



Staff Report

Date: April 13, 2023
To: Mayor Kuhl and Council Members
From: Alex Lopez-Vega, Assistant Planner
Subject: Bell Residence, 2 Pomeroy Road

Recommendation

It is recommended that the Town Council adopt Resolution No. 2297 (**Attachment 1**) approving Design Review, and a Demolition Permit for the subject project as described below.

Property Address: 2 Pomeroy Road
A.P.N.: 072-023-15
Applicant: Mark Lounsbury
Property Owner: Erica and David Bell
Zoning: R-1:B-5A
General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

Project Description:

The applicant is requesting approval for Design Review, and a Demolition Permit. The property at 2 Pomeroy Road is a single-family residence approximately 5,722 SF currently under renovation. The Town of Ross issued building permit B2210-03 for an interior remodel to the existing home at 2 Pomeroy. During the course of construction, the property owners decided they would like to change the existing siding to shingles. The project includes replacing all the existing siding to Western Red Cedar Shingles.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** for exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding 200 square feet of new floor area; increase to the existing roof height; and construction, improvements, grading/filling or other site work within 25' of a creek, waterway or drainageway.
- **Demolition Permit is required pursuant to RMC Section 18.50.020** to alter more than twenty-five percent of exterior wall coverings of a residence.

Background

The project site is a 96,000 square-foot lot on Pomeroy Road. The lot has a single-family residence which includes a swimming pool, a pool house, and tennis court. The property is home to an extensive collection of trees and mature vegetation.

Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

On March 21, 2023, the Advisory Design Review group (ADR) unanimously recommended that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, recommended approval of Design Review.

Draft minutes of the March 21, 2023, ADR meeting are included as **Attachment 4**.

Discussion

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

Design Review

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve or deny an application for design review. The Town Council shall include conditions necessary to meet the purpose of Design Review

pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- **The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))**
- **The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))**
- **The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))**

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit “A” of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical “small town,” low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The proposed project is not monumental or excessively large size and is compatible with others in the neighborhood and does not attract attention to themselves. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

Demolition Permit

The “small town” quality and feel of the town are heavily shaped by the attributes, integrity, historical character, and design scale of existing residential and commercial neighborhoods. The preservation, enhancement and continued use of a structure with historic, architectural, cultural and/or aesthetic importance is essential in retaining this community character. The Town Council, after considering citizen and professional input, as necessary, should decide whether a structure may be removed from the neighborhood fabric of Ross.

Pursuant to Section 18.50.20, the proposed project requires a Demolition Permit to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

Staff recommends approval of the Demolition Permit, as summarized below and as supported by the findings in Exhibit “A” of the attached Resolution.

The existing property is not designated as a significant architectural, historical, or cultural resource at the local, state, or federal level. The project is consistent with the purpose of Design Review as outlined in Section 18.41.0LO. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; and enhances the area in which the project is located. The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations; therefore, the project is recommended to be found consistent with the Ross General Plan and Zoning Ordinance. The project is required to comply with all applicable provisions, measures, and safeguards of the Town's building and safety codes, such that it would not cause detriment or injury to the health, safety, and general welfare of persons residing or working in the neighborhood.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

Alternative actions

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Public Comment

Public Notices were mailed to property owners within 500 feet of the project site 10 days prior to the meeting date and no comments have been received at the time of writing this report.

Attachments

1. Resolution No. 2297
2. Project Plans
3. Project Application and Materials
4. Draft ADR Meeting Minutes, March 21, 2023

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2297

RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, AND A DEMOLITION PERMIT TO CHANGE THE EXISTING SIDING TO SHINGLES FOR 2 POMEROY ROAD, A.P.N. 072-023-15

WHEREAS, applicant Mark Lounsbury, on behalf of property owners Erica and David Bell has submitted an application requesting approval of Design Review, and a Demolition Permit to change the existing siding to shingles at 2 Pomeroy Road APN 072-023-15 (herein referred to as “the Project”).

WHEREAS, the Project is determined to be exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination; and

WHEREAS, on April 13, 2023, the Town Council held a duly noticed public hearing to consider the Project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves Design Review, and a Demolition Permit to allow the Project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 13th day of April 2023, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

P. Beach Kuhl, Mayor

ATTEST:

Cyndie Martel, Town Clerk

EXHIBIT "A"
FINDINGS
2 Pomeroy Road
A.P.N. 072-023-15

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.

As recommended by the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The site would be kept in harmony with the general appearance of neighboring landscape. Lot coverage and building footprints would be minimized, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. New buildings constructed on sloping land are designed to relate to the natural landforms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site. Buildings would use materials and colors that minimize visual impacts and blend with the existing landforms and vegetative cover, including wood and stone. Good access, circulation and off-street parking would be provided consistent with the natural features of the site. Open fencing would be aesthetically attractive and not create a "walled-in" feeling or a harsh, solid expanse. Landscaping would be integrated into the architectural scheme to accent and enhance the appearance of the development, including attractive, fire-resistant, native species and replacement trees for trees removed by development. Landscaping would create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire. The Project would maximize permeability and reduce the overall impervious surface coverage on the property, by removing existing impervious surfaces to more than offset the new development, so that the post-development stormwater runoff rates from the site would be no greater than pre-project rates.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The Project is consistent with the allowed uses and general development standards associated with the Very Low-Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

II. In accordance with RMC Section 18.50.050 (a) |, Demolition Permit is approved based on the following mandatory findings:

a) The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.

The existing single-family residence and accessory buildings do not possess historical, architectural, cultural, or aesthetic values. Additionally, the existing single family dwelling will not be removed from the site, only the siding is changing.

b) The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town.

As recommended by the ADR Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross.

c) The project is consistent with the Ross general plan and zoning ordinance.

The Project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

d) The project will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the neighborhood and will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood

The Project will avoid detriment to public welfare and material injury to properties in the vicinity by complying with the Design Review criteria and standards (RMC Section 18.41.100) and with the Hillside Lot Regulations (RMC Section 18.39.090).

EXHIBIT "B"
CONDITIONS OF APPROVAL
2 Pomeroy Road
A.P.N. 072-023-15

1. The building permit shall substantially conform to the plans entitled, "Bell Residence" and dated 3/21/2023, and reviewed and approved by the Town Council on April 13, 2023
2. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
3. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
4. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
5. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
6. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
7. A Tree Permit shall not be issued until the project grading or building permit is issued.
8. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
 - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within

the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.

- b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.
- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading

activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).

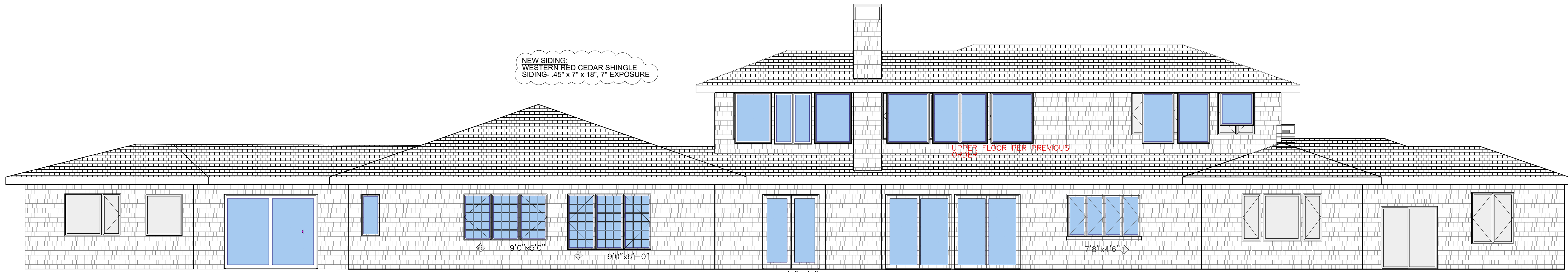
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely

covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.

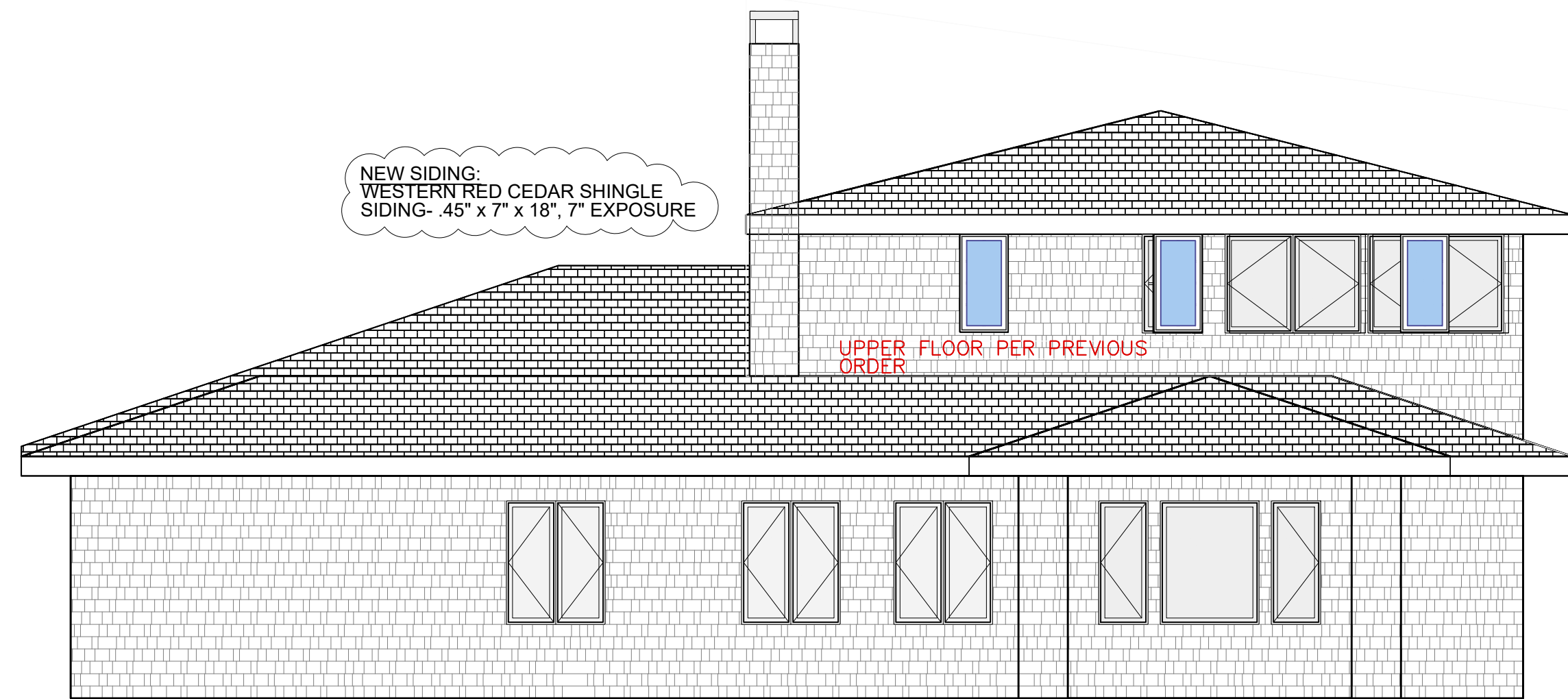
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.

- iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
9. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding (“action”) against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

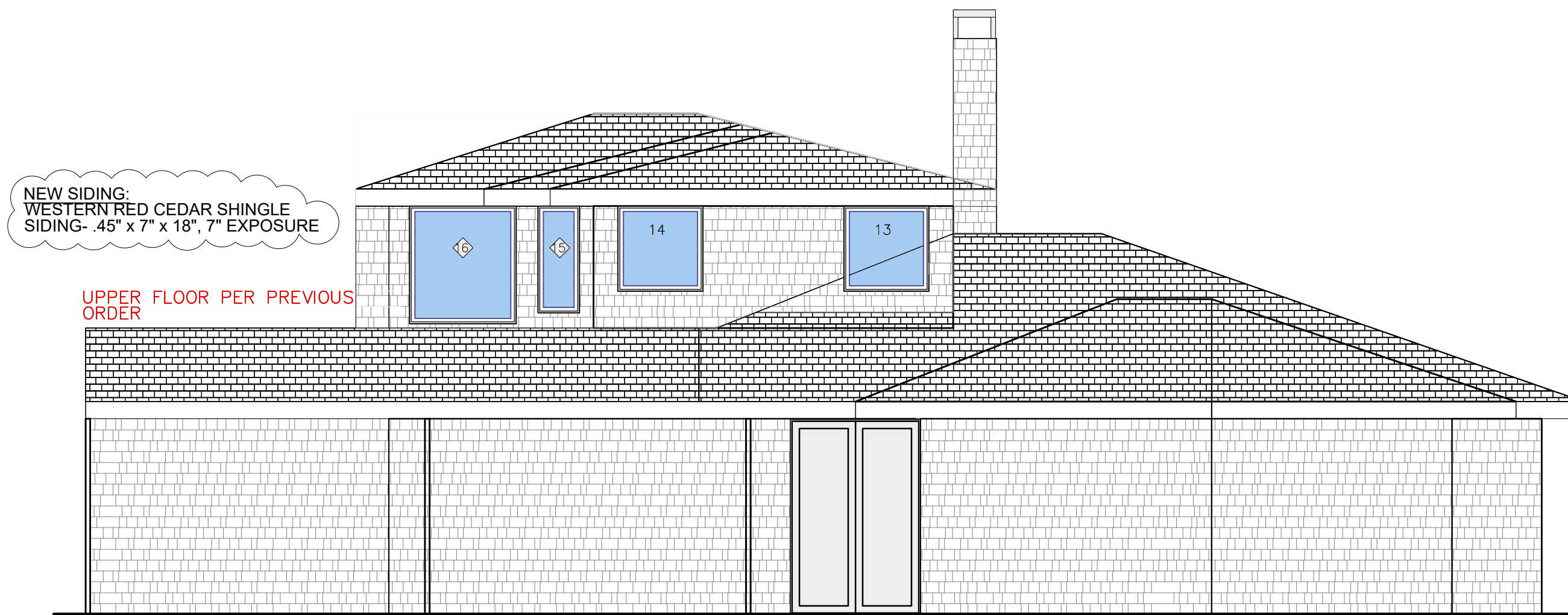
ATTACHMENT 2



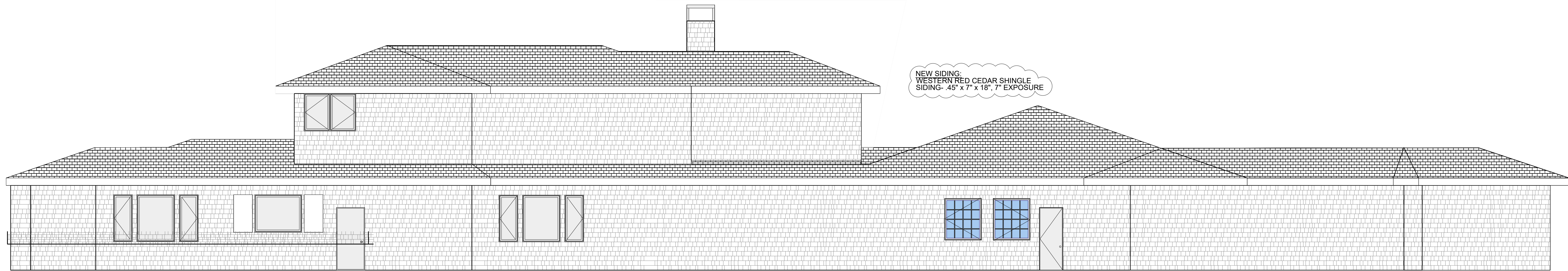
SOUTH ELEVATION



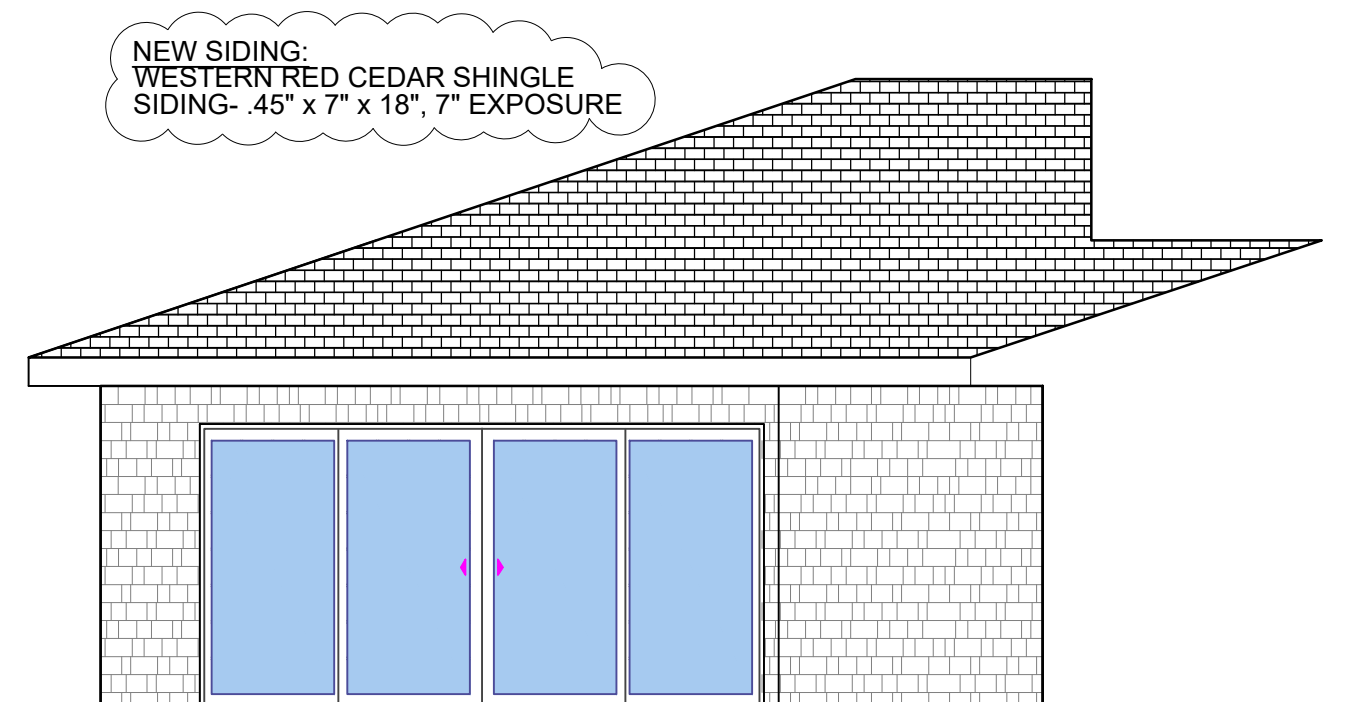
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST PATIO ELEVATION

DATE: 03/06/2023
REVISIONS:

NOTES:

BELL RESIDENCE

Project No: Date: 03/06/2023
Sheet Title:

Scale: 3/16" = 1'-0"
Sheet No:

2 POMEROY ROAD, ROSS, CA

PLANNING & ZONING DATA

ADDRESS:	2 POMEROY ROAD ROSS, CA
ASSESSOR'S PARCEL #	072-023-15
TOTAL LOT AREA:	2.2 ACRES
AVERAGE SLOPE:	27%
ZONING TYPE:	R1_B-5A (PER TOWN OF ROSS)
LAND USE:	SINGLE RESID
FIRE CODES:	LOCAL JURISDICTION (W.U.I.)
FEMA FLOOD ZONE:	NO
BLDG TYPE:	SINGLE FAMILY HOME
CONSTRUCTION TYPE:	V-B; SPRINKLERED - NFPA 13R
OCCUPANCY:	R-3, U
CLIMATE ZONE:	C22
STORIES EXISTING:	2
LOT COVERAGE	
MAX POSSIBLE LOT COVERAGE	30% OR 28,000 SQ FT
BLDG LIMITATIONS:	REQUIRED
FRONT SETBACK	25'
REAR SETBACK	70'
SIDE YARDS	45'
MAX BUILDING HT	30'
(E) BUILDING AREA:	
FIRST FLOOR:	4513 SQ FT
SECOND FLOOR:	1245 SQ FT
TOTAL HOME:	5758 SQ FT
POOL HOUSE:	1000 SQ FT
TOTAL CONDITIONED SPACE:	6758 SQ FT
LOT AREA :	96,000 SQ FT
LOT COVERAGE :	7.1 %
ALTERATION / ADDITION	
REMODELED AREA:	2533 SQ FT
NEW PROPOSED:	0 SQ FT
(E) PARKING SPACES:	
COVERED	2
UNCOVERED	2

