxtail Fern)

**SUCCULENTS**



Agave 'Blue Flame' (Blue Flame Agave)



Sedum spathulifolium 'Cape Blanco' (Cape Blanco Stonecrop)

**VINE**



Trachelospermum jasminoides-Star Jasmine

**MATERIAL IMAGES**

**PAVING**



DRIVEWAY PAVER: MATCH EXISTING



CRUSHED ROCK: 3/8" 'PACIFIC GOLD'

**WALLS**



DRIVEWAY SITE WALL WITH ROLLED CAP: MATCH EXISTING

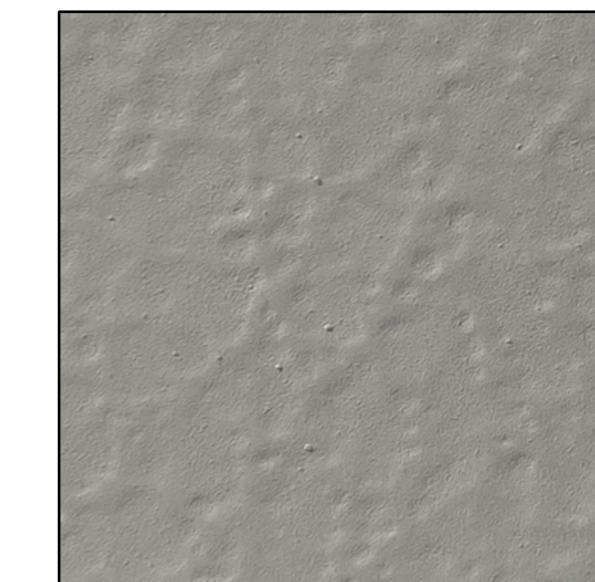


GARDEN WALL: MATCH EXISTING

**STUCCO COLORS**

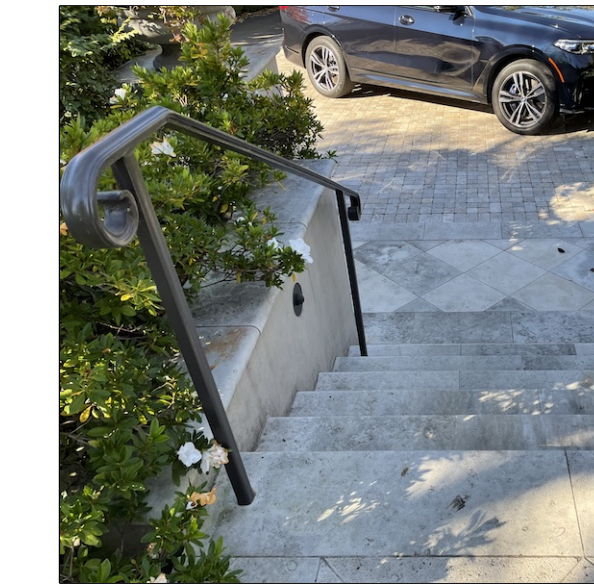


STUCCO COLOR @ SITE WALL: MATCH EXISTING



NEW STUCCO COLOR @ TERRACE WALL: 'COYOTE' BY 'WESTERN BLENDED PRODUCTS'

**STAIRS AND HANRAILS**



STAIRS: STONE  
HANRAIL: METAL

**15 SKYLAND**

15 SKYLAND WAY  
ROSS, CA

APN: 072-201-16

FOR DESIGN REVIEW  
NOT FOR CONSTRUCTION

01/30/24	PLNG SUB	
01/03/24	PLNG SUB	
12/22/23	PLNG SUB	
11/06/23	PLNG SUB	

DATE	ISSUES & REVISIONS	NO.

PROJECT# 2022.32 DRAWN BY: TK/  
KO  
ORIGINAL DRAWING SIZE: 24" X 36"

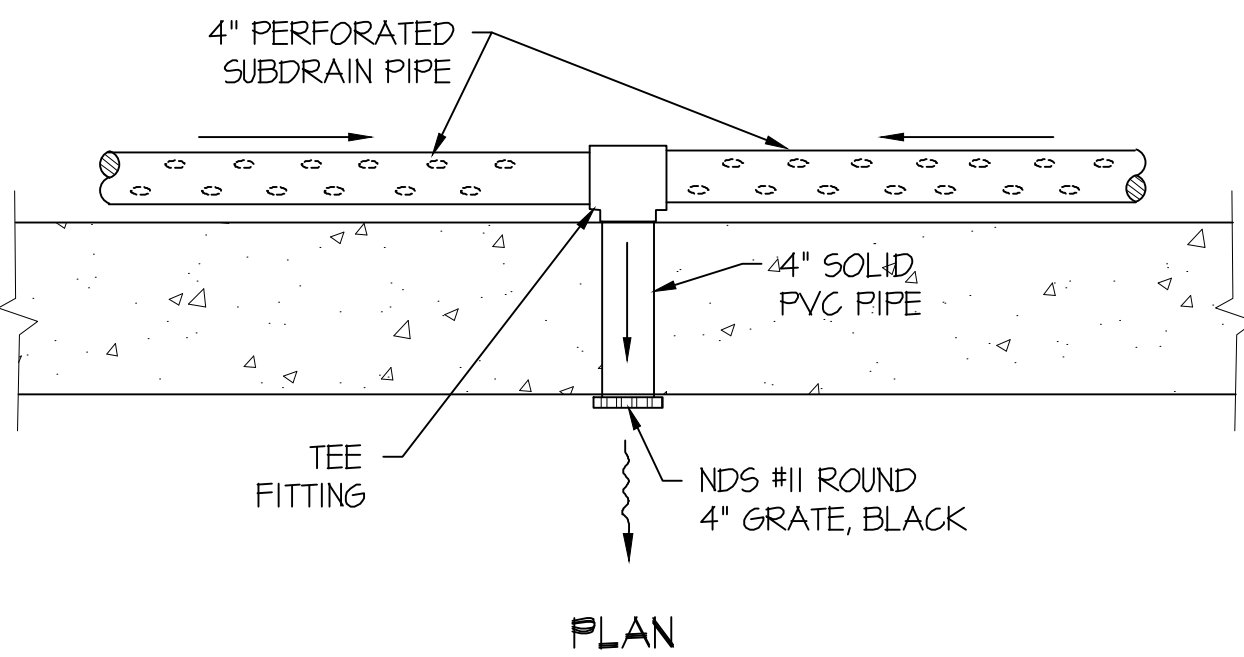
**IMAGES**

SHEET #

**L-5**

**EXISTING UTILITY LOCATION**

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTACT THE ENGINEER TO REVIEW UTILITY LOCATION AND ANY CONFLICTS WITH THE PROPOSED WORK PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSUMED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.