APPLICABLE CODE NOTICE:

- ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH THE FOLLOWING:
- 2019 CALIFORNIA BUILDING CODE (CBC)
 - 2019 CALIFORNIA FIRE CODE (CFC)
 - 2019 CALIFORNIA RESIDENTIAL CODE (CIRC), 1 & 2-FAMILY DWELLINGS ONLY
 - 2019 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2019 CALIFORNIA PLUMBING CODE (CPC)
 - 2019 CALIFORNIA MECHANICAL CODE (CMC)
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS
 - 2019 CALIFORNIA ENERGY CODE
 - SONOMA COUNTY CODES & ORDINANCES
 - 2019 CALGREEN SONOMA COUNTY

SHEET INDEX:

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 - A0.1 GENERAL PROJECT NOTES
 - A1.0 (E) / DEMOLITION PLANS
 - A2.0 PROPOSED FLOOR PLAN
 - A3.0 (E) / NEW EXTERIOR ELEVATIONS
 - A3.1 (E) / NEW EXTERIOR ELEVATIONS
 - A4.0 RCP - POWER PLAN
 - A5.0 EXTERIOR WINDOW/DOOR SCHEDULE
 - A6.0 TITLE 24
 - A6.1 TITLE 24
- STRUCTURAL:**
- S100 GENERAL NOTES
 - S200 FRAMING PLANS
 - S201 FRAMING PLANS
 - S202 FRAMING PLANS
 - S400 DETAILS

PROJECT CONTACTS

OWNER
ERICA BELL
 2 POMEROY ROAD,
 ROSS, CA. 94957
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 T: 206.953.8263

ARCHITECT & LANDSCAPE DESIGNER
HOLDER | PARLETTE
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 KENTFIELD, CA 94904
 CONTACT: CHRIS PARLETTE
 E: chris@holderparlette.com
 T: 510.502.1893

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SURVEYOR
AMERICAN LAND SURVEYING, INC.
 316 TENNESSEE AVE. SUITE B
 MILL VALLEY, CA 94941
 T: 415-888-8580

CONTRACTOR
 TBD

PROJECT DESCRIPTION

THIS PROJECT IS INCLUDES:

- 1) REMODELING KITCHEN, DINING AND LIVING ROOM AREAS
- 2) RECONFIGURING SOME FIRST FLOOR INTERIOR WALLS
- 3) NEW WINDOWS AND DOORS TO BE INSTALLED
- 4) RELOCATED KITCHEN APPLIANCES AND FIXTURES
- 5) (E) WOOD BURNING FIREPLACES TO BE REMOVED
- 6) NEW DECORATIVE NG FIRE PLACE IN LIVING ROOM
- 7) NEW KITCHEN APPLIANCES AND FIXTURES
- 8) FIRST FLOOR TO HAVE UPGRADED ELECTRICAL.

SCOPE OF WORK, WHICH INCLUDES CHANGES IN EXTERIOR WALL SURFACES, WILL BE ON THE FIRST FLOOR ONLY. PROJECT INCLUDES INTERIOR WALL CHANGES AND NEW WINDOW AND DOOR INSTALLATION. (E) STRUCTURAL FOOTPRINT TO REMAIN UNCHANGED. ALTERED FIRST FLOOR AREAS WILL HAVE NEW ELECTRICAL, NEW FIXTURES, AND NEW FINISHES.

GENERAL PROJECT REQUIREMENTS:

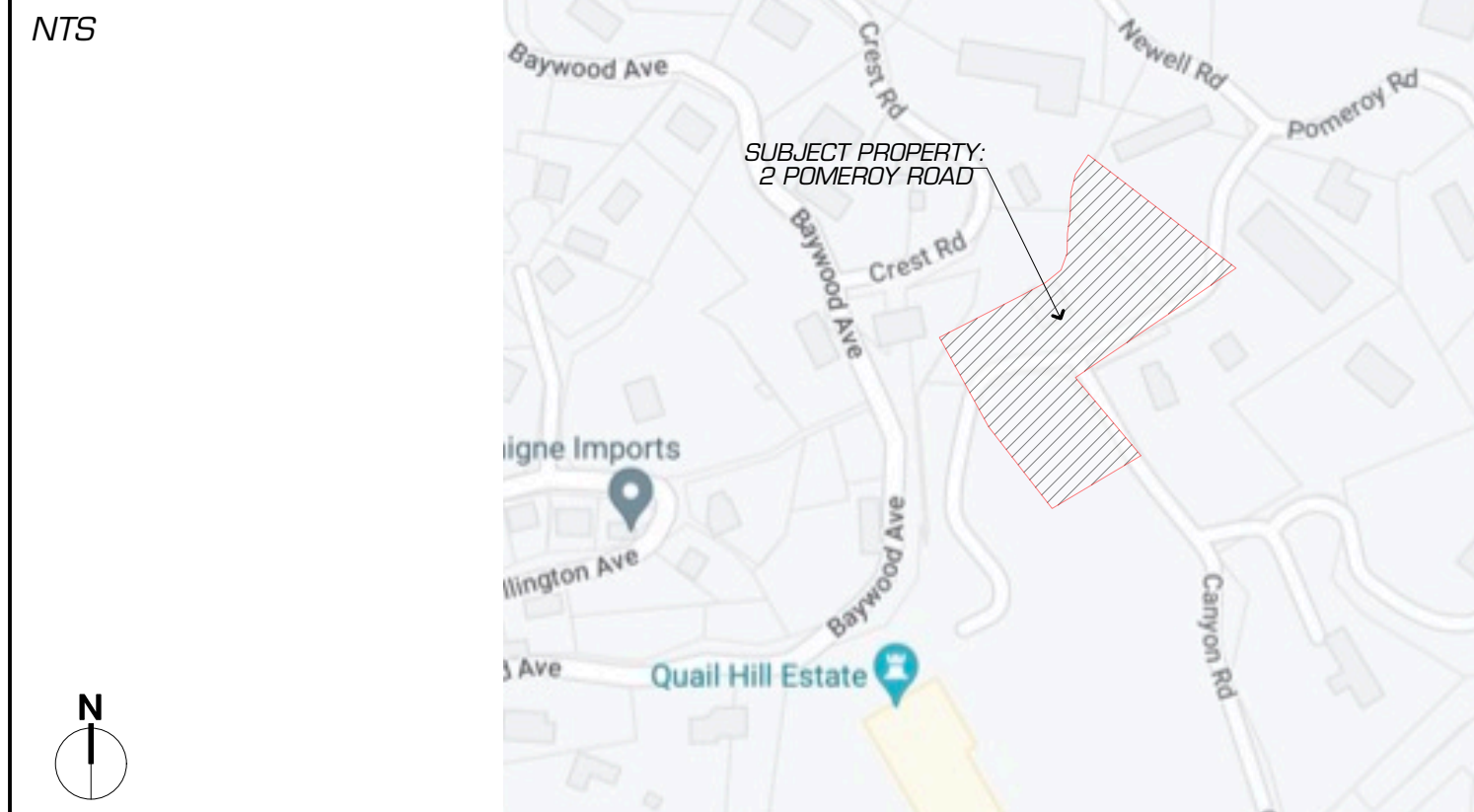
- MAINTAIN PROPERTY FREE OF HAZARDOUS VEGETATION. DEFENSIBLE SPACE SHALL BE CREATED AND MAINTAINED PER GUIDELINES POSTED AT WWW.ROSSVALLEYFIRE.ORG.
- ADDRESS NUMBERS AT LEAST 4" TALL MUST BE IN PLACE ADJACENT TO THE FRONT DOOR. IF NOT CLEARLY VISIBLE FROM THE STREET, ADDITIONAL NUMBERS ARE REQUIRED. RESIDENTIAL NUMBERS MUST BE INTERNALLY ILLUMINATED (BACKLIT), PLACED TO A LIGHT OR BE REFLECTIVE NUMBERS. IF YOUR PROJECT IS A NEW HOUSE OR SUBSTANTIAL REMODEL, THEY MAY ONLY BE INTERNALLY ILLUMINATED OR ILLUMINATED AN ADJACENT LIGHT CONTROLLED BY A PHOTOCELL AND SWITCHED ONLY BY A BREAKER SO IT WILL REMAIN ILLUMINATED ALL NIGHT. IF NOT CURRENTLY AS DESCRIBED, THEY MUST BE INSTALLED AS PART OF THIS PROJECT.
- SEE SHEET A0.1 FOR ADDITIONAL GENERAL NOTES.

DEFERRED SUBMITTALS

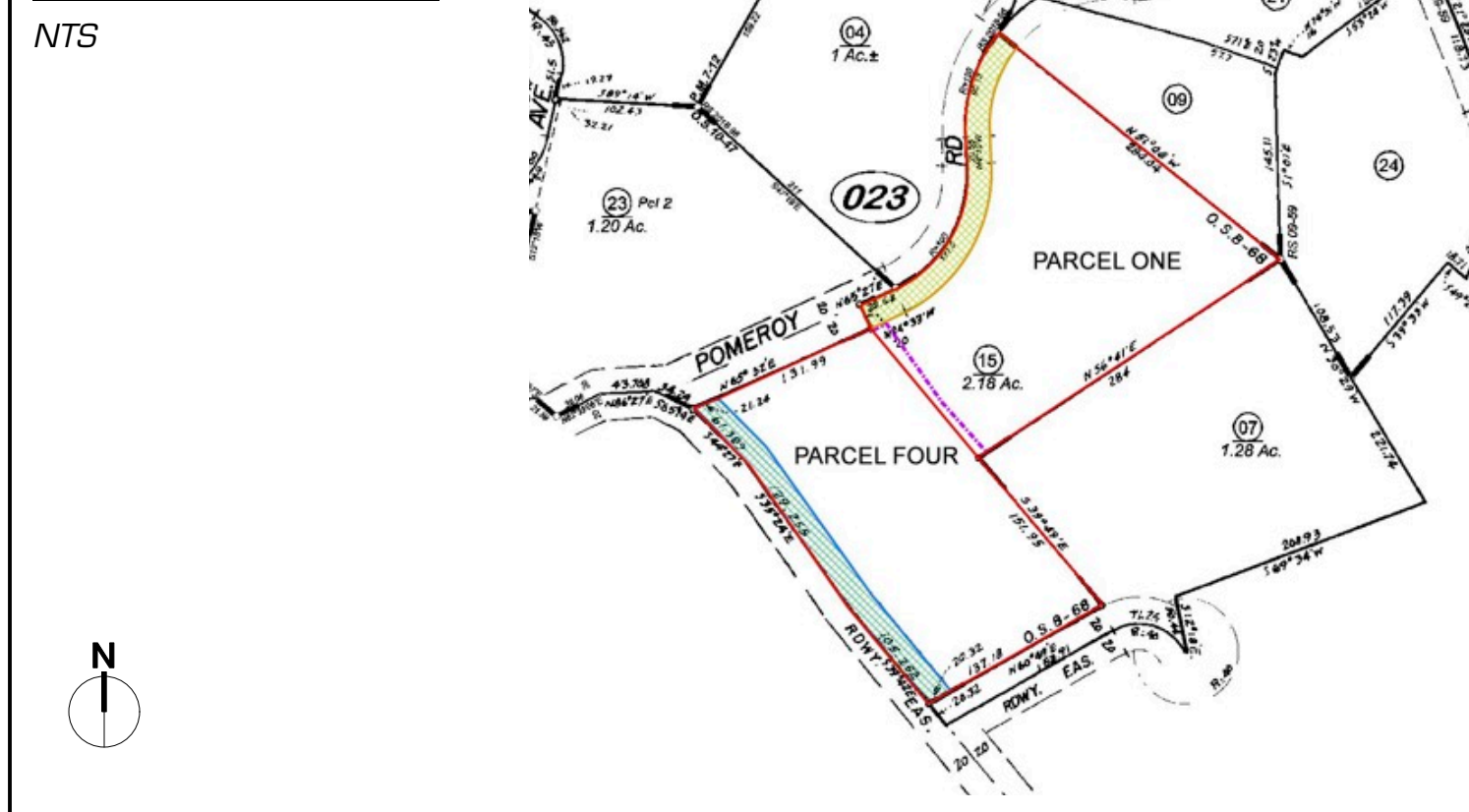
THE FOLLOWING ARE TO BE PROVIDED AS A DEFERRED SUBMITTAL TO THE ROSS VALLEY FIRE DEPARTMENT (RVFD).

- FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING WHICH COMPLES WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13-R AND LOCAL STANDARDS. SEPARATE DEFERRED PERMITS SHALL BE REQUIRED FOR THESE SYSTEMS. PLANS AND SPECIFICATIONS FOR THE SYSTEM SHALL BE SUBMITTED BY AN INDIVIDUAL OR FIRM LICENSED TO DESIGN AND /OR DESIGN-BUILD SPRINKLER SYSTEMS. **PROVIDE AS DEFERRED SUBMITTAL TO ROSS VALLEY FIRE DEPARTMENT (RVFD).**
- A VEGETATION MANAGEMENT PLAN (VMP) DESIGNED IN ACCORDANCE WITH ROSS VALLEY FIRE STANDARD #220 IS REQUIRED FOR THIS PROJECT. A SEPARATE DEFERRED FIRE PERMIT IS REQUIRED FOR THIS PLAN. PLEASE SUBMIT DIRECTLY TO THE FIRE DEPARTMENT FOR REVIEW. **PROVIDE AS DEFERRED SUBMITTAL TO ROSS VALLEY FIRE DEPARTMENT (RVFD).**

VICINITY MAP



ASSESSOR'S MAP



AERIAL VIEW



1 (E) PLOT SURVEY
 SCALE: 1/32"=1'-0"

BUILDING ADDRESSING

ADDRESS NUMBERS AT LEAST 4" TALL MUST BE IN PLACE ADJACENT TO THE FRONT DOOR. IF NOT CLEARLY VISIBLE FROM THE STREET, ADDITIONAL NUMBERS ARE REQUIRED. RESIDENTIAL NUMBERS MUST BE INTERNALLY ILLUMINATED (BACKLIT), PLACED TO A LIGHT OR BE REFLECTIVE NUMBERS. IF YOUR PROJECT IS A NEW HOUSE OR SUBSTANTIAL REMODEL, THEY MAY ONLY BE INTERNALLY ILLUMINATED OR ILLUMINATED BY AN ADJACENT LIGHT CONTROLLED BY A PHOTOCELL AND SWITCHED ONLY BY A BREAKER SO IT WILL REMAIN ILLUMINATED ALL NIGHT. IF NOT CURRENTLY AS DESCRIBED, THEY MUST BE INSTALLED AS PART OF THIS PROJECT.

NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE ADDRESS NUMBERS SHOULD BE POSTED ON THE HOUSE, IF THE HOUSE SITS BACK FROM THE STREET, POST THE ADDRESS AT THE BEGINNING OF THE DRIVEWAY, ALONG THE DRIVEWAY (IF TURNS) AND ON THE HOUSE. WHERE MULTIPLE ADDRESSES EXIST ALONG THE SAME ACCESS THEY SHALL BE MOUNTED ON A SINGLE POST. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND AT A MINIMUM BE 4-INCHES IN HEIGHT WITH A 1/2 INCH STROKE. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS.

ADDRESS NUMBERS SHALL BE ILLUMINATED, INTERNALLY OR EXTERNALLY, DURING THE NIGHT TIME HOURS.

ALL NUMBERS OR LETTERS USED AS PART OF THE REQUIRED ADDRESS SIGN SHALL BE DISPLAYED IN A HORIZONTAL FORMAT. WHEN NUMBERS ARE USED AS PART OF THE ADDRESS, THE NUMBERS SHALL BE DISPLAYED BY USING NUMERICAL CHARACTERS AND NOT BY USING LETTERS TO SPELL THE NUMBER(S).

WILDLAND-URBAN INTERFACE (WUI)

THIS PROJECT TO COMPLY WITH CRC SECTION R337 AND CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A, RELATING TO ALL ELEMENTS APPLICABLE TO:

EXTERIOR WALLS: THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE SHALL BE OF NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL, OR HEAVY TIMBER OR LOG WALL CONSTRUCTION. CBC 707A.3

EXTENT OF EXTERIOR WALL COVERING: EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, TERMINATING AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR TERMINATING AT THE ENCLOSURE OF ENCLOSED EAVES. CBC 707A.3.1

OPEN ROOF EAVES: THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL, OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC 707A.4

ENCLOSED ROOF EAVES AND ROOF FAVE SOFFITS: THE EXPOSED UNDERSIDE OF EAVES AND SOFFITS SHALL BE PROTECTED BY NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL, OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC 707A.5.

EXTERIOR PORCH CEILINGS: THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL, OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC 707A.6.

FLOOR PROJECTIONS: THE EXPOSED UNDERSIDE OF A CANTILEVERED FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AN EXTERIOR WALL SHALL BE PROTECTED BY NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL, OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC 707A.7.

UNDERFLOOR PROTECTION: THE UNDERFLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE OR THE UNDERSIDE OF THE EXPOSED UNDER FLOOR SHALL CONSIST OF NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL, OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC 707A.8.

DECKING: THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WHEN LOCATED WITHIN 10 FEET OF THE BUILDING SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIAL, OR EXTERIOR FIRE RETARDANT TREATED WOOD, OR NONCOMBUSTIBLE MATERIAL. CBC 709A.3

FIRE NOTES

NEW ROOF GUTTERS ARE TO BE PROVED WITH MEANS TO PREVENT ACCUMULATION OF DEBRIS. CBC 705A.4.

EXTERIOR COVER: REPLACEMENT OF EXTERIOR COVER ARE TO MEET STANDARDS OF CBC 707A.3.

ROOFING: CONFORM TO CBC 705A. ALL NEW ROOFING TO BE CLASS 'A' MINIMUM.

FIRE BLOCKING IS REQUIRED TO PROVIDE A SEPARATION BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, IN WALLS AT STAIR STRINGERS (TOP & BOTTOM), AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND AT OPENINGS AROUND DUCTS, VENTS, PIPES AND FLUE CHASES. FIRE BLOCKING SHALL BE PROVIDED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. CBC 717.2.2.

PRIOR TO OCCUPANCY, A SPARK ARRESTOR SHALL BE INSTALLED ON THE CHIMNEY(S) 3/8" MESH MINIMUM.

FIRE DEPARTMENT AND CITY PERSONNEL SHALL BE GRANTED ACCESS TO PRIVATE DRIVEWAYS AND PRIVATE ROADWAYS IN ORDER TO ENFORCE APPLICABLE ORDINANCES RELATED TO FIRE CODES, MUNICIPAL AND PENAL CODES PERTAINING TO MAINTAINING ROAD ACCESS FOR EMERGENCY VEHICLES.

FINAL OCCUPANCY APPROVAL SHALL NOT BE GRANTED BY THE FIRE DEPARTMENT UNLESS ALL CONDITIONS HAVE BEEN MET.

TO AVOID INSPECTION DELAYS BY THE FIRE DEPARTMENT, ALL REQUESTS MUST BE MADE AT LEAST 48 HOURS IN ADVANCE.

ALL PERMITS AND/OR INSPECTION FEES REQUIRED BY THE FIRE DEPARTMENT SHALL BE PAID IN FULL PRIOR TO FINAL OCCUPANCY BEING GRANTED.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2019 EDITIONS OF THE CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FLRE CODE, CALIFORNIA ENERGY CODE, AND CALIFORNIA GREEN BUILDING STANDARDS CODE, AS MINIMUM REQUIREMENTS, IN ADDITION TO ALL APPLICABLE LOCAL AMENDMENTS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL BUILDING SYSTEMS INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, STRUCTURAL, LANDSCAPE/DRAINAGE, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE SUPPRESSION SYSTEMS, WITH PARTICULAR ATTENTION PAID TO THE COORDINATION OF FRAMING WITH ELECTRICAL & MECHANICAL SYSTEMS.