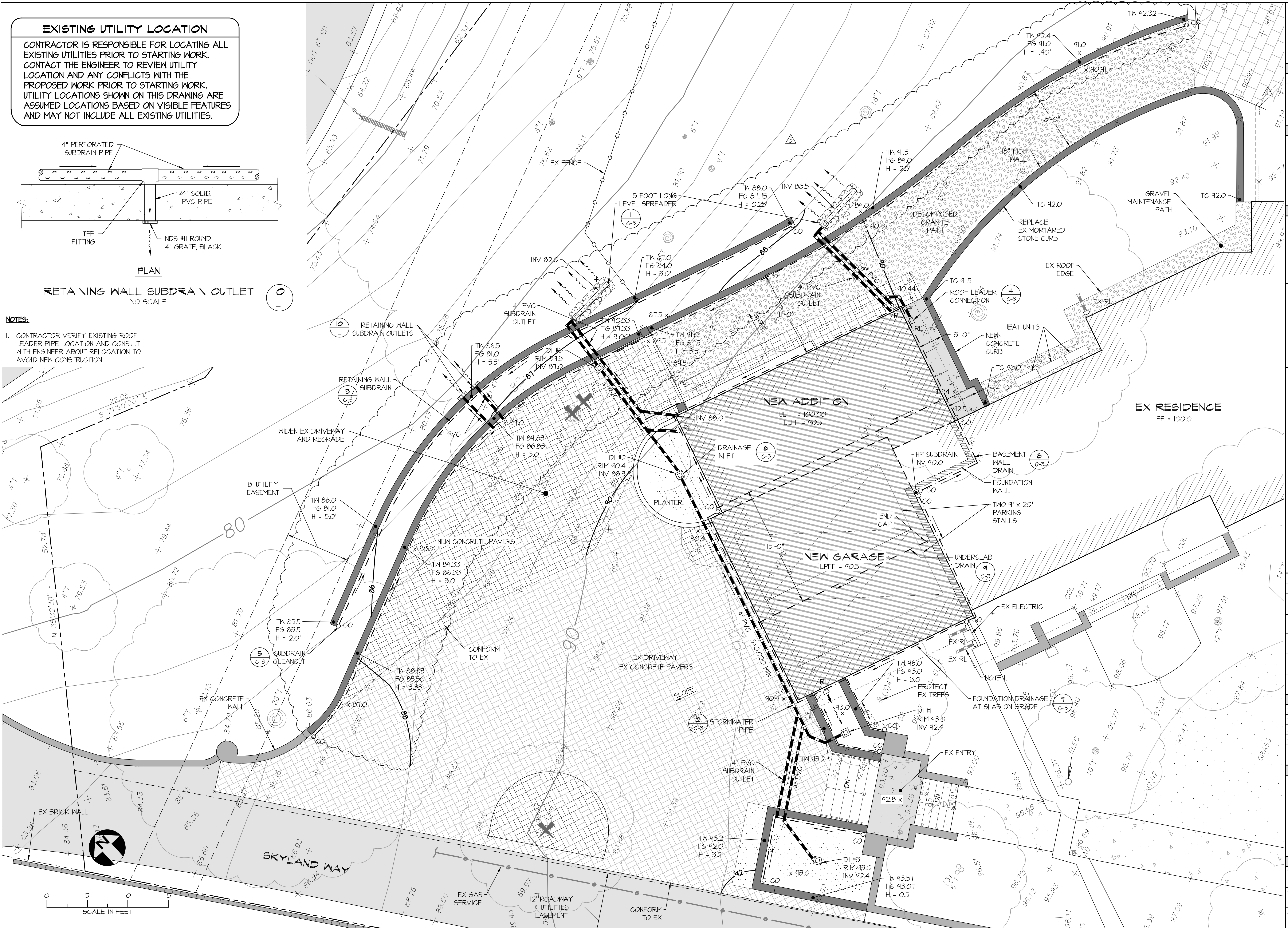


**RETAINING WALL SUBDRAIN OUTLET**  
NO SCALE

**NOTES:**

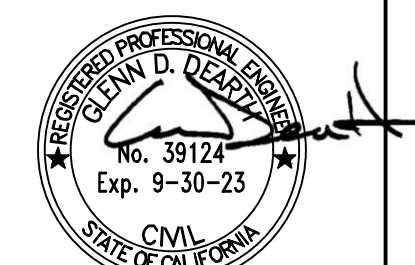
- CONTRACTOR VERIFY EXISTING ROOF LEADER PIPE LOCATION AND CONSULT WITH ENGINEER ABOUT RELOCATION TO AVOID NEW CONSTRUCTION

C:\CAD\Stally Res (714.001) Grading and Drainage\Design\Stally Addition Drainage (Permit R3).dwg, 11/16/2023 1:03:41 PM



**LTD Engineering, Inc.**  
1050 Northgate Drive, Suite 450  
San Rafael, CA 94903  
Tel. 415.446.7402 Cell 415.717.8719  
gdearth@LTDengineering.com

OWNER  
HORATIO LLC  
15 SKYLAND WAY  
ROSS, CA



DATE: 10/6/2022

**ISSUED FOR PERMIT**

© LTD Engineering, Inc. 2023  
These documents and the ideas and designs incorporated herein are an instrument of professional service and the property of LTD Engineering, Inc. Reuse of these documents for any other project, in whole or in part, is not allowed without written authorization from LTD Engineering, Inc.

**PRIVATE RESIDENCE REMODEL**  
APN 072-201-16  
15 SKYLAND WAY  
ROSS, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1	10/6/22	ISSUED FOR BUILDING PERMIT
2	4/3/23	REVISED LANDSCAPE
3	1/28/23	REVISED BASEMENT WALL
4	1/14/23	REVISED RETAINING WALL

DESIGNED BY: G. DEARTH  
DRAWN BY: E. HAYDEN  
APPROVED BY:  
SCALE: 1" = 5'-0"  
DATE: 10/6/2022 PROJECT NO. T14.001

**GRADING AND DRAINAGE PLAN**

REVISION	<b>3</b>
SHEET NO.	<b>2 OF 6</b>
DRAWING	<b>C-2</b>

# ATTACHMENT 3



# Town of Ross

## Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

### PLANNING APPLICATION FORM

**Type of Application (check all that apply):**

- |  |  |
|--|--|
| <input type="checkbox"/> Advisory Design Review        | <input type="checkbox"/> Minor Exception         |
| <input type="checkbox"/> Appeals                       | <input type="checkbox"/> Non-conformity Permit   |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance     | <input type="checkbox"/> Tentative Map           |
| <input type="checkbox"/> Demolition Permit             | <input type="checkbox"/> Tentative Map Amendment |
| <input type="checkbox"/> Design Review                 | <input type="checkbox"/> Time Extension          |
| <input type="checkbox"/> Design Review- Amendment      | <input type="checkbox"/> Use Permit              |
| <input type="checkbox"/> Final or Parcel Map           | <input type="checkbox"/> Variance                |
| <input type="checkbox"/> General Plan Amendment        | <input type="checkbox"/> Zoning Ordinance        |
| <input type="checkbox"/> Hillside Lot Permit           | <input type="checkbox"/> Amendment Other:        |
| <input type="checkbox"/> Lot Line Adjustment           | <input type="checkbox"/> Other:                  |

**To Be Completed by Applicant:**

Assessor's Parcel No(s): \_\_\_\_\_

Project Address: \_\_\_\_\_

Property Owner: \_\_\_\_\_

Owner Mailing Address (PO Box in Ross): \_\_\_\_\_

City/State/Zip: \_\_\_\_\_ Owner's Phone: \_\_\_\_\_

Owner's Email: \_\_\_\_\_

Applicant: \_\_\_\_\_

Applicant Mailing Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_ Applicant's Phone: \_\_\_\_\_

Applicant's Email: kokada@pedersenassociates.com, ppedersen@pedersenassociates.com

Primary point of Contact Email:  Owner  Buyer  Agent  Architect

**To Be Completed by Town Staff:**

Date Received: \_\_\_\_\_

Application No.: \_\_\_\_\_

Zoning: \_\_\_\_\_

Planning 5300 \_\_\_\_\_

Tree Permit 5305 \_\_\_\_\_

Fee Program Administration 5315-05 \_\_\_\_\_

Record Management 5316-05 \_\_\_\_\_

Record Retention 5112-05 \_\_\_\_\_

Technology Surcharge 5313-05 \_\_\_\_\_

Date paid: \_\_\_\_\_ TOTAL FEES: \_\_\_\_\_

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.



**SUBDIVISION INFORMATION ONLY**

Number of Lots: \_\_\_\_\_

**LOT LINE ADJUSTMENT ONLY**

Describe the Proposed Lot Line Adjustment:

\_\_\_\_\_

Existing Parcel Size(s) *Parcel 1:* \_\_\_\_\_ *Parcel 2:* \_\_\_\_\_

Adjusted Parcel Size(s) *Parcel 1:* \_\_\_\_\_ *Parcel 2:* \_\_\_\_\_

<b>PARCEL ONE</b>	<b>PARCEL 2</b>
Owners Signature: _____	Owner's Signature: _____
Date: _____	Date: _____
Owner's Name (Please Print): _____	Owner's Name (Please Print): _____
Assessor's Parcel Number: _____	Assessor's Parcel Number: _____

\* If there are more than two affected property owners, please attach separate letters of authorization.

**REZONING OR TEXT AMENDMENT ONLY**

The applicant wishes to amend Section \_\_\_\_\_ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel \_\_\_\_\_ from the \_\_\_\_\_ Zoning District to \_\_\_\_\_.

**GENERAL OR SPECIFIC PLAN AMENDMENT ONLY**

Please describe the proposed amendment:

\_\_\_\_\_

**CERTIFICATION AND SIGNATURES**

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**SIGNATURE:**

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

*I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at*

\_\_\_\_\_, California on \_\_\_\_\_

\_\_\_\_\_  
Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

**Notice of Ordinance/Plan Modifications**

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

*The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.*

---

**Consultant Information**

The following information is required for all project consultants.