3. THE GENERAL CONTRACTOR SHALL CALL FOR ALL ARCHITECTURAL, STRUCTURAL AND GOVERNMENTAL INSPECTIONS AS REQUIRED, AND AS IN THE SPECIFICATIONS. PROVIDE 10 DAY MIN. NOTICE FOR ALL SITE REVIEWS BY ARCHITECT/ENGINEER.

4. OBSERVATION BY THE STRUCTURAL ENGINEER IS REQUIRED FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.

5. ALL MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND AS DESCRIBED IN THE SPECIFICATIONS. SUBSTITUTIONS OF MATERIALS OR EQUIPMENT FOR THOSE DESIGNATED MAY BE MADE ONLY UPON APPROVAL OF THE ARCHITECT.

6. THE CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. NO CLAIM FOR ADDITIONAL FEES WILL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION. DRAWINGS OF EXISTING SITE CONDITIONS ARE TO BE USED AS GUIDELINES.

7. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN VARIOUS PARTS OF THE CONSTRUCTION DRAWING SET SHALL BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH CONSTRUCTION.

8. WRITTEN DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALED DIMENSIONS AND LINE DRAWINGS. DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT FOR ADDITIONAL DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF FRAMING, OR TOP OF BEARING, U.O.N. ALL DIMENSIONS NOTED AS CLR OR CLEAR ARE FROM FINISHES. CONTRACTOR TO VERIFY ALL SPECIFIED DIMENSIONS IN THE FIELD. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.

9. CONTRACTOR SHALL REVIEW FRAMING LAYOUT IN FIELD WITH ARCHITECT PRIOR TO CONSTRUCTION.

10. WHERE DETAILS ARE NOT SPECIFICALLY INDICATED, SIMILAR DETAILS (OR DESCRIPTION) SHALL APPLY.

11. CONTRACTOR SHALL ENDEAVOR TO REDUCE CONSTRUCTION WASTE AND DISPOSE OF DEMO AND CONSTRUCTION WASTE MATERIALS AT RECYCLING AND REUSE FACILITIES WHEN POSSIBLE. SORT ALL CONSTRUCTION WASTE MATERIAL FOR RECYCLING (SEPARATE PILES FOR DIFFERENT TYPES OF MATERIALS) AND HAUL TO APPROPRIATE WASTE RECYCLING FACILITIES. THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AT THE END OF THE JOB AND DISPOSE OF IT LEGALLY, CLEAN ALL NEW WINDOWS, AND LEAVE THE JOB BROOM CLEAN.

12. WHEN STAKING BY A LICENSED LAND SURVEYOR IS NOT REQUIRED BY THE AUTHORITY HAVING JURISDICTION, CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING PRIOR TO CONSTRUCTION TO ESTABLISH FOUNDATION LOCATION AND VERIFY FOUNDATION LOCATION ACCURATELY REFLECTS SITE PLAN REQUIREMENTS.

13. REFER TO THE GEOTECHNICAL REPORT, DATED JULY 25, 2015, PREPARED BY EARTH INVESTIGATIONS CONSULTANTS, INC. ALL WORK TO CONFORM TO THE SITE WORK, DRAINAGE AND FOUNDATION RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

14. REFER TO TITLE 24 ENERGY COMPLIANCE CALCULATIONS PREPARED BY NRG COMPLIANCE. PROJECT TO CONFORM TO MIN. REQUIREMENTS SHOWN IN REPORT BUT IN MOST CASES DRAWINGS AND SPECS SHOW HIGHER LEVELS OF COMPLIANCE.

15. THE CONSTRUCTION SITE MUST BE MAINTAINED IN A RESPONSIBLE MANNER. EVERY EFFORT SHOULD BE MADE TO LOCATE PORTABLE TOILETS, CONSTRUCTION MATERIALS, STORAGE CONTAINERS, AND EQUIPMENT ON PRIVATE PROPERTY AND SCREENED FROM NEIGHBORS AND THE STREET. ALL HAZARDOUS MATERIALS MUST BE STORED IN A SECURE LOCATION AND PER MANUFACTURERS INSTRUCTIONS.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEFERRED SUBMITTALS WITH THE AUTHORITY HAVING JURISDICTION.

17. SIDING UNDERLAYMENT: FOR ALL WOOD, COMPOSITE WOOD OR CEMENT BOARD SIDING PROVIDE UNDERLAYMENT OF 1/2" DENS-SHIELD OR EQUAL TO PROVIDE FIRE PROTECTION PER LOCAL BUILDING DEPARTMENT REQUIREMENTS. VERIFY REQUIREMENTS WITH INSPECTOR AS REQUIREMENTS CAN VARY PER LOCAL JURISDICTION.

18. UNLESS OTHERWISE NOTED, ALL DOOR AND WINDOW SIZES INDICATED IN PLANS AND ELEVATIONS ARE NET SIZES (AS OPPOSED TO ROUGH OPENINGS). CONTRACTOR IS TO BUILD FROM FINAL, APPROVED LIST OF ROUGH OPENINGS PROVIDED BY MANUFACTURER.

19. PRIOR TO ORDERING ANY PRODUCTS OR MATERIALS, ARCHITECT SHALL REVIEW AND PROVIDE EXPLICIT WRITTEN SIGN OFF.

20. NOTE: MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION

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architecture
landscapes
APN # 072-023-15
BELL RESIDENCE
2 POMEROY ROAD ROSS, CA
GENERAL PROJECT NOTES
DATE: 09/30/22 ISSUE: PERMIT
11/08/22 PLAN CHECK
SHEET NO. 1 A0.1

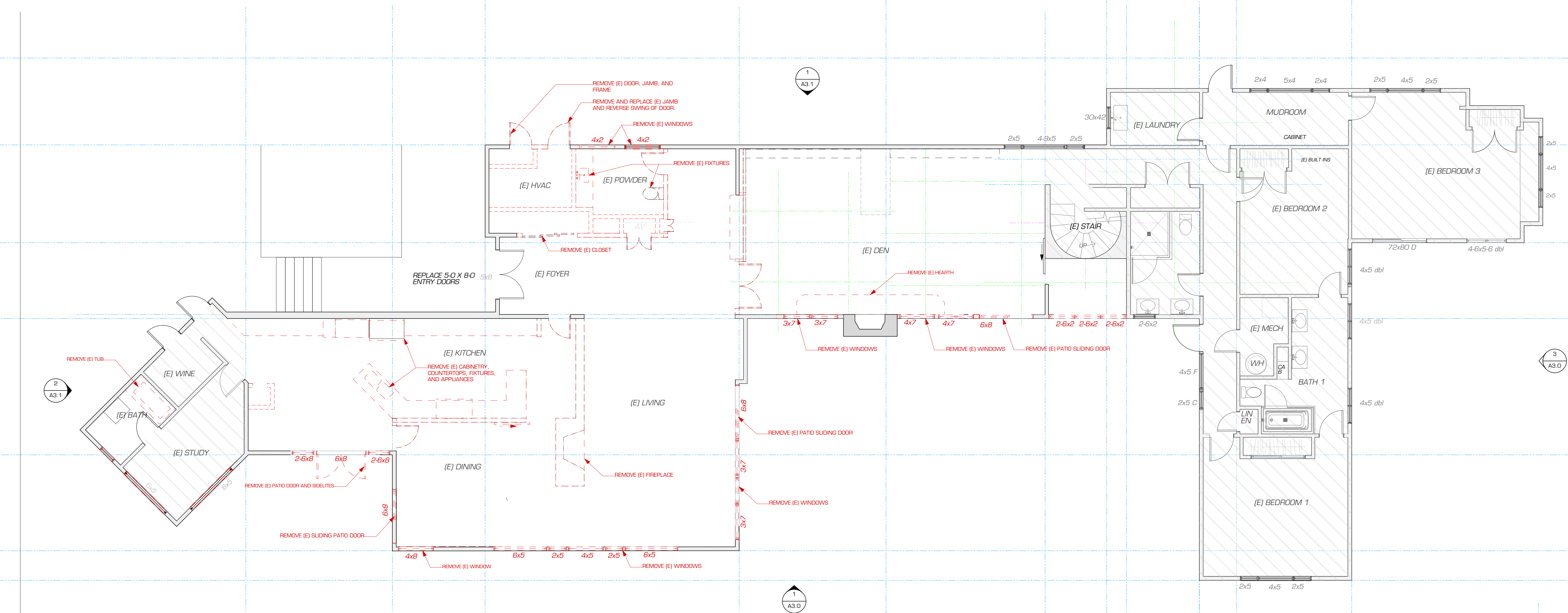


APN # 072-023-15

BELL RESIDENCE
 2 POMEROY ROAD ROSS, CA
 FLOOR PLAN (E)

DATE: 09/15/22 ISSUE: DESIGN
 11/08/22 PLAN CHECK

SHEET NO. A 1.0

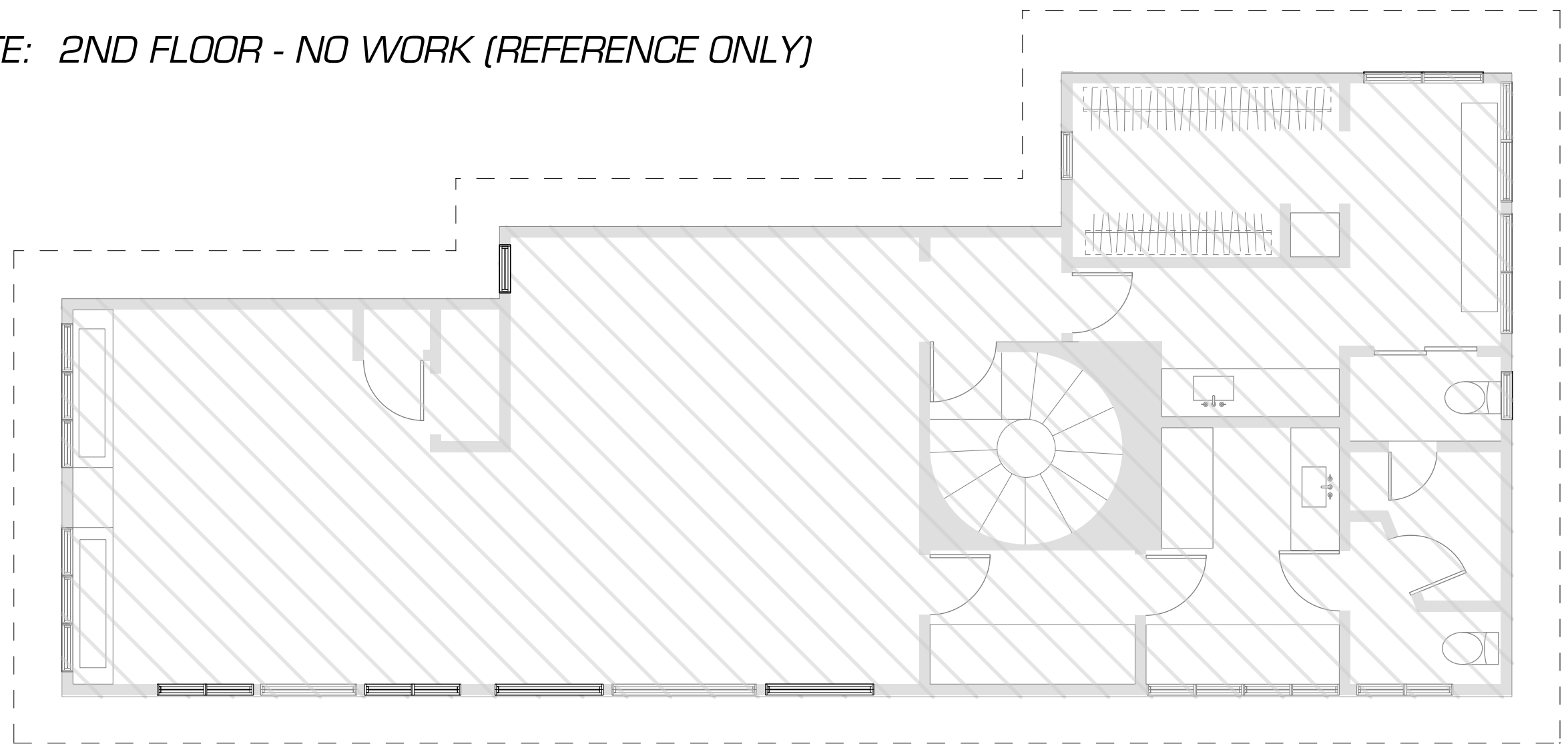


1 (E) MAIN FLOOR / DEMOLITION PLAN
 3/16" = 1'

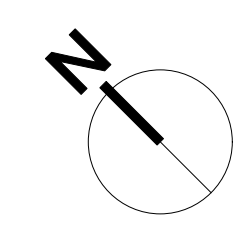
FLOOR PLAN LEGEND

	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) 2x WOOD FRAMED WALL
	EGRESS WINDOW REFER TO WINDOW NOTES FOR REGTS.
	HOSE BIBB
	GAS SHUT-OFF
	GAS METER LOCATION
	AREA NO WORK

NOTE: 2ND FLOOR - NO WORK (REFERENCE ONLY)



2 (E) SECOND FLOOR PLAN - NO WORK (FOR REFERENCE ONLY)
 3/16" = 1'

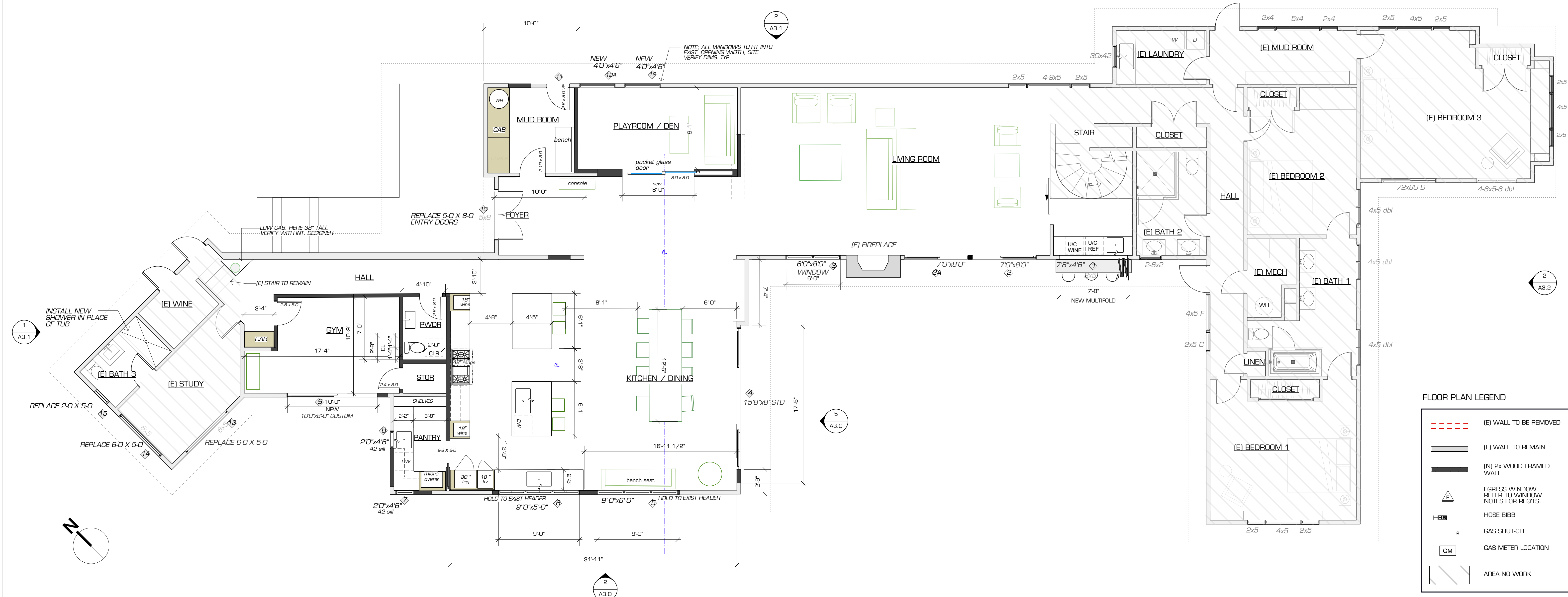




APN # 072-023-15

BELL RESIDENCE
 2 POMEROY ROAD ROSS, CA
 PROPOSED MAIN FLOOR PLAN

DATE: 09/30/22 ISSUE: PERMIT
 11/08/22 PLAN CHECK
 SHEET NO. **A 2.0**



FLOOR PLAN LEGEND

- (E) WALL TO BE REMOVED
- (E) WALL TO REMAIN
- (N) 2x WOOD FRAMED WALL
- EGRESS WINDOW REFER TO WINDOW NOTES FOR REGTS.
- HOSE BIBB
- GAS SHUT-OFF
- GM GAS METER LOCATION
- AREA NO WORK

1 PROPOSED MAIN FLOOR PLAN
 3/16" = 1"

GENERAL REQUIREMENTS

EXTERIOR OPENINGS:

A. EXTERIOR OPENING PROTECTION: AIR EXHAUST & INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES HAVING AN OPENING SIZE OF NOT LESS THAN 1/4" & A MAXIMUM OPENING SIZE 1/2" IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS. OUTDOOR AIR EXHAUST & INTAKE OPENINGS SHALL MEET THE PROVISIONS FOR EXTERIOR WALL OPENING PROTECTION IN ACCORDANCE WITH THIS CODE. CRC R303.6

B. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES @ EXTERIOR WALLS SHALL BE PROTECTED AGAINST PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONC, MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

PLUMBING REQUIREMENTS

GENERAL PLUMBING CRITERIA

- P1. ALL PLUMBING CLEANOUTS SHALL BE LOCATED WITHIN 20 FT. OF A CRAWLSPACE ACCESS POINT OR WILL BE RUN TO THE NEAREST OUTSIDE WALL.
- P2. PROVIDE APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES AT ALL NEW HOSEBIBS PER CPC SECTION 603.4.7.
- P3. IF A PRESSURE REGULATOR OR ANY DEVICE THAT PREVENTS PRESSURE RELIEF THROUGH THE BUILDING SUPPLY IS INSTALLED, AN EXPANSION TANK IS REQUIRED FOR THE WATER TANK
- P5. NO BUILDING SEWER OR OTHER DRAINAGE PIPE, OR PART THEREOF CAN BE CONSTRUCTED OF MATERIALS OTHER THAN CAST IRON, COPPER, STAINLESS STEEL 316L, SCHEDULE 40 ABS, DWV, SCHEDULE 40 PVC DWV, OR EXTRA STRENGTH VITRIFIED CLAY PIPE WHEN INSTALLED UNDER OR WITHIN 2' OF ANY BUILDING OR STRUCTURE, OR LESS THAN 1' BELOW THE SURFACE OF THE GROUND. THE MINIMUM DEPTH OF THE BUILDING SEWER IS 12" BELOW GRADE TO THE TOP OF THE PIPE. GALVANIZED STEEL, GALVANIZED WROUGHT IRON AND STAINLESS STEEL 304 CANNOT BE USED UNDERGROUND AND MUST BE AT LEAST 6" ABOVE GROUND. CPC 701.1
- P7. PLASTIC PIPE AND FITTINGS, OTHER THAN THOSE USED FOR GAS, SHALL MEET THE REQUIREMENTS OF NATIONAL SANITATION FOUNDATION 14.
- P8. ALL PIPE, TUBE, FITTINGS, SOLVENT CEMENT THREAD SEALANT, SOLDER, AND/OR FLUX USED IN POTABLE WATER SYSTEMS INTENDED TO SUPPLY DRINKING WATER SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF NATIONAL SANITATION FOUNDATION 61.