**Landscape Architect**

Firm \_\_\_\_\_  
Project Landscape Architect \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Civil/ Geotechnical Engineer**

Firm \_\_\_\_\_  
Project Engineer \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Arborist**

Firm \_\_\_\_\_  
Project Arborist \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Other**

Consultant \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**Other**

Consultant \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Town of Ross Business License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_



15 Skyland Way: Design Review Application Project Description  
November 6, 2023

**Written Project Description – may be attached.**

*A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).*

-----

The project consists of retaining walls for an expanded parking court, side yard walls, gates & fence, stone stairs and landing, paved paths to the garage and crawl space, realigned gravel paths to existing pool area. Plantings at all disturbed area and exterior landscape light fixtures within the project area will be also renovated.

Please see L-0: Coversheet for Project Data.

The summary of how this project relates to the design review criteria in the Town zoning ordinance is as follows:

1. The existing front yard is composed of drifts of ornamental and native shrubs and seasonal grasses. Much of the planting shall remain with some additional native and ornamental shrubs added. There are no significant site features in the front yard area where the improvements will occur with the exception of a Coast Live Oak, that will remain, and a Blackwood Acacia (*Acacia melanoxylon*) that will be removed to accommodate the side yard path and gate.
2. All disturbed areas will be planted and mulched in a similar fashion as the other homes at the end of Skyland.
3. The project provides guest parking in front of the garage and allows enough space to maintain the existing driveway turn around.
4. The new site retaining walls have been broken into two separate offset walls with a generous planting between. This allows the driveway edge to not require a guard rail. The walls will receive a stucco finish to match the residence.
5. The auto court expansion and new planting will screen the guest parking area from Skyland Way.
6. The side yard screen wall and gate utilize the same materials as the garage (stucco and painted wood) to create a cohesive design palette, in keeping with the existing walled garden and entry treatments.
7. The planting design utilizes low water, fire and deer resistant material. All disturbed areas will be planted and mulched.

8. LID stormwater management for the project will be improved with through-curb drainage, allowing paved areas to flow into landscape areas, slowing runoff and allowing stormwater infiltration. The existing and new driveway pavers are sand-set and previous.
9. All new site lighting is shielded or aimed down to illuminate paved surfaces.









**Pedersen Associates  
Landscape Architecture**

*Peder Jens Pedersen, ASLA  
24 H Street  
San Rafael, CA 94901*

*415 456 2070*

*415 456 2086 F*

*CA Reg. No. 2300*

*HI Reg. No. 7273*

*www.pedersenassociates.com*

December 27, 2023

Alex Lopez-Vega, Assistant Planner  
Town of Ross  
P.O.Box 320/ 31 Sir Francis Drake Blvd  
Ross, CA 94957

Subject: Response to Planning and Dept. of Public Works Comments for 15 Skyland Way, APN 072-201-16

Dear Alex,

Please see my response to the comments from the Department of Public Works and Planning dated December 18, 2023.

Comments from Planning and Public Works

There is an increase in impervious surface in two locations. Please see L-2.

Drainage Management Area #1 includes 101 square feet of new stone stairs and landings, and Drainage Management Area #2 includes 50 square feet of new concrete walk and curb. Stormwater from each area will be directed to permeable surface and the diagram and descriptions are on the plan.

Additionally with this submittal, we included C-2 Grading and Drainage Plan and Detail 6 on L-4 for Concrete Paver (previous) detail per your comments, and Detail 3 and 4 on L-4 are updated accordingly.

Thank you so much, and please contact us with any questions or if you need anything else.

Sincerely,

Kai Okada  
Pedersen Associates  
(415) 456-2070  
kokada@pedersenassociates.com



December 18, 2023

Horatio LLC  
Attn: Pedersen Associates  
24 H Street  
San Rafael, CA 94102

Re: 15 Skyland Way, APN 072-201-16  
Application DRP23-0023

Dear:

Thank you for submitting your planning application for Design Review to renovate existing landscaping over 2,500 square feet, including hardscape, retaining walls, vegetation modifications and other site modifications at 15 Skyland Way, APN 072-201-16. Staff has reviewed your submittal and determined your application to be incomplete for processing. Please provide the following information to staff to ensure a complete application:

**Comments from Planning:**

- If there is an increase in impervious surfaces, please provide a remedy.

**Comments Received from Public Works:**

- Net impervious area is being increased. Applicant must provide a preliminary drainage or stormwater management plan indicating how the project will generate no net runoff using on site bioretention areas, or else revise plan to decrease impervious areas to at or below historic value. Per Town of Ross Policy, any net-increase in impervious area must be routed through an equivalent sized BASMAA-type bioretention basin. The area of bioretention = 8% x net-increase. The drainage area that is routed into the bioretention must include, at a minimum, an area of impervious surface equal to the net increase but no more than 2X the net increase.
- For new pavers to be considered as pervious material, provide a detail showing paver section with an adequate open-graded subbase reservoir to provide detention storage. Type 12" of 1-1/2 to 3" rock.