TOILET DESIGN CRITERIA

- P11. TOILET WATER CLEARANCE REG'TS — SIDE MUST BE 30" CLEAR, AND 15" CLEAR TO WALLS ON EITHER SIDE MEASURED FROM CENTERLINE.
- P12. MIN FLOOR CLEARANCE OF 24 INCHES REQUIRED FROM RIM OF TOILET TO ANY BARRIER

CAL GREEN WATER FLOW RATE REG'TS:

NEW INSTALLATION FLOW RATES:
 PER CAL GREEN 4.303.1
 NEWLY INSTALLED PLUMBING FIXTURES SHALL BE WATER-CONSERVING IN COMPLIANCE WITH THE CALGREEN BUILDING & PLUMBING CODES.

- WATER CLOSETS SHALL NOT EXCEED 1.28 GPF
- SHOWERHEADS SHALL NOT EXCEED 1.8 GPM (SEE NOTES BELOW FOR MULTIPLE HEADS)
- LAV FAUCETS SHALL NOT EXCEED 1.2 GPM
- KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM

EXISTING FIXTURES:
 EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL LIKEWISE BE REPLACED (IF NECESSARY) IN ORDER TO COMPLY AS FOLLOWS:

- WATER CLOSETS AT 1.28 GPF
- SHOWERHEADS AT 1.8 GPM
- LAVATORY FAUCETS AT 1.2 GPM
- KITCHEN FAUCETS AT 1.8 GPM

PLUMBING FIXTURES AND FITTINGS

REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, & SHALL MEET THE APPLICABLE REFERENCED STANDARDS.

BATHROOMS:

EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL AND SHALL COMPLY WITH THE FOLLOWING: (CRCR303.3.1)

- A. BATHROOM EXHAUST FANS SHALL COMPLY WITH CALGREEN SECTION 4.506.1 REQUIREMENTS.
- B. EACH BATHROOM IS REQUIRED TO HAVE A DEDICATED EXHAUST FAN DUCTED TO THE OUTSIDE.
- C. IF THE BATHROOM IS EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN THE MINIMUM VENTILATION RATE OF 50 CFMS IS REQUIRED, ENERGY STAR COMPLIANT, WITH HUMIDITY CONTROL.
- D. IF THE BATHROOM IS EQUIPPED WITH CONTINUOUS OPERATED EXHAUST FAN IT MUST OPERATE AT A MINIMUM VENTILATION RATE OF 20 CFMS.
- E. THE EXHAUST FANS ARE TO BE OPERATED BY THE OCCUPANT, USUALLY A WALL SWITCH OR SOME OTHER TYPE OF CONTROL (OCCUPANCY SENSOR) THAT IS ACCESSIBLE AND OBVIOUS. NOTE THAT THE EXHAUST FAN CONTROL MUST BE SWITCHED SEPARATELY FROM ANY LIGHT.
- F. BATHROOM EXHAUST (FAN)S MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE PER CGS 4.506.1
- G. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT IN).
- H. WATER CLOSET COMPARTMENTS NOT EQUIPPED WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQUARE FEET SHALL HAVE MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CFM. (CRC R303.3)
- J. EXHAUST FAN SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. (CBCES SEC. 150.Q(K)2B)

ENERGY COMPLIANCE PLUMB'G & MECH:

- EN1. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.0 (J)2III
- EN2. ALL HOT WATER PIPES FROM THE HEATING SOURCE TO ALL FIXTURES SHALL BE INSULATED W/ CONTINUOUS R6 FOAM INSULATION @ ALL ACCESSIBLE AREAS
- EN3. HOUSE MUST COMPLY WITH THE FOLLOWING PER THE 2019 RESIDENTIAL COMPLIANCE MANUAL 150.Q(N):
 - A. A GAS SUPPLY LINE WITH THE CAPACITY TO PROVIDE A MINIMUM OF 200,000 BTU/HR TO THE WATER HEATER SHALL BE INSTALLED.
 - B. A CATEGORY III, IV, OR A TYPE B VENT WITH A STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS LOCATED SHALL BE INSTALLED.
 - C. A CONDENSATE DRAIN THAT IS A MAXIMUM OF TWO (2) INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER THAT ALLOWS NATURAL DRAIN WITHOUT PUMP ASSISTANCE SHALL BE INSTALLED.

HVAC REQUIREMENTS

- REGISTERS:**
 1. ALL SUPPLY AND RETURN AIR REGISTER LOCATIONS MUST BE APPROVED BY DESIGNER PRIOR TO INSTALLATION
 2. PROVIDE SUBMITTALS OF ALL GRILLS FOR APPROVAL.

DUCT SYSTEMS:
 DUCT SYSTEMS ARE SIZED & DESIGNED & EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 1) ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ANSI / ACCA 2 MANUAL J-2016 OR EQUIVALENT
 2) SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2016 OR EQUIVALENT.
 3) SELECT HEATING & COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT.

HVAC SYSTEM TESTING:

- 1) RESIDENTIAL HVAC SYSTEMS BOTH EXISTING AND NEW AND PARTS THEREOF SHALL BE INSPECTED IN ACCORDANCE WITH ACCA 4 QM.
- 2) THE OWNER OR THE OWNER'S DESIGNATED AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF MECHANICAL SYSTEMS AND EQUIPMENT. TO DETERMINE COMPLIANCE WITH THIS SUBSECTION, THE AHJ SHALL BE PERMITTED TO CAUSE AN HVAC SYSTEM TO BE REINSPECTED. CMC 102.4.2
- 3) HVAC SYSTEM INSTALLERS TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

HVAC UNIT LOCATION NOTES:

- A. SERVICE OUTLET: PROVIDE A 120V RECEPTACLE WITHIN THE AREA OF THE HVAC UNIT, LESS THAN 25 FEET AWAY. (CMC 908)(CEC 210.63)
- B. LIGHTING: PROVIDE LIGHTING FIXTURE NEAR THE HVAC SYSTEM, WITH A SWITCH AT THE ACCESS OPENING (CMC 908) (CEC 210.63)
- C. PROVIDE HIGH AND LOW VENTS IN MECHANICAL SPACE FOR COMBUSTION AIR REG'TS.
- D. PROVIDE INDOOR COMBUSTION AIR MECHANICAL EQUIPMENT AS REQUIRED PER CMC SECTION 701.

MECH. SYSTEM AIR FILTERS:

MECHANICAL SYSTEM AIR FILTERS SHALL HAVE A DESIGNATED EFFICIENCY EQUAL TO OR GREATER THAN MERV 13. SYSTEMS SHALL BE EQUIPPED WITH AIR FILTERS THAT MEET EITHER SUBSECTION I OR II BELOW I) NOMINAL 2" MIN. DEPTH FILTER(S); OR II) NOMINAL ONE INCH MIN. DEPTH FILTER(S) SHALL BE ALLOWED IF THE FILTER(S) ARE SIZED ACCORDING TO EQUATION 120.1-A, BASED ON A MAXIMUM FACE VELOCITY OF 150 FT./MIN.

ATTIC ACCESS:

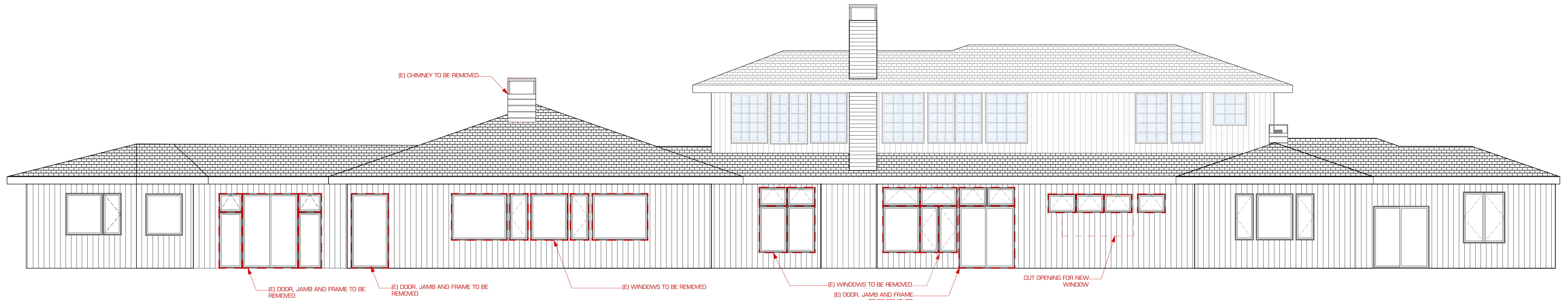
PROVIDE MIN 18" X 24" CEILING ACCESS MEASURED AT ROUGH OPENING. IF MECH. UNIT IS INSTALLED IN ATTIC, ROUGH OPENING MUST BE 24" X24" OR LARGER THAN THE UNIT.

WHOLE-BUILDING VENTILATION:

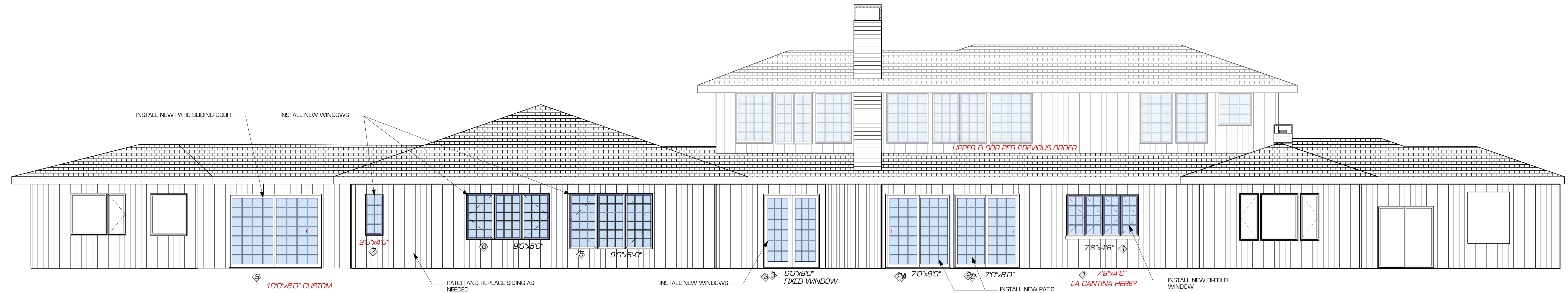
IN ADDITION TO THE BATHROOM AND KITCHEN EXHAUST FAN, AN EXHAUST FAN SHALL BE SIZED TO PROVIDE VENTILATION FOR THE WHOLE HOUSE.
 THE CONDITIONED FLOOR AREA AND THE NUMBER OF BEDROOMS IN THE HOME WILL DETERMINE THE MINIMUM VENTILATION RATE.
 PLEASE SEE EQUATION 4-1, TABLE 4-14, FOR CONTINUOUS WHOLE-BUILDING VENTILATION RATE AND EQUATION 4-7, AND TABLE 4-15 FOR INTERMITTENT FAN OPERATION OF THE 2019 RESIDENTIAL ENERGY MANUAL FOR METHODS TO BE USED FOR CALCULATING THE REQUIRED VENTILATION RATE IF WHOLE-BUILDING FAN IS CONTINUOUS OPERATION OR INTERMITTENT FAN OPERATION.
 HVAC CONTRACTOR SHALL PROVIDE CALCULATIONS, VENTILATION REQUIREMENTS, AND INDICATED FAN(S) THAT ARE INTENDED TO MEET THE WHOLE-BUILDING VENTILATION REQUIREMENTS, AT 15T INSPECTION

KITCHEN EXHAUST HOOD

- THE KITCHEN EXHAUST SYSTEM MUST COMPLY WITH ASHRAE 62.2 REQUIREMENTS.
- (A) THE KITCHEN RANGE HOOD MUST BE HVI RATED & LIMITED TO 3 SONE. THE MIN. AIRFLOW AS SPECIFIED BY ASHRAE 62.2 IS ALSO REQUIRED.
- (B) EACH KITCHEN IS REQUIRED TO HAVE A DEDICATED EXHAUST FAN DUCTED TO THE OUTSIDE.
- (C) IF THE KITCHEN IS EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN A MINIMUM VENTILATION RATE OF 100 CFMS IS REQUIRED. PROVIDE A MINIMUM 100 CFM VENTED TO EXTERIOR OF BUILDING, AS REQUIRED PER CMC SECTION 504.5.
- (D) IF THE KITCHEN IS EQUIPPED WITH CONTINUOUSLY OPERATING KITCHEN FAN THE FAN MUST OPERATE AT 5 AIR CHANGES PER HOUR.
- (E) THE RANGE HOOD OVER THE STOVE MAY COMPLY WITH VENTED TO THE OUTSIDE AND HAS A MINIMUM VENTILATION RATE OF 100 CFM.



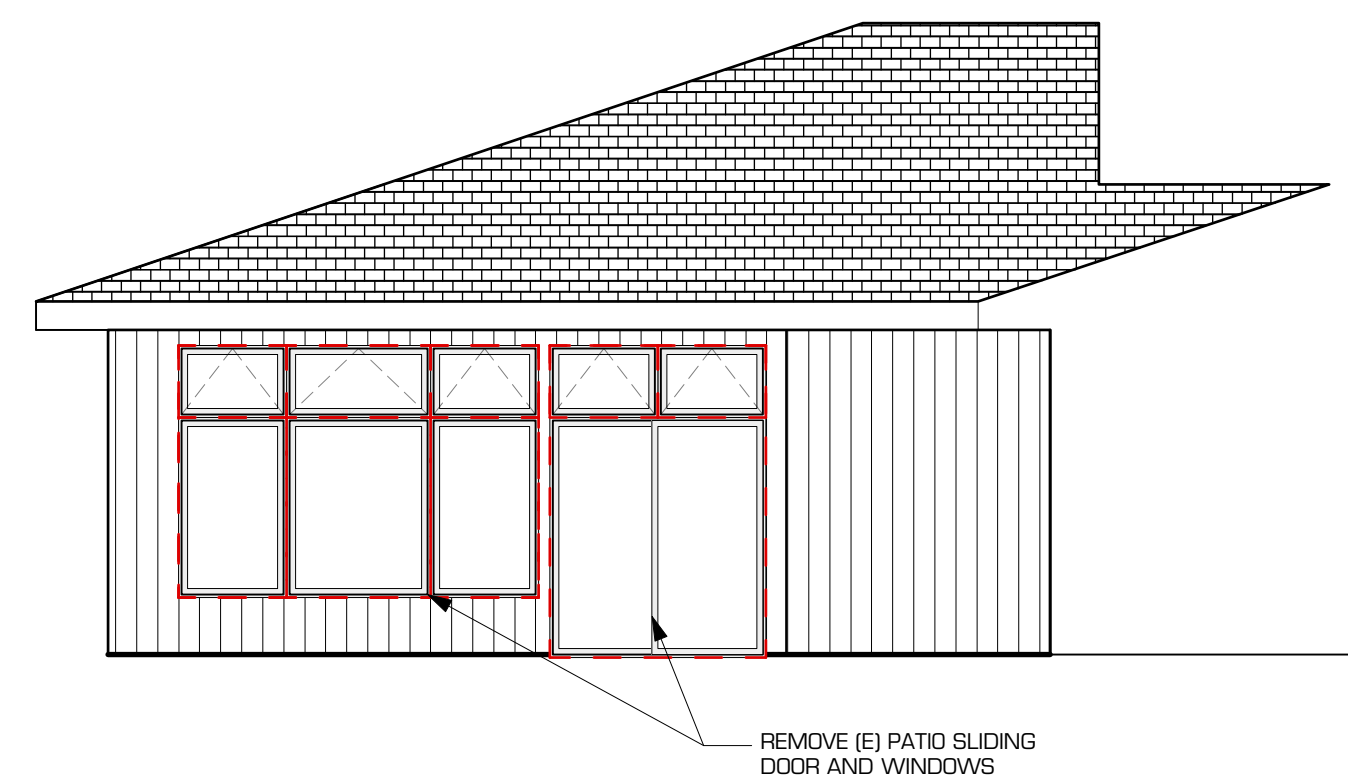
1 (E) SOUTH ELEVATION
3/16" = 1'



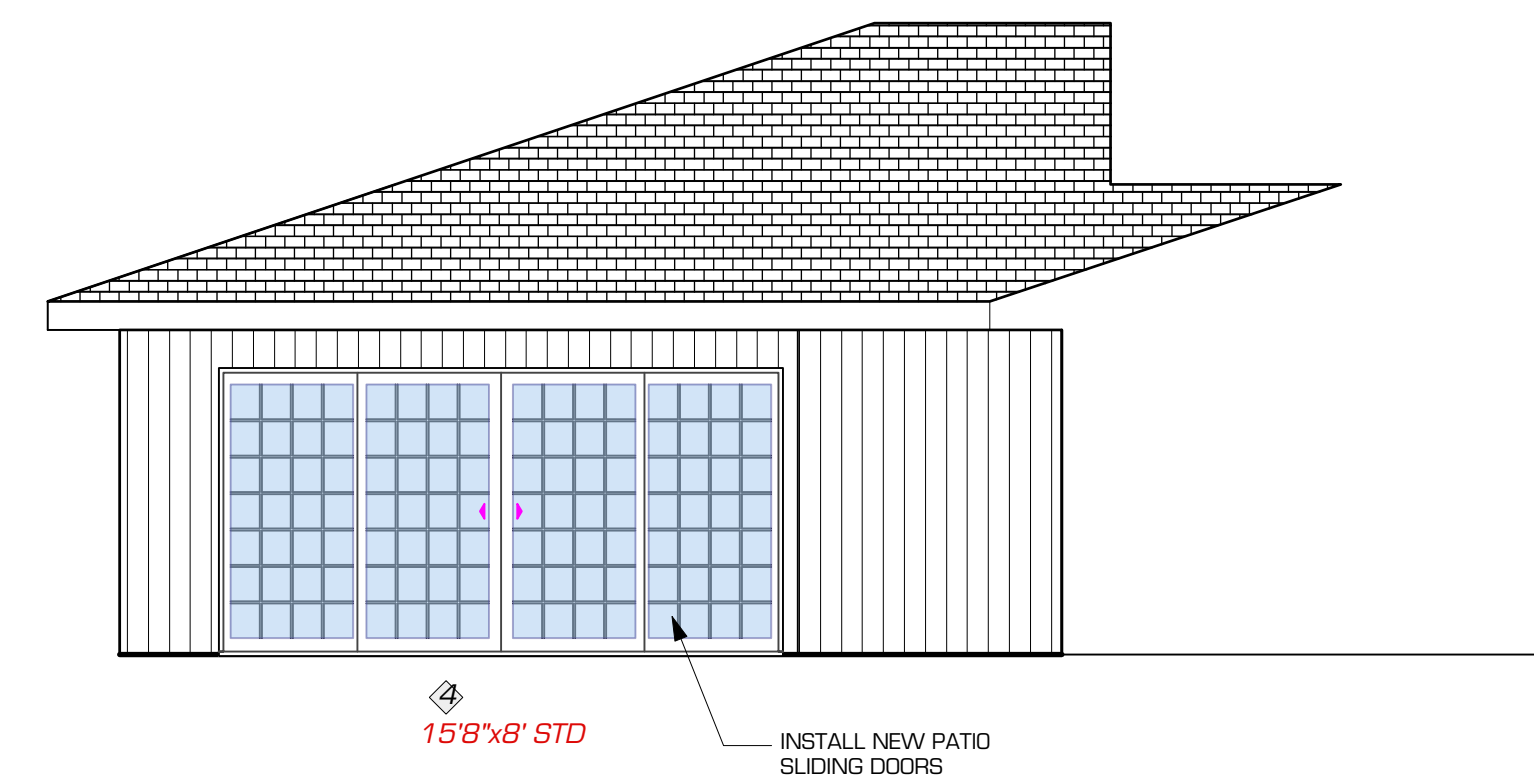
2 (N) SOUTH ELEVATION
3/16" = 1'



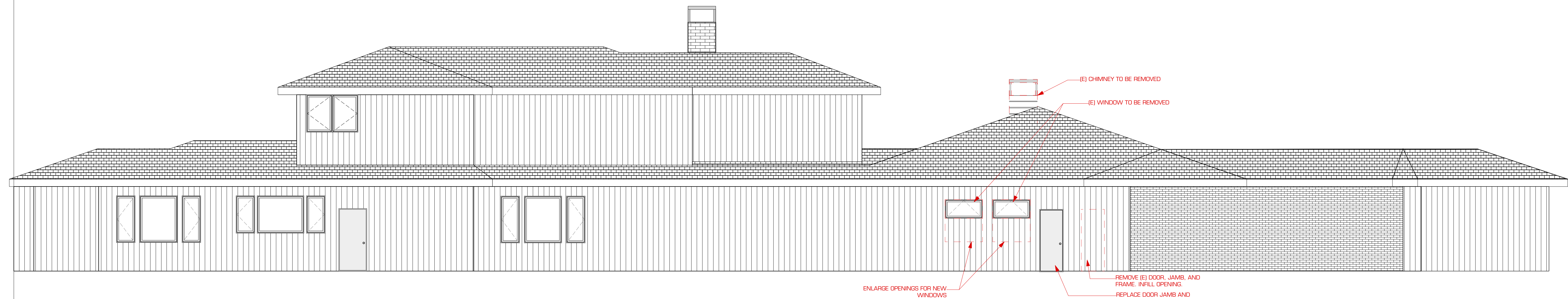
3 (E) EAST ELEVATION
3/16" = 1'



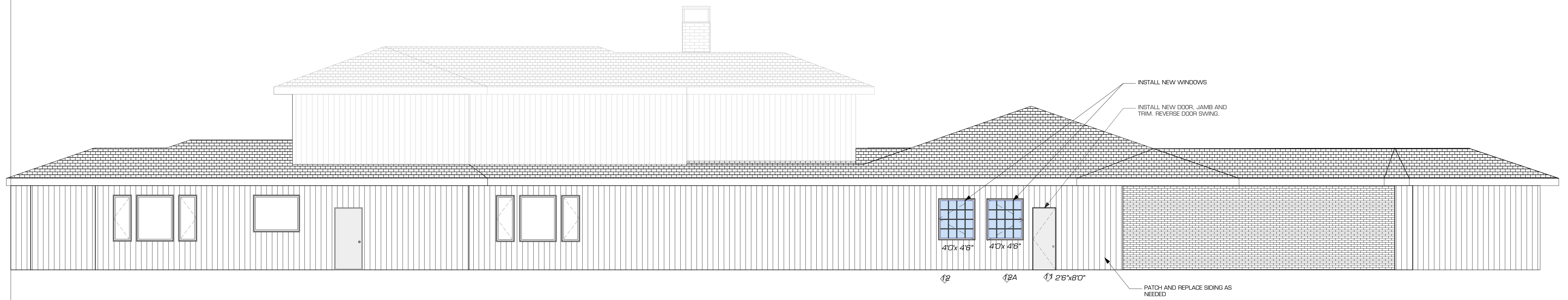
4 (E) PATIO EAST ELEVATION
3/16" = 1'



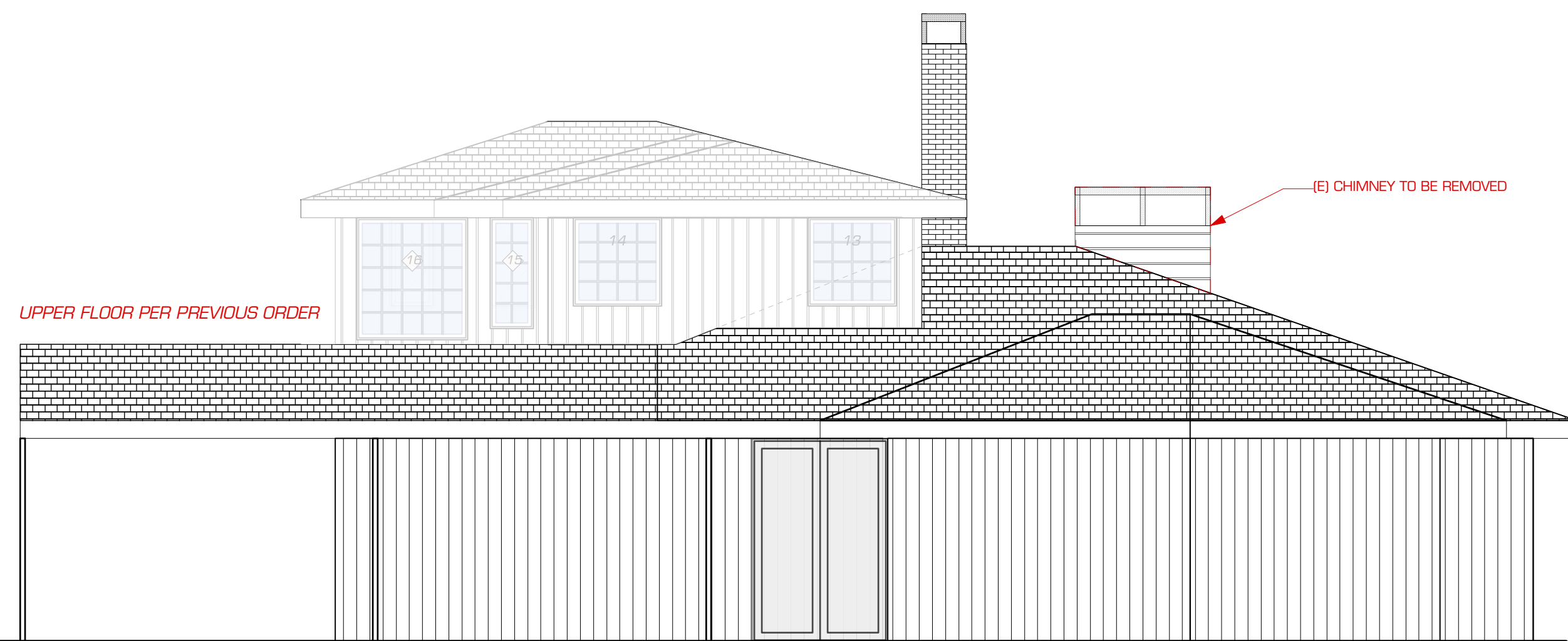
5 (N) PATIO EAST ELEVATION
3/16" = 1'



4 (E) NORTH ELEVATION
3/16" = 1'



2 PROPOSED NORTH ELEVATION
3/16" = 1'

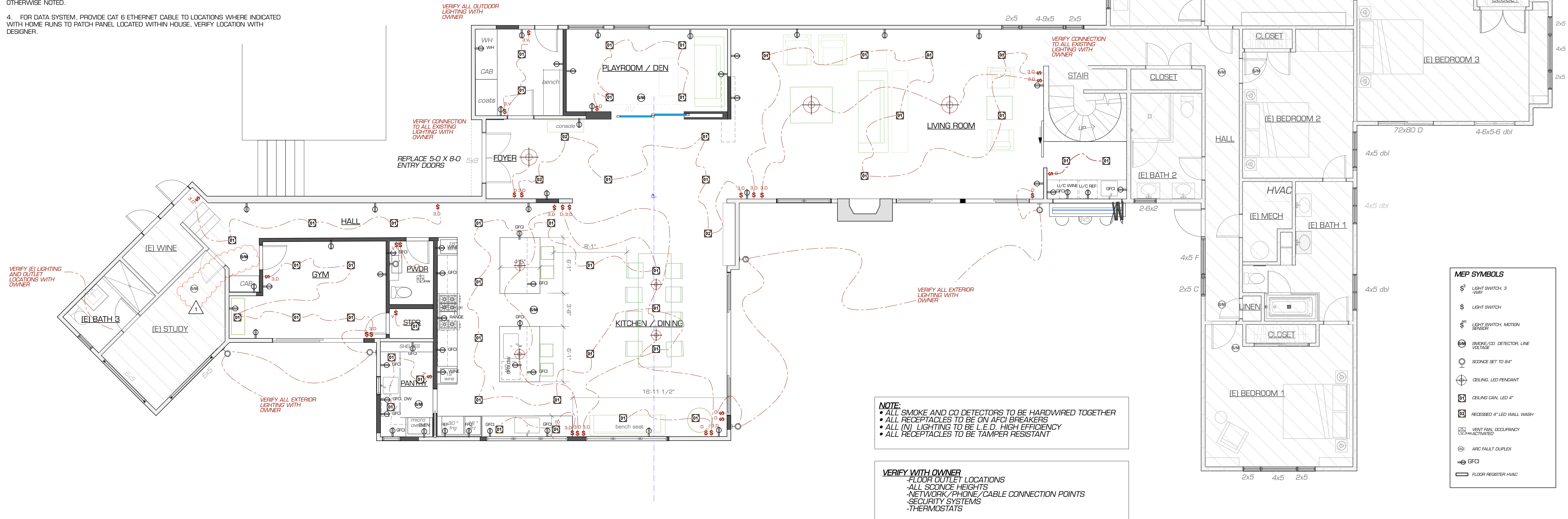


1 (E) WEST ELEVATION
3/16" = 1'



GENERAL LIGHTING & SWITCHING LAYOUT INFO:

- CENTER FIXTURES IN ROOM AND WALL U.O.N.
- PROVIDE BACKING FOR ALL EXTERIOR FIXTURES AND SCONCES WHERE INDICATED.
- ALL SWITCHES TO BE 48" ABOVE FINISHED FLOOR TO CENTER OF DEVICE UNLESS OTHERWISE NOTED.
- FOR DATA SYSTEM, PROVIDE CAT 6 ETHERNET CABLE TO LOCATIONS WHERE INDICATED WITH HOME RUNS TO PATCH PANEL LOCATED WITHIN HOUSE. VERIFY LOCATION WITH DESIGNER.



1 RCP / MEP
1/4" = 1'

RCP LIGHTING & ELECTRICAL SHEET NOTES:

GENERAL ELECTRICAL SAFETY SPECIFICATIONS

- ALL 125-VOLT, 15 AND 20 AMP RECEPTACLES IN THE DWELLING SHALL BE TAMPER-RESISTANT FOR ALL LOCATIONS. CEC 406.12
- RECESSED LIGHT FIXTURES SHALL BE LISTED FOR IN-CONTACT (IC) WITH INSULATION AND OF AIR-TIGHT CONSTRUCTION AND SEALED AT CEILING LEVEL, AS REQUIRED PER CALIFORNIA ENERGY CODE.
- ALL RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UL, OR APPROVED TESTING AGENCY.
- LED LIGHTS MUST HAVE AN INTEGRAL HEAT SINK AND THE SPECIFIC BRAND AND PRODUCT MODEL MUST BE ON THE DRAWINGS AND THE CALIFORNIA ENERGY COMMISSION CERTIFICATION MUST BE PROVIDED TO THE TOWN. IF A CERTIFICATION CANNOT BE PROVIDED, THE LED LIGHT MAY NOT BE CONSIDERED AS LOW EFFICACY.
- CLOTHES CLOSETS FIXTURE CLEARANCES SHALL CONFORM TO CEC 410.6: CLOSET LIGHTS SHALL BE FLUORESCENT, HAVE A SEALED LENS, OR LED LISTED FOR STORAGE AREA. (CEC 410.16) INCANDESCENT FIXTURES WITH OPEN OR PARTIALLY ENCLOSED LAMPS AND PENDANT FIXTURES OR LAMP HOLDERS ARE NOT ALLOWED.
- FIXTURES LOCATED OVER TUBS/SHOWERS AND ALL EXTERIOR LIGHT FIXTURES AND SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS."

CIRCUIT SAFETY & LOAD LIMITATION SPEC'S

1. ARC-FAULT INTERRUPTER CIRCUIT PROTECTION:

ARC-FAULT CIRCUIT INTERRUPTER PROTECTION SHALL MEET 2019 CEC ARTICLE 210.12(A) REQUIREMENTS FOR ALL 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY, DINING, LIVING, RECREATION AND SUNROOMS, CLOSETS, HALLWAYS, ETC.

ALL 120-VOLT, SINGLE PHASE, 15- & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT: KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12 (B)

2. GFCI-GROUND FAULT CIRCUIT INTERRUPT:

A GROUND FAULT CIRCUIT INTERRUPTER (GFCI) IS REQUIRED FOR ALL 15 AND 20AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, (INCLUDING THE GARAGE DOOR OPENER RECEPTACLE), ACCESSORY BUILDINGS, OUTDOORS, IN UNFINISHED BASEMENTS, UNDER-FLOOR AREAS, LAUNDRY, UTILITY, AND KITCHEN COUNTER TOPS AND WITHIN 6' OF A BAR SINK. CEC 210.8

3. DEDICATED 20 AMP CIRCUITS, PER 2019 CEC 210.11 (3)

- WITH NO OTHER OUTLETS ON THE CIRCUIT, PROVIDE AT LEAST ONE SEPARATE 20 AMP CIRCUIT FOR:
- KITCHEN COUNTERTOP SMALL APPLIANCES, PROVIDE (2) MIN.
 - PROVIDE ONE EACH FOR REFRIGERATOR, MICROWAVE, GARAGE DISPOSAL, RANGE HOOD AND DISHWASHER.
 - LAUNDRY ROOM APPLIANCES

- PROVIDE A SEPARATE 20 AMP CIRCUIT FOR BATH RECEPTACLES OR A DEDICATED 20 AMP CIRCUIT FOR EACH BATHROOM, AS REQUIRED PER CEC ARTICLE 210.11(C)(3).

ANY EXCEPTIONS MUST MEET THE REQ'TS OF 2019 CEC 210.23 (A) (1) AND (A) (2)

BRANCH CIRCUIT REQUIREMENTS (PER CEC 210):

- KITCHEN BRANCH CIRCUITS, INCLUDING DISHWASHERS AND DISPOSALS, SHALL COMPLY WITH CEC ARTICLE 210.59 REQUIREMENTS.
- SMALL APPLIANCE BRANCH CIRCUITS SERVING KITCHEN COUNTERS SHALL COMPLY WITH CEC ARTICLE 210.11(C)(1) REQUIREMENTS.
- LAUNDRY BRANCH CIRCUITS SHALL COMPLY WITH CEC ARTICLE 210.11(C)(2) REQUIREMENTS.
- PROVIDE A SEPARATE 20 AMP CIRCUIT FOR BATH RECEPTACLES OR A DEDICATED 20 AMP CIRCUIT FOR EACH BATHROOM, AS REQUIRED PER CEC ARTICLE 210.11(C)(3).

SMOKE ALARMS (CRC 314.1 THRU 314.5)

- SMOKE DETECTORS WILL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH R314.3:
 - IN EACH SLEEPING ROOM
 - OUTSIDE OF ALL SLEEPING ROOMS CENTRALLY LOCATED IN THE CORRIDOR
 - OVER THE CENTER OF ALL STAIRWAYS
 - MINIMUM ONE UNIT PER STORY OF THE OCCUPIED PORTION OF THE RESIDENCE
- FOR TRAY-SHAPE CEILINGS (COFFERED CEILINGS), SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED ON THE HIGHEST PORTION OF THE CEILING OR ON THE SLOPE PORTION OF THE CEILING WITHIN 12-INCHES VERTICALLY DOWN FROM THE HIGHEST POINT.
- SMOKE DETECTORS SHALL BE PROVIDED WITH AC POWER, MUST RECEIVE THEIR 120V POWER FROM THE HOUSE PRIMARY WIRING WITH BATTERY BACKUP AND SHALL EMIT A SIGNAL WHEN BATTERY IS LOW (PER CRC 314.4)
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, IT SHALL BE INTERCONNECTED IN SUCH A MANNER SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS. (CRC R314.5)

CARBON MONOXIDE ALARMS REQ'TS (CRC R315.1 TO R315.2.6):

- CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN EXISTING DWELLINGS WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITION EXCEEDS ONE THOUSAND DOLLARS. CO ALARMS SHALL BE LOCATED OUTSIDE OF EACH DWELLING UNIT SLEEPING ARE IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- PROVIDE FOR ANY DWELLING WITH A FUEL-BURNING APPLIANCE OR WITH AN ATTACHED GARAGE, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE IMMEDIATE VICINITY OF ANY BEDROOM AND ON EVERY LEVEL INCLUDING BASEMENTS.
- IN NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL. (PER CRC 315.2.4)
- WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS IN THE UNIT.
- CARBON MONOXIDE ALARMS ARE NOT REQUIRED IF THERE IS NO FUEL-BURNING APPLIANCES AND WHERE THE GARAGE IS DETACHED FROM THE HOUSE.
- ALARMS MUST BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

RECEPTACLE SPACING —GENERAL PER CEC ARTICLE 210.52(C)(1) REQ'TS

- AT LEAST ONE RECEPTACLE MUST BE LOCATED WITHIN 36" OF ANY SINK.
- ANY RECEPTACLE(S) IN BATHROOM MUST BE GFI PROTECTED.
- PROVIDE DUPLEX RECEPTACLES ON ANY WALLS >2' IN HABITABLE ROOMS. SPACING BETWEEN RECEPTACLES NOT TO EXCEED 12' O.C.
- PROVIDE DUPLEX RECEPTACLES ON ANY WALLS >10' IN HALLWAYS.
- SWITCHED LIGHTING OUTLETS REQ'D. IN ALL STORAGE AND UTILITY AREAS, ATTICS, AND CRAWL SPACES WITH EQUIPMENT, PROVIDE NEW FLUORESCENT DOME LIGHT MIN. 40 LUMENS PER WATT PER CEC SUBCHAPTER 7, 150 (K).
- GENERAL PURPOSE RECEPTACLE OUTLETS SHALL BE SPACED NO MORE THAN 6 FEET FROM ANY POINT 18" ALONG FLOOR LINE, AS REQUIRED PER CEC ARTICLE 210.52(A)(1).

RECEPTACLE SPACING —KITCHEN:

RECEPTACLES FOR COUNTER SPACES SHALL BE INSTALLED ACCORDING TO CEC ARTICLE 210.52(C) 1, 2 & 3 REQUIREMENTS.

- WALL SPACE 12 INCHES OR WIDER. RECEPTACLES MUST BE INSTALLED SO THAT NO POINT ALONG THE COUNTER WALL SPACE IS MORE THAN 2 FEET (MEASURED HORIZONTALLY) FROM A RECEPTACLE OUTLET.
- ISLAND COUNTERTOP SPACE: THIS SECTION MANDATES ONLY ONE RECEPTACLE TO BE INSTALLED AT EACH ISLAND COUNTERTOP THAT HAS A LONG DIMENSION OF 24 INCHES OR GREATER, AND A SHORT DIMENSION OF 12' OR GREATER. PER CEC ARTICLE 210.52(C)2
- PENINSULAR COUNTERTOP SPACE: THIS SECTION MANDATES ONLY ONE RECEPTACLE TO BE INSTALLED AT EACH PENINSULAR COUNTERTOP THAT HAS A LONG DIMENSION OF 24 INCHES OR GREATER, AND A SHORT DIM. OF 12 INCHES OR GREATER. PER CEC ARTICLE 210.52(C) 3
- SEPARATE SPACES. WHEN BREAKS OCCUR IN COUNTERTOP SPACES (RANGES, REFRIGERATORS, SINKS, ETC.), EACH COUNTERTOP SURFACE IS CONSIDERED A SEPARATE COUNTER FOR DETERMINING RECEPTACLE PLACEMENT.
- RECEPTACLE OUTLET LOCATION. RECEPTACLE OUTLETS SHALL BE LOCATED ABOVE THE COUNTERTOP, BUT NOT MORE THAN 20 INCHES FROM THE COUNTERTOP SURFACE. (PER 2016 CEC 210.52 (C)5)
- RECEPTACLES SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS AND THEY MUST NOT BE LOCATED ON THE SIDES OF CABINETS.