Please submit all of the above information in order for staff to continue reviewing this application. Do not hesitate to contact me if you have any questions regarding this letter at (415) 453-1453 ext. 116 or at [alopez-vega@townofross.org](mailto:alopez-vega@townofross.org)

Sincerely,

A handwritten signature in black ink, appearing to read 'Alex Lopez-Vega', written in a cursive style.

Alex Lopez-Vega  
Assistant Planner



**Pedersen Associates  
Landscape Architecture**

24 H Street  
San Rafael, CA 94901

415 456 2070  
415 456 2086 F  
CA Reg. No. 2300  
HI Reg. No. 7273  
[www.pedersenassociates.com](http://www.pedersenassociates.com)

**To:** Neighbors of 15 Skyland Way, Ross  
**From:** Pete Pedersen, Landscape Architect, CLA #2300  
**Date:** January 3, 2024  
**RE:** Proposed Front and Side Yard Renovation

Dear Neighbor,

We are writing on behalf of Horatio LLC, who are in the process of applying for approval from the Town of Ross for a front and side yard landscape renovation. Although you will also likely receive a notice from the Town, the Town encourages applicants to reach out to neighbors to describe pending projects and to invite input.

The project includes an expanded auto court with retaining walls (to support approved additions to the garage), reconfigured entry walk, stairs & low garden terrace walls, a new side gate and access path around the garage expansion, resurfacing of the driveway with water permeable pavers, and new plantings at the front yard and entry garden.

The main motivators for this project are;

- a) To provide an auto court with ample guest parking and maneuvering space to eliminate having to back down the private driveway to the cul-de-sac.
- b) To provide a gracious entry experience to the front gate and garden entrance
- c) To allow service access to the back yard for garden maintenance vehicles
- d) To update and refresh the landscaping to complement the neighborhood.

You will receive a notice from the Town of Ross, which will include a link to the staff report with attached plans at least 72 hours prior to the meeting. If you'd like to review the plans prior to that, please contact the Ross's Assistant Planner, Alex Lopez-Vega at [alopez-vega@townofross.org](mailto:alopez-vega@townofross.org) to get a copy of the plans.

Please feel free to contact us with any questions.

Sincerely,

Pete Pedersen, Pedersen Associates  
CLA#2300



Pedersen Associates  
Landscape Architecture

24 H Street  
San Rafael CA 94901



Neighbor of 15 Skyland Way  
P.O. Box 1704  
ROSS, CA 94957-1704



Pedersen Associates  
Landscape Architecture

24 H Street  
San Rafael CA 94901



Neighbor of 15 Skyland Way  
P.O. Box 672  
ROSS, CA 94957-0672



Pedersen Associates  
Landscape Architecture

24 H Street  
San Rafael CA 94901

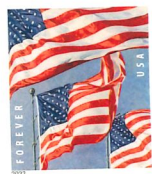


Neighbor of 15 Skyland Way  
P.O. Box 1362  
ROSS CA 94957-1362



Pedersen Associates  
Landscape Architecture

24 H Street  
San Rafael CA 94901



Neighbor of 15 Skyland Way  
P.O. Box 517  
ROSS, CA 94957-0517



Pedersen Associates  
Landscape Architecture

24 H Street  
San Rafael CA 94901



Neighbor of 15 Skyland Way  
P.O. Box 81  
ROSS, CA 94957-0081



Pedersen Associates  
Landscape Architecture

24 H Street  
San Rafael CA 94901



Neighbor of 15 Skyland Way  
P.O. Box 213  
ROSS, CA 94957-0213



Pedersen Associates  
Landscape Architecture

24 H Street  
San Rafael CA 94901



Neighbor of 15 Skyland Way  
P.O. Box 546  
ROSS, CA 94957-0546



Pedersen Associates  
Landscape Architecture

24 H Street  
San Rafael CA 94901



Neighbor of 15 Skyland Way  
P.O. Box 496  
ROSS, CA 94957-496

# ATTACHMENT 4

**DRAFT MINUTES**  
Meeting of the Ross  
Advisory Design Review Group  
January 16, 2024, 7:00pm

Video and audio recording of the meeting is available online at the Town's website at:  
[townofross.org/meetings](https://townofross.org/meetings).