RECEPTACLE SPACING — BATHROOMS:

- SPECIFY ONE 20-AMP CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS OR PROVIDE A DEDICATED 20-AMP CIRCUIT FOR EACH INDIVIDUAL BATHROOM BEING ALTERED OR ADDED. NOTE: BATH LIGHTING SHALL NOT BE ON AN OUTLET CIRCUIT. (CEC ART.210.11(C)(3))
- INDICATE AT LEAST ONE RECEPTACLE OUTLET WITHIN 3 FT OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL THAT IS ADJACENT TO THE BASIN, OR ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP. (CEC ART.210.52(D))
- SPECIFY GFCI PROTECTED OUTLETS FOR ALL BATHROOM RECEPTACLES. (CEC ART.210.8(A))
- SPECIFY THAT ALL ADDED/REPLACED 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC ART.406.12)

SUPPLEMENTAL ELEC. SHEET NOTES:

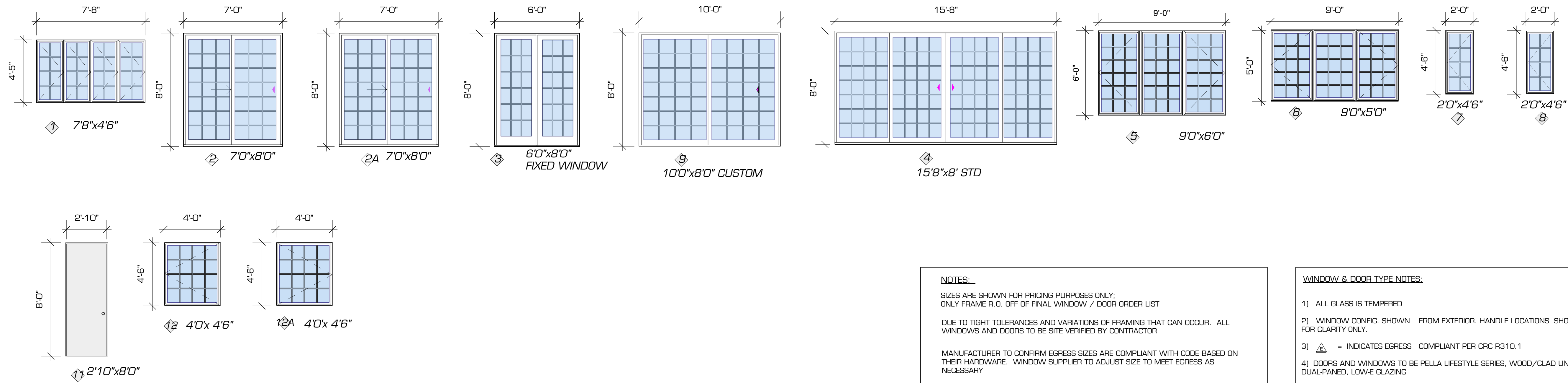
- ELECTRICAL DISCONNECTS FOR EQUIPMENT SUCH AS HVAC UNITS, SEPTIC PUMPS, ETC. SHALL BE WITHIN SIGHT OF THE EQUIPMENT AND NOT OVER 25' FROM THE UNIT. CEC 430.102(B) & CMC 903.7
- ALL 120-VOLT, SINGLE PHASE, 15- & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT: FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12 (B)
- AN INTERSYSTEM BONDING ELECTRODE WHICH INCLUDES PROVISIONS FOR CONNECTING AT LEAST THREE GROUNDING OR BONDING CONDUCTORS REQUIRED FOR COMMUNICATIONS SYSTEMS SHALL BE INSTALLED EXTERNALLY AT THE SERVICE ENTRANCE PANEL AS SPECIFIED IN CEC 800.100(B) AND CEC 250.94
- GROUNDING ELECTRODE INSTALLATION SHALL COMPLY WITH CEC ARTICLE 250.53 — TYPICALLY 2 GROUND RODS THAT ARE SPACED A MINIMUM 6 FEET APART.
- AT THE HVAC EQUIPMENT, PROVIDE A 15 OR 20 AMP RECEPTACLE AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF SAID EQUIPMENT. THE RECEPTACLE SHALL BE ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. PER CEC 210.63.

EXTERIOR LIGHTS AND RECEPTACLES:

- PROVIDE A WATERPROOF GFI RECEPTACLE WITHIN 6 FEET OF FRONT AND REAR DOOR OF HOME (WITHIN 6.5 FEET OF GRADE) CEC 210-8
- EXTERIOR LIGHTING AND RECEPTACLES SHALL MEET THE REQUIREMENTS OF 2019 CEC 210.52 (E) (3) FOR OUTDOOR OUTLETS ON BALCONIES, DECKS, AND PORCHES.
- ANY NEW EXTERIOR ELECTRICAL RECEPTACLES INSTALLED MUST BE GFCI PROTECTED, IN A WEATHER PROOF ENCLOSURE AND TAMPER RESISTANT. (PER CEC 210.8 AND 406.9 (A) AND (B))
- SEE ENERGY COMPLIANCE — OUTDOOR LIGHTING REQUIREMENTS FOR EXTERIOR LIGHTS ON THIS SHEET.

ENERGY COMPLIANCE OUTDOOR LIGHTG'S:

- HIGH EFFICACY OR CONTROLS:** ALL LIGHTING ATTACHED TO THE EXTERIOR OF A RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT MUST FOLLOW ONE OF THESE TWO COMPLIANCE STRATEGIES:
 - ALL HIGH-EFFICACY LIGHTING, OR
 - LOW-EFFICACY LIGHTING CONTROLLED BY A MOTION SENSOR AND A PHOTOCONTROL, ASTRONOMICAL TIME CLOCK OR EMCS TO AUTOMATICALLY REDUCE LIGHTING ENERGY USE WHEN SUFFICIENT DAYLIGHT IS AVAILABLE
- MANUAL CONTROL:** LIGHTING MUST BE CONTROLLED BY A MANUAL ON / OFF SWITCH THAT IS NOT CAPABLE OF TURNING ON ANY LIGHTING THAT HAS BEEN SHUT OFF BY AN AUTOMATIC LIGHTING CONTROL.
- TEMPORARY MOTION SENSOR OVERRIDES:** MOTION SENSORS MAY HAVE A TEMPORARY OVERRIDE FUNCTION THAT ALLOWS LUMINAIRES TO STAY SWITCHED ON REGARDLESS OF MOTION DETECTION, BUT THE MOTION SENSOR MUST AUTOMATICALLY REACTIVATE WITHIN SIX HOURS.



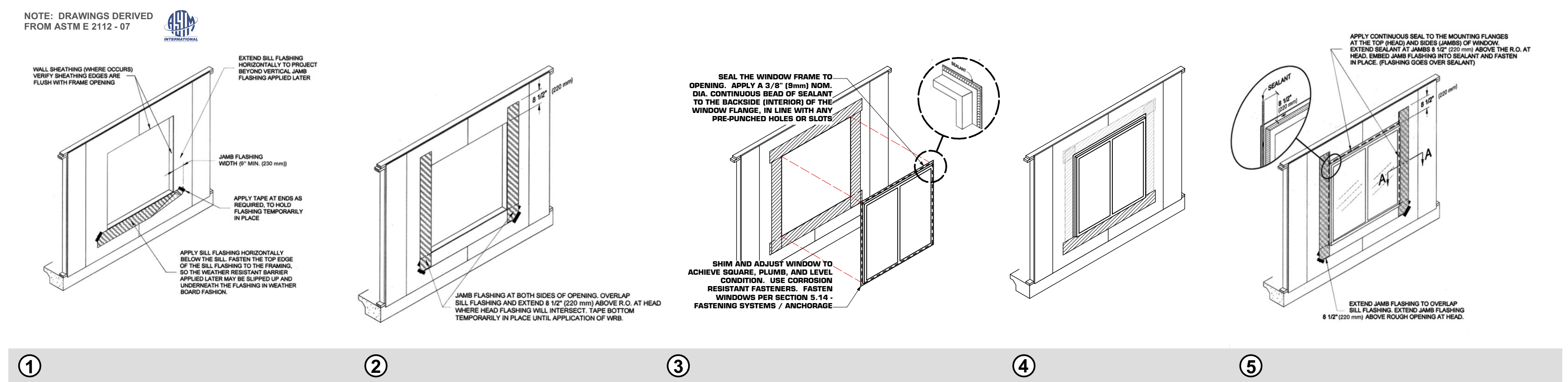
NOTES:
 SIZES ARE SHOWN FOR PRICING PURPOSES ONLY; ONLY FRAME R.O. OFF OF FINAL WINDOW / DOOR ORDER LIST
 DUE TO TIGHT TOLERANCES AND VARIATIONS OF FRAMING THAT CAN OCCUR. ALL WINDOWS AND DOORS TO BE SITE VERIFIED BY CONTRACTOR
 MANUFACTURER TO CONFIRM EGRESS SIZES ARE COMPLIANT WITH CODE BASED ON THEIR HARDWARE. WINDOW SUPPLIER TO ADJUST SIZE TO MEET EGRESS AS NECESSARY

WINDOW & DOOR TYPE NOTES:
 1) ALL GLASS IS TEMPERED
 2) WINDOW CONFIG. SHOWN FROM EXTERIOR. HANDLE LOCATIONS SHOWN FOR CLARITY ONLY.
 3) \triangle = INDICATES EGRESS COMPLIANT PER CRC R310.1
 4) DOORS AND WINDOWS TO BE PELLA LIFESTYLE SERIES, WOOD/CLAD UNITS, DUAL-PANED, LOW-E GLAZING

1 (N) EXTERIOR WINDOW AND DOOR TYPES
 1/4" = 1"

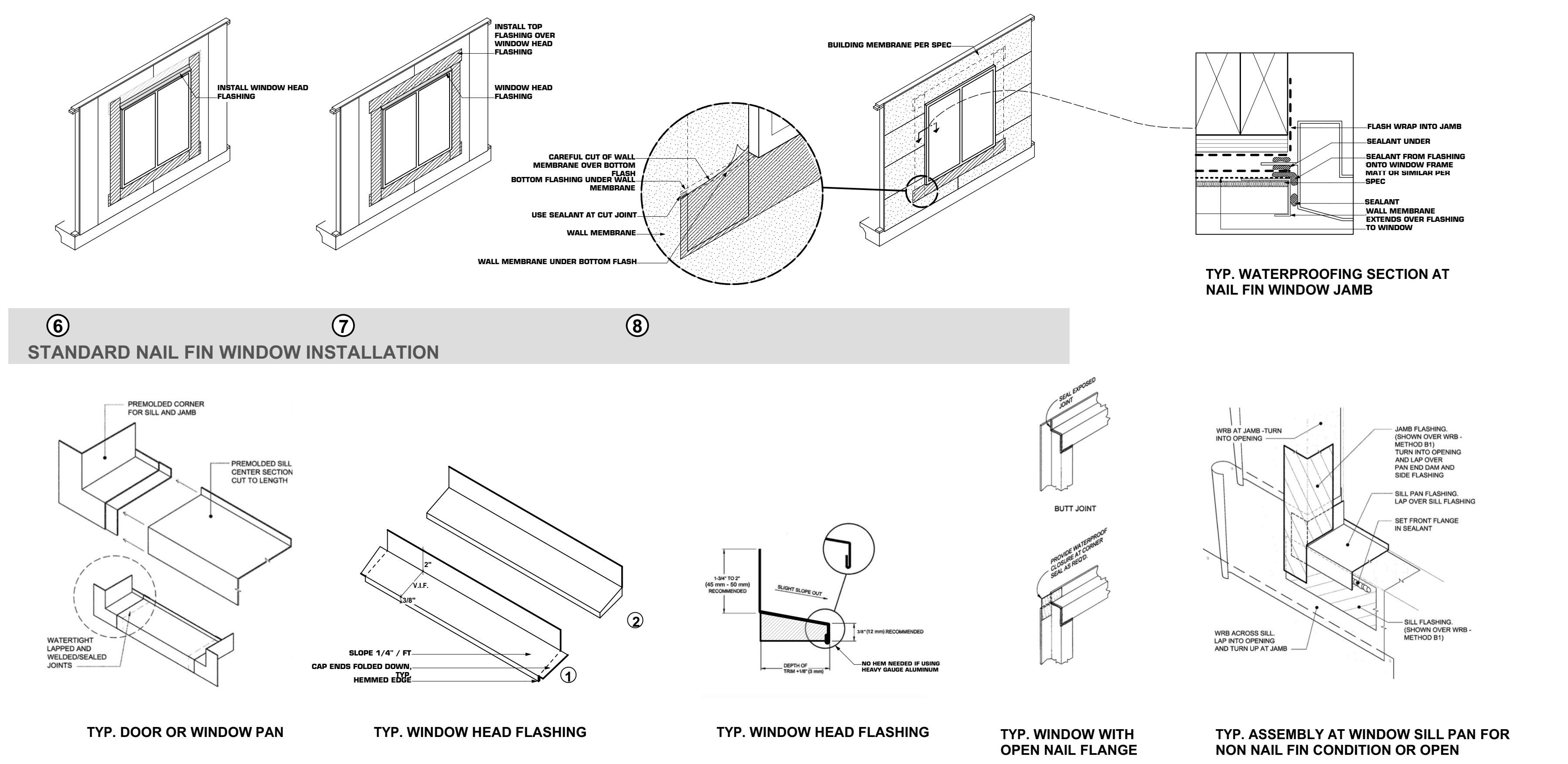
GENERAL WINDOW NOTES:

- GLAZING SHALL BE AT MINIMUM DUAL-PANED, LOW-E COATING, W/ ARGON INSULATED
- CONTRACTOR SHALL VERIFY ALL DOOR & WINDOW SIZES ROUGH OPENINGS PRIOR TO PLACING ORDER, COORDINATE WITH DESIGNER OR OWNER
- SEE FLOOR PLANS FOR WALL ASSEMBLIES.
- WINDOWS REPLACED IN BEDROOMS SHALL MEET THE EGRESS REQUIREMENTS OF A MIN. 20" CLEAR WIDTH AND MIN. 24" CLEAR HEIGHT WHEN OPEN, MIN. 5.7 SQUARE FEET OF OPENABLE AREA AND MAX. SILL HEIGHT OF 44" FROM THE FINISH FLOOR.
- TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - * WITHIN A 2' ARC OF EITHER THE EDGE OF A DOOR AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS <60" ABOVE THE WALKING SURFACE
 - * GLAZING IN WALL ENCLOSING STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 - * GLAZING IN A WALL ENCLOSING A TUB/ SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS <60" ABOVE THE STANDING SURFACE AND DRAIN INLET.
- ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE >9 SQ. FT.
 - EXPOSED BOTTOM EDGE IS <18" ABOVE THE FINISHED FLOOR.
 - EXPOSED TOP EDGE IS >36" ABOVE THE FINISHED FLOOR
 - WITHIN 36" HORIZONTALLY OF A WALKING SURFACE.
- ALL WINDOWS WITHIN 5' OF POOL SHALL HAVE TEMPERED GLAZING WHERE APPLICABLE.



GENERAL DOOR NOTES:

- G.C. TO COORDINATE ALL HARDWARE AND KEYING WITH OWNER.
- RATED DOORS TO BE POSITIVE LATCHING. RATED ASSEMBLIES SHALL BE PROVIDED WITH APPROVED GASKETING MATERIAL INSTALLED TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND THE TOP. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE AT THE JOB SIDE FOR ALL RATED DOOR ASSEMBLIES.
- ALL RATED DOORS TO BE LISTED AND LABELED.
- TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - * WITHIN A 2' ARC OF EITHER THE EDGE OF A DOOR AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS <60" ABOVE THE WALKING SURFACE
 - * GLAZING IN WALL ENCLOSING STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 - * GLAZING IN A WALL ENCLOSING A TUB/ SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS <60" ABOVE THE STANDING SURFACE AND DRAIN INLET.
- ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE >9 SQ. FT.
 - EXPOSED BOTTOM EDGE IS <18" ABOVE THE FINISHED FLOOR.
 - EXPOSED TOP EDGE IS >36" ABOVE THE FINISHED FLOOR
 - WITHIN 36" HORIZONTALLY OF A WALKING SURFACE.
- DO NOT PAINT HINGES.



GENERAL INFORMATION	
01	Project Name Residential Building
02	Run Title Title 24 Analysis
03	Project Location 2 Pomeroy Road
04	City Ross
05	Standards Version 2019
06	Zip code 94957
07	Software Version CBECC-Res 2019.2.0
08	Climate Zone 2
09	Front Orientation (deg/ Cardinal) 225
10	Building Type Single family
11	Number of Dwelling Units 1
12	Project Scope Addition/Alteration
13	Number of Bedrooms 4
14	Addition Cond. Floor Area (ft²) 0
15	Number of Stories 2
16	Existing Cond. Floor Area (ft²) 5758
17	Fenestration Average U-factor 0.34
18	Total Cond. Floor Area (ft²) 5758
19	Glazing Percentage (%) 20.96%
20	ADU Bedroom Count n/a
21	ADU Conditioned Floor Area n/a
22	Is Natural Gas Available? Yes

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY				
Energy Use (kWh/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	66.97	61.22	5.75	8.6
Space Cooling	26.77	28.04	-1.27	-4.7
HVAC Ventilation	0	0	0	0
Water Heating	6.87	6.87	0	0
Sell Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	100.61	96.13	4.48	4.5

Registration Number: 422-P010153338A-000-000-0000000-0000
 Registration Date/Time: 09/29/2022 08:40
 HERS Provider: CHEERS
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 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Report Version: 2019.2.000
 Report Generated: 2022-09-28 16:38:39
 Schema Version: rev 20200901

REQUIRED SPECIAL FEATURES						
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. * New ductwork added is less than 40 ft. in length						
HERS FEATURE SUMMARY						
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry						
Building-Level Verifications: * Kitchen range hood Cooling System Verifications: * -- None -- Heating System Verifications: * -- None -- HVAC Distribution System Verifications: * -- None -- Domestic Hot Water System Verifications: * -- None --						
BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residential Building	5758	1	4	2	0	1
ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
First Floor	Conditioned	HVAC System1	4513	8	DHW Sys 1	N/A
Second Floor	Conditioned	HVAC System1	1245	8	DHW Sys 1	N/A

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY				
Energy Use (kWh/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	66.97	61.22	5.75	8.6
Space Cooling	26.77	28.04	-1.27	-4.7
HVAC Ventilation	0	0	0	0
Water Heating	6.87	6.87	0	0
Sell Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	100.61	96.13	4.48	4.5

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OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Area (ft²)	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Interior Surface Floor	Second Floor	Default Floor No Crawlspace	n/a	n/a	1245	n/a	n/a		Existing	No

ATTIC									
01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emissance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic First Floor	Attic RoofFirst Floor	Ventilated	4	0.1	0.85	No	No	Existing	No
Attic Second Floor	Attic RoofSecond Floor	Ventilated	4	0.1	0.85	No	No	Existing	No

FENESTRATION / GLAZING															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Area (ft²)	U-factor	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition					
Window	Window	Southwest Wall	Front	225	1	109.75	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No		
Window (New)	Window	Southwest Wall	Front	225	1	273.5	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a		
Window (New) 2	Window	West Wall	Front	270	1	40	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a		
Window 2	Window	Northwest Wall	Left	315	1	38.75	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No		
Window (New) 3	Window	Northwest Wall	Left	315	1	52	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a		
Window 3	Window	North Wall	0	0	1	25	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No		
Window 4	Window	Northwest Wall	Back	45	1	141.6	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No		
Window (New) 4	Window	Northwest Wall	Back	45	1	36	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a		

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BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

WATER HEATING SYSTEMS									
01	02	03	04	05	06	07	08	09	10
Name	System Type	Distribution Type	Water Heater Name (H)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a	Existing	No	

WATER HEATERS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# of Units	Input Rating (kW)	Energy Factor or Efficiency	Input Rating or Pilot (Btu/hr)	Tank Insulation R-value (in²/ft²)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	75	0.57-EF	<= 75 kBtu/hr	0	80	n/a	n/a	n/a	Existing	No

WATER HEATING - HERS VERIFICATION							
01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

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FENESTRATION / GLAZING															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Area (ft²)	U-factor	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition					
Window 5	Window	Southwest Wall	Right	135	1	90	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No		
Window (New) 5	Window	Southwest Wall	Right	135	1	125.3	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a		
Window 6	Window	Southwest Wall 2	Front	225	1	199	0.79	Table 110.6-A	0.7	Table 110.6-B	Bug Screen	Existing	No		
Window 7	Window	Northwest Wall 2	Left	315	1	52	0.79	Table 110.6-A	0.7	Table 110.6-B	Bug Screen	Existing	No		
Window 8	Window	Southwest Wall 2	Right	135	1	24	0.79	Table 110.6-A	0.7	Table 110.6-B	Bug Screen	Existing	No		

OPAQUE DOORS					
01	02	03	04	05	06
Name	Side of Building	Area (ft²)	U-factor	Status	Verified Existing Condition
Door (New)	Northeast Wall	22.7	0.5	Existing	No

SLAB FLOORS									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab on-grade	First Floor	4301	324.5	none	0	80%	No	Existing	No

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SPACE CONDITIONING SYSTEMS										
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC System1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	2	2

HVAC - HEATING UNIT TYPES			
01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	2	AFUE-78

HVAC - COOLING UNIT TYPES							
01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER/CEER	Efficiency SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	No Cooling	2	n/a	n/a	Not Zonal	Single Speed	n/a

HVAC - DISTRIBUTION SYSTEMS															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 40 ft
Air Distribution System 1	Unconditioned attic	Non-Verified	R-4.2	R-4.2	Attic	Attic	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distribution System 1-herst	Existing + New	No	n/a	n/a

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OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	

EPOXY ADHESIVE ANCHORS:

- EPOXY ADHESIVE SHALL BE ONE OF THE FOLLOWING:
 - HILTI HIT-RE 500 ADHESIVE (ICC-ES REPORT ESR-2322)
 - SIMPSON SET-XP ADHESIVE (ICC-ES REPORT ESR-2608)
 - EQUIVALENT ALTERNATES WILL BE CONSIDERED UPON REQUEST AND SUBMISSION OF MANUFACTURER'S SPECIFICATIONS AND ICC-ES REPORT.
- INSTALLATION OF EPOXY ADHESIVE ANCHORS HORIZONTALLY OR UPWARDLY INCLINED TO SUPPORT SUSTAINED TENSION LOADS SHALL BE PERFORMED BY PERSONNEL CERTIFIED BY AN APPLICABLE CERTIFICATION PROGRAM. CERTIFICATION SHALL INCLUDE WRITTEN AND PERFORMANCE TESTS IN ACCORDANCE WITH THE ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM, OR EQUIVALENT. THE ACCEPTABILITY OF CERTIFICATION OTHER THAN ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION SHALL BE APPROVED BY THE ENGINEER OF RECORD.
- INSTALLATION REQUIREMENTS: INSTALL ADHESIVE AND ANCHORS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL HAVE MANUFACTURER'S PRODUCT INSTALLATION LITERATURE AND PRODUCT EVALUATION REPORT ON SITE FOR REFERENCE DURING INSTALLATION.
 - ANCHORS SHALL BE INSTALLED IN CONCRETE THAT HAS A MINIMUM AGE OF 21 DAYS PER ACI D5.5.2
 - HOLE PREPARATION: HOLES SHALL BE DRILLED, BLOWN OUT, AND BRUSHED PER MANUFACTURER'S SPECIFICATIONS.
 - CARTRIDGE PREPARATION: EPOXY ADHESIVE SHALL BE MIXED AND DISPENSED PER MANUFACTURER'S SPECIFICATIONS.
- VISUAL PERIODIC SPECIAL INSPECTION IS REQUIRED DURING INSTALLATION, AND SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ICC-ES REPORT.
 - THE SPECIAL INSPECTOR MUST BE ON THE JOBSITE TO VERIFY THE INITIAL INSTALLATIONS OF EACH TYPE AND SIZE OF ANCHOR BY CONSTRUCTION PERSONNEL. SUBSEQUENT INSTALLATIONS OF THE SAME TYPE AND SIZE BY THE SAME CONSTRUCTION PERSONNEL ARE PERMITTED TO BE PERFORMED IN THE ABSENCE OF THE SPECIAL INSPECTOR.
 - ANY CHANGE IN THE PRODUCT OR PERSONNEL MUST REQUIRE AN INITIAL INSPECTION. FOR ONGOING INSTALLATION OVER AN EXTENDED PERIOD, THE SPECIAL INSPECTOR MUST MAKE REGULAR INSPECTIONS AT INTERVALS DETERMINED BY THE ENGINEER OF RECORD.
 - IF THE CONTRACTOR FAILS TO ENSURE VISUAL PERIODIC SPECIAL INSPECTION IS ADEQUATELY PERFORMED, OR THE LOCAL BUILDING AUTHORITY SPECIFICALLY REQUIRES TESTING, CONTACT THE ENGINEER FOR PROOF LOADING REQUIREMENTS.
- QUALITY CONTROL REQUIREMENTS:
 - SHEAR ANCHORS: 25% OF ANCHORS RESISTING SHEAR FORCES ONLY, SUCH AS SILL PLATE OR LEDGER ANCHORS, SHALL BE TORQUE TESTED TO THE VALUES LISTED BELOW.
 - TENSION ANCHORS: 5% (BUT NOT LESS THAN TWO) OF ANCHORS RESISTING TENSION FORCES, SUCH AS HOLDOWN ANCHORS, SHALL BE SUBJECT TO DIRECT TENSION TESTS PER THE TYPICAL "HOLDOWN TO EXISTING CONCRETE" DETAILS. AN ADDITIONAL 20% (BUT NOT LESS THAN THREE) SHALL BE TORQUE TESTED TO THE VALUES LISTED BELOW.
 - TORQUE TESTING REQUIREMENTS: TEST ANCHORS USING A TORQUE CALIBRATED WRENCH TO THE FOLLOWING MINIMUM TORQUE VALUES:

ANCHOR	TORQUE
3/8"	40 FT-LBS.
1/2"	50 FT-LBS.
5/8"	60 FT-LBS.
3/4"	70 FT-LBS.
1"	80 FT-LBS.

DEMOLITION AND SHORING WORKS

- ALL DESIGN AND DETAILING FOR TEMPORARY SHORING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, 2019 EDITION. DRAWINGS AND CALCULATIONS SHALL BE STAMPED AND SIGNED BY A CIVIL OR STRUCTURAL ENGINEER LICENSED IN THE STATE OF CALIFORNIA, AND SHALL BE SUBMITTED TO THE LOCAL DEPARTMENT OF BUILDING INSPECTION FOR APPROVAL UPON REQUEST.

STRUCTURAL OBSERVATIONS

- THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER A MINIMUM OF 48 HOURS (EXCLUDING WEEKEND DAYS) PRIOR TO THE TIME OF A REQUIRED STRUCTURAL OBSERVATION.
- OBSERVATION VISITS TO THE JOB SITE BY THE ENGINEER'S FIELD REPRESENTATIVE SHALL BE CONSTRUED AS NEITHER INSPECTION NOR APPROVAL OF CONSTRUCTION.

ABBREVIATIONS ON DRAWINGS:

A.B.	ANCHOR BOLT	FTG.	FOOTING	SIM.	SIMILAR
BM	BEAM	GALV.	GALVANIZE	SQ.	SQUARE
BOT.	BOTTOM	GA.	GAUGE	SECT.	SECTION
B.O.	BOTTOM OF	GLB.	GLULAM BEAM	S.O.G.	SLAB ON GRADE
B/W	BETWEEN	HORIZ.	HORIZONTAL	SQ.	SQUARE
CL	CENTER LINE	LVL.	MICROLAM	STAGG.	STAGGERED
COL.	COLUMN	M.B.	MACHINE BOLT	STD.	STANDARD
CONT.	CONTINUOUS	MAX.	MAXIMUM	STL.	STEEL
CLR.	CLEAR	MIN.	MINIMUM	STIFF.	STIFFENER
CONC.	CONCRETE	MISC.	MISCELLANEOUS	STRUCT.	STRUCTURAL
CONN.	CONNECTION	MECH.	MECHANICAL	S.W.	SHEAR WALL
COLL.	COLLECTOR	M.F.	MOMENT FRAME	T&B	TOP AND BOTTOM
Ø, OR d	DIAMETER	N.T.S.	NOT TO SCALE	T&G	TONGUE AND GROOVE
D.F.	DOUGLAS FIR	NO.	NUMBER	T.O.C.	TOP OF CONCRETE
D.S.	DRAG STRUT	(N)	NEW	TYP.	TYPICAL
DWG.	DRAWING	O.C.	ON CENTER	THK.	THICK
DIAG.	DIAGONAL	O.H.	OPPOSITE HAND	THRD. ROD	THREADED ROD
DN	DOWN	O.D.	OUTSIDE DIAMETER	T.O.	TOP OF
EA.	EACH	PL.	PLATE	U.O.N.	UNLESS OTHERWISE NOTED
EL.	ELEVATION	PLY.	PLYWOOD	VERT.	VERTICAL
EXT.	EXTERIOR	PSL.	PARALLAM	V.I.F.	VERIFY IN FIELD
E.N.	EDGE NAILING	P.T.	PRESSURE TREATED	w	WITH
E.F.	EACH FACE	REIN.	REINFORCING	w/o	WITHOUT
E.S.	EACH SIDE	REQD	REQUIRED	WT	WEIGHT
E.W.	EACH WAY	REV	REVISION	W.W.F	WELDED WIRE FABRIC
EQ.	EQUAL	S.A.D.	SEE ARCHITECTURAL DRAWINGS	WF	WIDE FLANGE STEEL SECTION
(E)	EXISTING	SCHED.	SCHEDULE		
FLR.	FLOOR				

SHEATHING

- ALL SHEATHING TO BE ORIENTED STRAND BOARD (OSB) OR PLYWOOD STAMPED BY THE AMERICAN PLYWOOD ASSOCIATION (APA) AND SHALL CONFORM TO THE U.S. PRODUCT STANDARD (PS 1) WITH EXTERIOR GLUE. SEE PLANS FOR THICKNESS AND NAILING PATTERN AT FLOOR AND ROOF SHEATHING. (MINIMUM SHEET SIZE 24'). SHEATHING SHALL BE DOUGLAS FIR AND AS FOLLOWS (U.O.N.):
 - 3/4" APA RATED 32/16, EXPOSURE 1*
 - 3/4" APA RATED 48/24, T&G, EXPOSURE 1**
 - 3/4" APA RATED 32/16, EXPOSURE 1

* PROVIDE PLY CLIPS BETWEEN JOISTS WHERE EDGES ARE NOT BLOCKED.
 ** CONTRACTOR MAY OMIT T&G WHERE EDGES ARE BLOCKED.
- ALL EXTERIOR WALLS NOT NOTED AS SHEAR WALLS SHALL BE SHEATHED WITH SHEATHING AND CONSTRUCTED AS A TYPE-6 SHEAR WALL, INCLUDING ABOVE AND BELOW ALL WALL OPENINGS, AND GABLE WALLS.
- GLUE FLOOR SHEATHING TO JOISTS WITH A CONTINUOUS BEAD OF CONSTRUCTION GRADE ADHESIVE (ASTM D3498) AND NAIL WITHIN 10 MINUTES OF GLUING.
- SHEATHING SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS AND EDGES SHALL HAVE A STAGGERED LAYOUT.
- SHEATHING SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL PANEL EDGES. PROVIDE 3x (OR 4x) MEMBERS (OR DOUBLE 2x TOP PLATE) AT ALL SHEATHING EDGES FOR SHEAR WALL WHERE NAILING IS EQUAL OR LESS THAN 4' o.c.
- SHEATHING SHALL ABUT ALONG THE CENTERLINE OF FRAMING MEMBERS WITH NAILING NOT LESS THAN 3/8" FROM EDGE OF SHEETS AND FRAMING.
- SHEAR WALLS SHALL RUN AND BE CONNECTED TO UNDERSIDE OF ROOF OR FLOOR SHEATHING WITH APPROVED BLOCKING AS REQUIRED AND SHALL CONNECT WITH FLOOR OR FOUNDATION BELOW.
- WHERE SHEAR WALL CONNECTIONS ARE NOT SPECIFICALLY DETAILED ON THESE DRAWINGS, CONSTRUCTION DETAILS SHALL BE PER TYPICAL DETAILS AND SHEAR WALL SCHEDULE.

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH CBC CHAPTER 22 AND AISC 360-10. SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
- STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING:

HSS SHAPES	ASTM A500, GRADE B
CONTINUITY PLATES	ASTM A572 (Fy=50 KSI)
OTHER SHAPES AND PLATES	ASTM A36
ELECTRODES	ASTM E70XX
BASE PLATES	ASTM A36
- BOLT HOLES SHALL BE 1/16" OVERSIZED, EXCEPT AT BASE PLATES WHERE THEY CAN BE 5/16" OVERSIZED WITH WELDED WASHERS WITH 1/16" OVERSIZED HOLES.
- ALL SHOP AND FIELD WELDING SHALL BE INSPECTED BY AN APPROVED TESTING LABORATORY. SPECIAL INSPECTION REQUIREMENTS OF CHAPTER 17, 2016 CBC, APPLY TO ALL WELDING.
- ALL WELDING TO CONFORM TO THE REQUIREMENTS OF THE LATEST AWS D1.1 STRUCTURAL WELDING CODE AND SHALL BE PERFORMED BY CERTIFIED WELDERS.
- ALL WELDS NOT SPECIFIED SHALL BE CONTINUOUS FILLET WELDS, USING NOT LESS THAN THE MINIMUM SIZES BASED ON THICKNESS OF THICKER PART JOINED PER AISC/AWS, AND NO CASE LESS THAN 1/4" UNLESS NOTED OTHERWISE.
- WHERE WELDS ARE DESIGNATED AS DEMAND CRITICAL, THEY SHALL BE MADE WITH A FILLER METAL CAPABLE OF PROVIDING A MINIMUM CHARPY V-NOTCH (CVN) TOUGHNESS OF 20 FT-LB AT -20°F AS DETERMINED BY THE APPROPRIATE AWS CLASSIFICATION TEST METHOD OR MANUFACTURER CERTIFICATION, AND 40 FT-LB AT 70°F AS DETERMINED BY APPENDIX X OR OTHER APPROVED METHOD, WHEN THE STEEL FRAME IS NORMALLY ENCLOSED AND MAINTAINED AT A TEMPERATURE OF 50°F OR HIGHER.
- NON-SHRINK GROUT IS REQUIRED UNDER ALL BASE PLATES. GROUT SHALL COMPLY WITH ASTM C 1107 GRADE A AND ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 7000 PSI AT 28 DAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES, INCLUDING THOSE RELATING TO TEMPERATURE DIFFERENTIALS, ERECTION TOLERANCES, AND WITH RESPECT TO STRUCTURAL STEEL FRAMING INTO REINFORCED CONCRETE WALLS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL DISTORTION OF THE STEEL, DURING AND AFTER ALL FIELD AND SHOP WELDING, AND TO ENSURE THAT ALL STEEL REMAINS STRAIGHT AND OR PLUMB, DURING AND AFTER WELDING OPERATIONS. THIS INCLUDES, BUT NOT LIMITED TO, PRE-SETTING, TRIAL ERECTION, USING FEWER WELD PASSES, BACKSTEP WELDING, PROPER WELDING SEQUENCE, AND CLAMPING. ALL CORRECTIONS NECESSARY DUE TO DISTORTION OF THE STEEL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE STRUCTURAL STEEL CONNECTIONS CONSIST OF THE FOLLOWING:
 - ALL MAJOR STRUCTURAL STEEL CONNECTIONS ARE DETAILED ON THE DRAWINGS. THE DETAILS INDICATE THE REQUIRED MINIMUM PLATE THICKNESSES, ANGLES, WELDS, BOLTS AND GENERAL CONNECTION CONFIGURATION. THE FINAL DIMENSIONAL CONFIGURATION INCLUDING ADJUSTMENTS FOR CAMBER SHALL BE DETERMINED BY THE FABRICATOR ON SHOP DRAWINGS.
 - ANY PROPOSED REVISIONS OR MODIFICATIONS TO THE CONNECTIONS AS SHOWN ON THE DRAWINGS SHALL BE FULLY ENGINEERED BY THE FABRICATOR, SHOP DRAWINGS AND CALCULATIONS PREPARED AND STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CALIFORNIA SHALL BE SUBMITTED FOR REVIEW. THE CAPACITY OF CONNECTIONS SHALL NOT BE REDUCED FROM THAT PROVIDED BY THE DETAIL AS SHOWN WHERE NOT SHOWN OR INFERRED FROM DRAWINGS. THE CONNECTION SHALL BE CAPABLE OF NOT LESS THAN 120% OF THE MEMBER CAPACITY IN TENSION. ANY PROPOSED REVISIONS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- STEEL ELEMENTS DESIGNATED AS ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) SHALL BE IN ACCORDANCE WITH AISC 303-16, THE CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, WITH ELEMENT CATEGORIES AND CHARACTERISTICS AS DEFINED BY THE ARCHITECT.

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CRC
- ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWISE. NOTES AND DETAILS ON THE DRAWINGS TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS.
- ALL OMISSIONS AND CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR ARCHITECTURAL SPECIFICATIONS (WHERE APPLICABLE) SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY OF THE WORK INVOLVED.
- AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- DURING AND AFTER CONSTRUCTION, BUILDER AND/OR OWNER SHALL KEEP LOADS ON STRUCTURE WITHIN THE LIMITS OF DESIGN LOADS.
- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE STRUCTURAL DRAWINGS.
- NO OPENINGS, CHASES, NOTCHES, ETC. SHALL BE PLACED IN COLLUMNS, JOISTS, BEAMS, BEARING WALLS, AND SHEAR WALLS UNLESS SPECIFICALLY NOTED ON THESE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER WHEN DRAWINGS BY OTHERS SHOW SUCH OPENINGS.
- CONTRACTOR SHALL COORDINATE ALL STRUCTURAL FRAMING WITH MECHANICAL, PLUMBING AND ELECTRICAL INFRASTRUCTURE, INCLUDING, BUT NOT LIMITED TO, RECESSED AND SEMI-RECESSED LIGHTING, MECHANICAL DUCTS AND PIPING, FIRE SPRINKLER PIPE AND HEADS AND PLUMBING DRAINS, WASTE AND SUPPLY LINES.
- ALL ASTM DESIGNATIONS SHALL BE AS AMENDED TO DATE UNLESS NOTED OTHERWISE.