**1. 7:00 p.m. Commencement**

ADR Group Chair Kruttschnitt called the meeting to order.

Present: Mark Kruttschnitt, Joey Buckingham, Laura Dewar, Mark Fritts, and Stephen Sutro; Roberta Feliciano (Planning and Building Director), Alex Lopez-Vega (Assistant Planner)

**2. Approval of Minutes.**

The ADR Group approved the minutes from the December 12, 2023, meeting.

**3. Open Time for Public Comments**

No comments were provided.

**4. Planning Applications/Projects**

- a.
- |                          |                          |
|--------------------------|--------------------------|
| <b>Property Address:</b> | 18 Canyon Road           |
| <b>A.P.N.:</b>           | 072-031-55               |
| <b>Applicant:</b>        | Robert Ludlow, Architect |
| <b>Property Owner:</b>   | Robert and Sandra Ludlow |
| <b>Zoning:</b>           | R-1: B-5A                |
| <b>General Plan:</b>     | VL (Very Low Density)    |
| <b>Flood Zone:</b>       | X (Moderate Risk)        |

**Project Summary:** The applicant requests a recommendation to the Town Council for Design Review and a Hillside Lot Permit. The project proposes to legalize the existing nonconforming hot tub located within the rear yard setback and the hot tub equipment located in the side yard setback. The existing hot tub is made up of cedar and is integrated into the wood deck attached to the single-family residence.

Mark Fritts

- No issues at all

Joey Buckingham

- Agrees with ADR members
- No problem with the hot tub since it's a hillside and nobody can see it or hear it

Mark Kruttschnitt

- Is okay with the hot tub since its far away from neighbors and it's existed for 10 years
- No neighbor complaints



Laura Dewar

- Agrees with Mark K.
- No impact on neighbors
- Lot is irregular and its next to a private driveway
- Support the project

Stephen Sutro

- Agree with ADR members
- Does not create any noise

b.

**Property Address:** 15 Skyland way  
**A.P.N.:** 072-201-16  
**Applicant:** Pederson Associates  
**Property Owner:** Horatio LLC  
**Zoning:** R-1:B-A  
**General Plan:** VL (Very Low Density)  
**Flood Zone:** X (Minimal Flood Risk)

**Project Summary:** The applicant requests a recommendation to the Town Council for Design Review and a Hillside Lot Permit. The project proposes to rehabilitate and renovate the existing front and side landscape. The project will expand the existing driveway and construct retaining walls, gates and fences measuring up to 5' - 6" in height, construct stone stairs, a landing, paved paths to the garage, along with realigned gravel paths to the existing pool area. Plantings will be incorporated in all disturbed areas, and exterior light fixtures within the project area will undergo renovation. Lighting will be shielded or directed downward to illuminate paved surfaces.

Mark Kruttschnitt

- Agrees with everyone else about that the project looks great
- It will make the driveway safer
- Also agrees that the lower retaining wall should be painted an earth tone color
- Good to have a wall that will fade away with the planting

Stephen Sutro

- Fine with the project as design
- The idea of painting the lower wall green or brown is a great idea
- With the change of painting the lower wall, supports the project as design

Laura Dewar

- Agrees with the comment of painting the lower wall
- The larger the planting for the lower wall the better

Mark Fritts

- The lower wall shall be earthtone
- The upper wall can remain the color as part of the home

- Perhaps pull in gate more for it to be a pedestrian gate instead of a vehicular gate which will not increase impervious surface
- Supports the project and the improvements

Joey Buckingham

- Applaud the design
- Contributes to the safety of that corner
- Driveway expansion is very positive
- Problem in increase of impervious surface but can make the finding based on improving safety in that corner
- Retaining walls should be an earth tone

**5. Conceptual Advisory Design Review**

**No items**

**6. Information and Discussion.**

**2024 ADR Meeting dates-**

***During the meeting, all ADR meetings reached an agreement on adopting a 2024 calendar and shifting the start time from 7 p.m. to 6 p.m., effective February 2024.***

**7. New Agenda Items.**

**Adjournment, 7:40 PM.**

**Next scheduled regular meeting date and time: March 19, 2024, at 6:00 PM.**