DESIGN CRITERIA

1. DEAD LOADS:	
a. ROOF (SLOPED)	= 13 PSF
b. CEILING LOAD	= 6 PSF
c. WALL (EXTERIOR)	= 20 PSF
d. WALL (INTERIOR)	= 10 PSF
e. FLOOR	= 15 PSF
2. LIVE LOADS:	
a. ROOF	= 20 PSF
b. ATTIC	= 10 PSF
c. FLOOR	= 40 PSF

WOOD

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2019 CRC CHAPTER 1-9 AND 2018 NDS (NATIONAL DESIGN SPECIFICATION).
- ALL SOLID SAWN STRUCTURAL LUMBER SHALL CONFORM TO THE GRADING RULES OF THE WESTERN WOOD PRODUCTS ASSOCIATION. LUMBER SHALL BE DOUGLAS FIR WITH GRADE AS FOLLOWS:
 - JOISTS: NO. 2, 2" TO 4" THICK
 - BEAMS & HEADERS: NO. 1
 - POSTS: NO. 1, POST & TIMBERS
 - STUDS: CONSTRUCTION
 - PRESSURE TREATED: NO. 2
- TRUS JOISTS SHALL BE MANUFACTURED BY WEYERHAEUSER. ALL CUTTING, NOTCHING AND DRILLING OF TRUS JOISTS MAY BE DONE ONLY IN ACCORDANCE WITH THE DETAILS PROVIDED BY THE MANUFACTURER.
- ALL PARALLAM (PSL), MICROLAM (LVL), AND TIMBERSTRAND (LSL) MEMBER CALLOUTS REFER TO PRODUCTS OF WEYERHAEUSER. CUTTING, NOTCHING OR DRILLING OF MEMBERS MAY BE DONE ONLY WITH THE APPROVAL OF THE STRUCTURAL ENGINEER. GRADE SHALL BE AS FOLLOWS:

a. 2.2E PARALLAM (PSL):	Fy=2900 PSI; Fv=290 PSI; E=2,200,000 PSI
b. 2.0E MICROLAM (LVL):	Fy=2600 PSI; Fv=265 PSI; E=2,000,000 PSI
c. 1.55E TIMBERSTRAND (LSL):	Fy=2325 PSI; Fv=310 PSI; E=1,550,000 PSI
- ALL STRUCTURAL LUMBER SHALL HAVE THE FOLLOWING MAXIMUM MOISTURE CONTENT (MC); MC LESS THAN OR EQUAL TO 19% AT TIME OF INSTALLATION.
- ALL NAILS USED IN TIMBER-TO-TIMBER CONNECTIONS SHALL BE COMMON NAILS AND NAILING SHALL CONFORM TO THE APPLICABLE BUILDING CODES. ALL NAILS CONNECTING PREMANUFACTURED METAL ITEMS (CONNECTORS, HANGERS, STRAPS, ETC.) TO TIMBER SHALL CONFORM TO THE MANUFACTURER'S CATALOGUE AND APPLICABLE ICC REPORTS.
- ALL STUD WALLS SHALL HAVE FIRE BLOCKING AT 10'-0" o.c. MAXIMUM.
- WHERE WOOD IS IN CONTACT WITH CONCRETE OR MASONRY, OR EXPOSED TO WEATHER, PRESSURE-TREATED (P.T.) DOUGLAS FIR SHALL BE USED UNLESS NOTED OTHERWISE. WEATHER RESISTANT SPECIES SUCH AS REDWOOD, CEDAR, OR WOLMANIZED WOOD MAY BE USED WHERE SPECIFIED IN THE DRAWINGS OR APPROVED BY THE ENGINEER.
- UNLESS NOTED OTHERWISE, ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY SHALL BE BOLTED WITH 1/2" Ø F1554 ANCHOR BOLTS WITH 7" MINIMUM EMBEDMENT AND 3"x3"x23" PLATE WASHERS AT 4'-0" o.c. PLATE WASHER SHALL EXTEND TO WITHIN 6" OF PLATE OR SHEATHED SIDE. SEE SHEAR WALL SCHEDULE FOR ADDITIONAL ANCHOR BOLT SPACING AND PLATE WASHER REQUIREMENTS.
- ALL BOLT HEADS AND NUTS WHICH BEAR AGAINST THE FACE OF WOOD MEMBERS SHALL BE PROVIDED WITH WASHERS. NO UPSET THREADS ARE ALLOWED.
- PROVIDE MULTIPLE STUDS FOR SOLID BEARING AT THE ENDS OF MISCELLANEOUS BEAMS OR GIRDER TRUSSES WHERE POSTS ARE NOT SHOWN.
- PROVIDE DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITIONS.
- PROVIDE SOLID BLOCK AT BEARING WALLS, UNDER PERPENDICULAR PARTITIONS AND ELSEWHERE AS REQUIRED PER NDS SECTION 4.4.1. PROVIDE FULL DEPTH BLOCKING AT ENDS AND AT 8'-0" o.c. MAXIMUM SPACING.
- FACE NAIL TWO PIECE BUILT-UP BEAMS WITH 16g AT 12" o.c. AT TOP AND BOTTOM TO ALTERNATE SIDES OF BEAM. PROVIDE ADDITIONAL ROW OF NAILING AT ALL BEAMS GREATER THAN 12" DEEP.
- PREDRILL ALL HOLES FOR 20d AND LARGER NAILS, SPIKES AND LAG BOLTS. LEAD HOLES FOR LAGS SHALL BE AS FOLLOWS:
 - SHANK PORTION: SAME DIAMETER AND LENGTH AS SHANK.
 - THREADED PORTION: 60% TO 75% OF THE DIAMETER OF THE THREAD AND THE SAME LENGTH AS THREAD.
- PROVIDE FULL DEPTH SOLID BLOCKING AT A MAXIMUM OF 8'-0" o.c. FOR 2x10 MEMBERS AND LARGER (CONTACT METAL BRIDGING OR EQUAL MAY BE USED) WHERE SHEATHING OR GYPSUM BOARD IS NOT APPLIED TO TOP AND BOTTOM OF JOISTS FOR ENTIRE LENGTH PER NDS SECTION 4.4.1.
- ALL PREMANUFACTURED METAL ITEMS (CONNECTORS, HANGERS, STRAPS, ETC.) SHALL BE BY SIMPSON STRONG TIE COMPANY, INC. UNLESS NOTED OTHERWISE. SEE NOTE AND ABOVE CONCERNING NAILING.
- RETIGHTEN ALL BOLTS BEFORE CLOSING IN.
- FASTENERS & CONNECTORS EXPOSED TO WEATHER SHALL BE STAINLESS STEEL, HOT-DIPPED GALVANIZED PER ASTM A153 - CLASS C OR ASTM A123, OR SIMPSON'S "ZMAX" OR DOUBLE-BARRIER/QUIK GUARD COATING.
- FASTENERS & CONNECTORS IN CONTACT WITH WOOD TREATED WITH AMMONIA OR ACZA (CHEMONITE) OR OTHER CHEMICALS w/ CHEMICAL RETENTION > AWWA UC4A SHALL BE STAINLESS STEEL. FASTENERS & CONNECTORS IN CONTACT WITH OTHER PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE STAINLESS STEEL, HOT-DIPPED GALVANIZED PER ASTM A153 - CLASS D OR ASTM A123, OR SIMPSON'S "ZMAX" OR DOUBLE-BARRIER/QUIK GUARD COATING.
- ALL STUDS SHALL BE ONE PIECE BETWEEN FLOORS AND FROM FLOOR TO ROOF, UNLESS NOTED OTHERWISE. ALIGN CENTERLINE OF STUDS WITH CENTERLINE OF FLOOR JOISTS. ALIGN CENTERLINE OF STUDS FOR FULL HEIGHT OF STRUCTURAL TYPICAL.
- ALL POSTS SHALL BE FULL HEIGHT FROM FOUNDATION TO ROOF, UNLESS NOTED OTHERWISE. WHERE POSTS ARE DISCONTINUOUS AT JOIST SPACE AND OR FROM TOP OF BEAM OR HEADERS TO LOWER TOP PLATE, BLOCK THIS SPACE WITH STUD POST.

BELL RESIDENCE
2 POMEROY RD
ROSS CA

PROJECT:

TA structural

ENGINEER OF RECORD



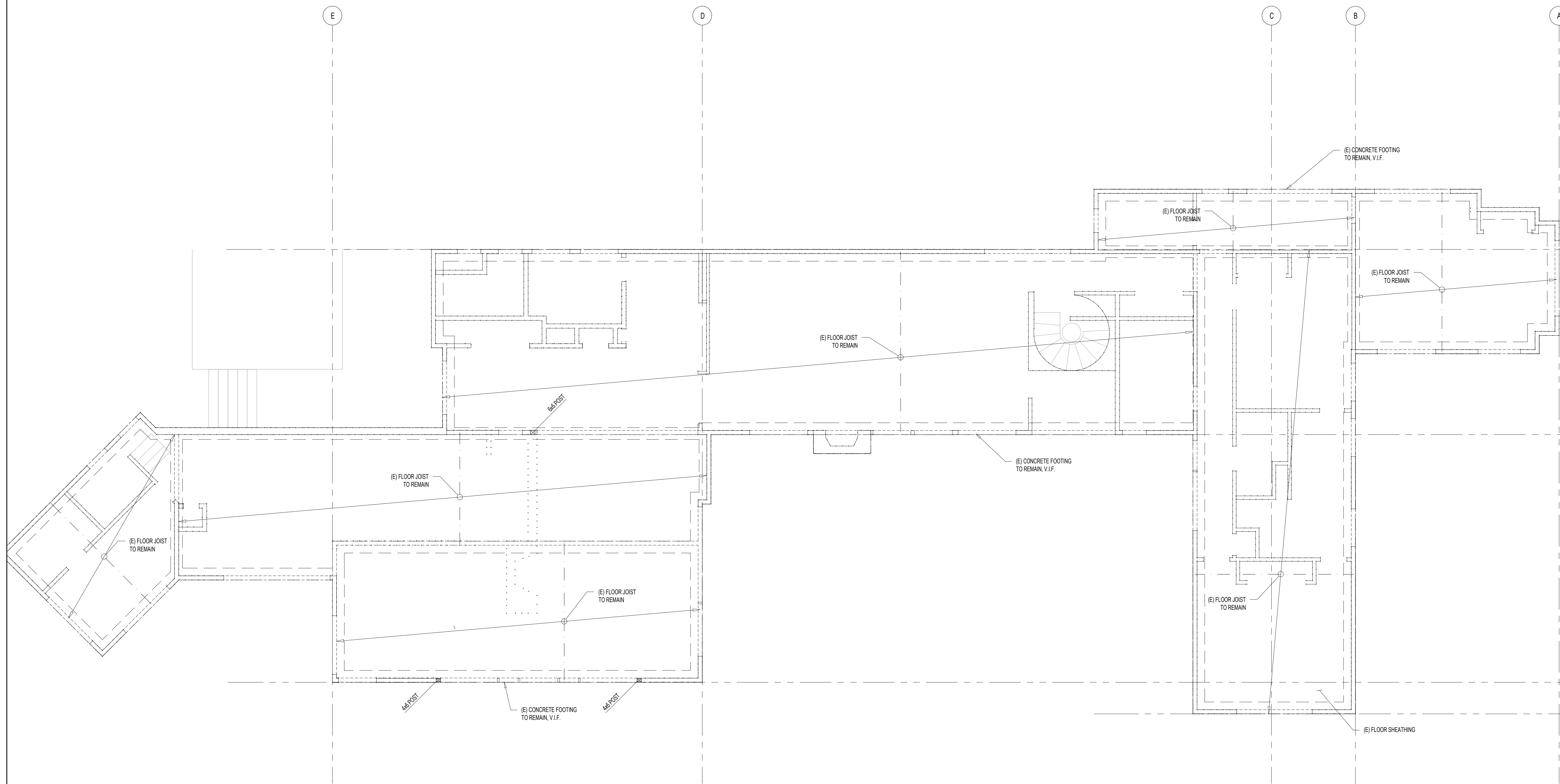
PROJECT STATUS: **DONE**
PERMIT SUBMITTED: **SEPTEMBER 2022**

DESIGNED PLANS, DOCUMENTS, AND SPECIFICATIONS REPRESENTED WITHIN THESE DRAWINGS ARE PROPERTY OF TA STRUCTURAL, AND ARE CONSIDERED FOR USE IN CONNECTION WITH THIS RESIDENTIAL PROJECT. NONE OF THESE PLANS AND DEAS SHALL BE USED, REPRODUCED, COPIED, OR IN ANY MANNER, WITHOUT THE WRITTEN CONSENT OF TA STRUCTURAL.

PROJECT No. **HO36**
DATE: **SEPTEMBER 2022**
DRAWN BY: **D.T.**
CHECKED BY: **D.T.**

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
S100

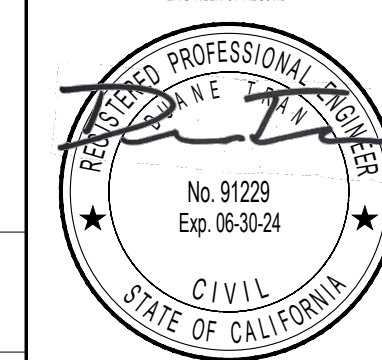


BELL RESIDENCE
2 POMEROY RD
ROSS, CA

PROJECT:

TA structural

ENGINEER OF RECORD



PROJECT STATUS: **DATE**
PERMIT SUBMITTED: **SEPTEMBER 2022**

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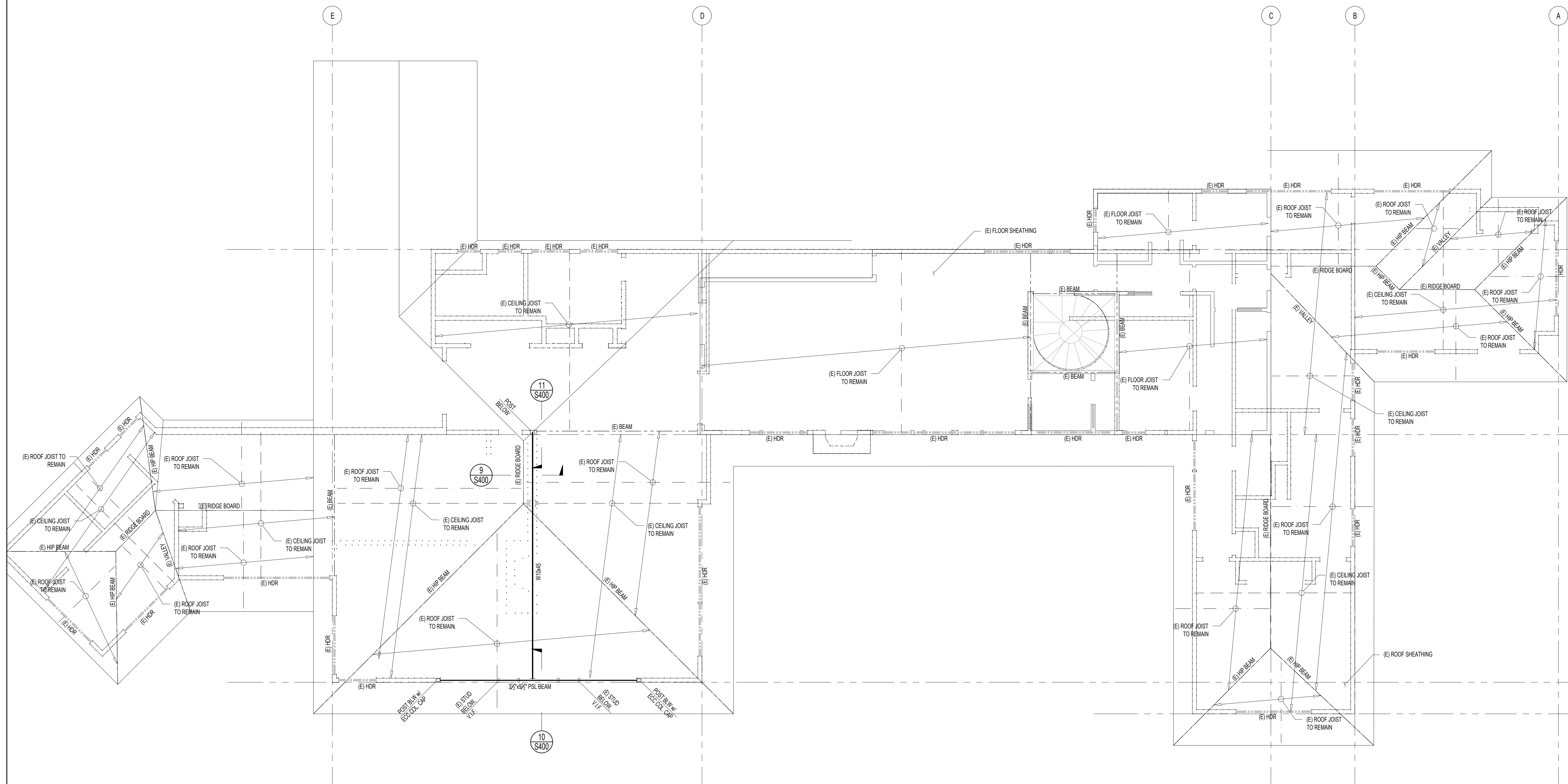
PROJECT No. **H036**
DATE: **SEPTEMBER 2022**
DRAWN BY: **D.T.**
CHECKED BY: **D.T.**

SHEET TITLE
FRAMING PLANS

SHEET NUMBER
S200

1 FIRST FLOOR FRAMING AND FOUNDATION PLAN

SCALE: 1/4"=1'-0"



1 FIRST FLOOR FRAMING AND FOUNDATION PLAN

SCALE: 1/4"=1'-0"

BELL RESIDENCE
2 POMEROY RD
ROSS, CA

PROJECT:

TA structural

ENGINEER OF RECORD



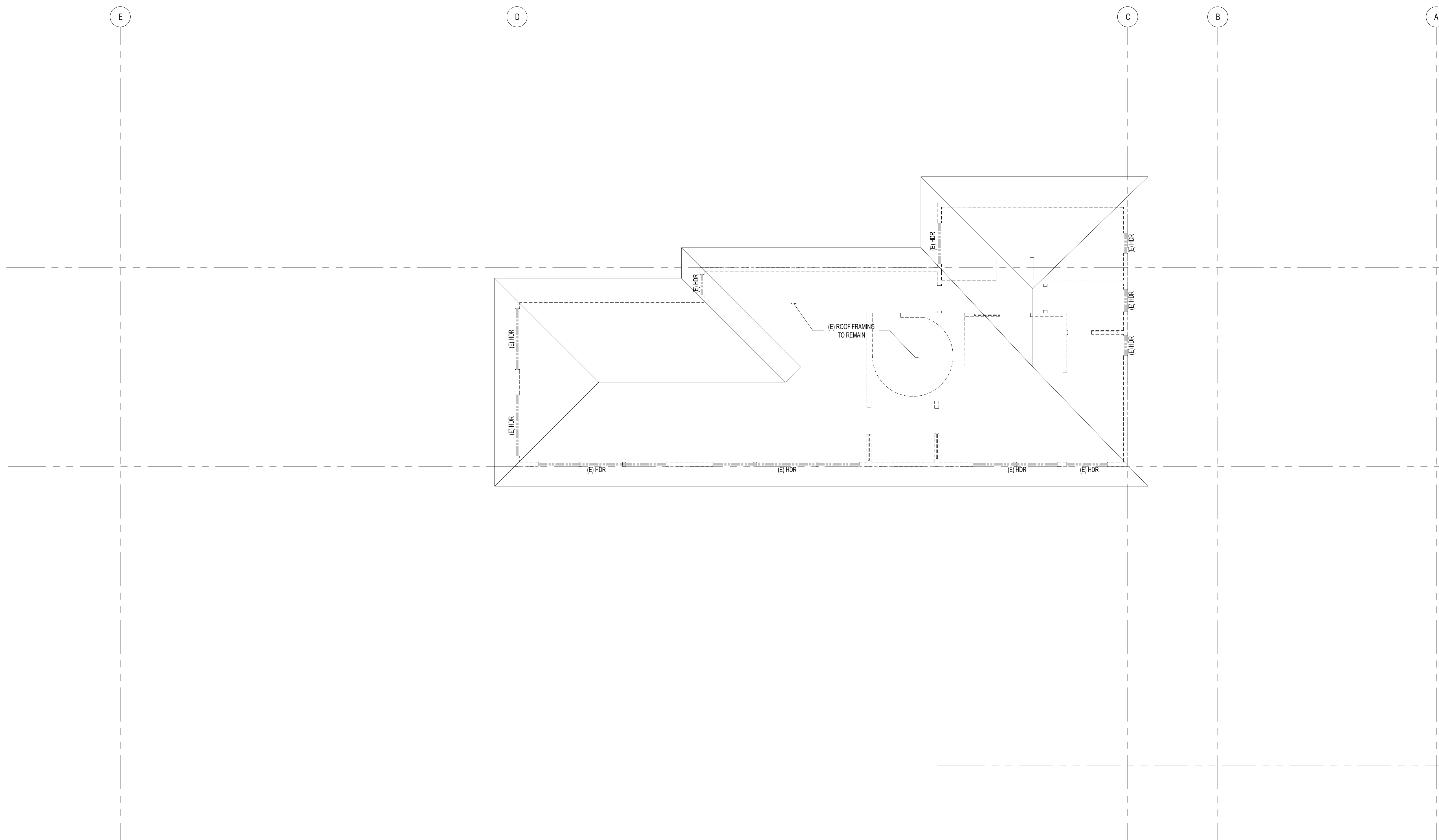
PROJECT STATUS: DATE:
PERMIT SUBMITTED: SEPTEMBER 2022

DESIGNED PLANS, DOCUMENTS, AND SPECIFICATIONS REPRESENTED WITHIN THESE DRAWINGS ARE PROPERTY OF TA STRUCTURAL AND ARE NOT TO BE REPRODUCED OR USED IN CONNECTION WITH ANY OTHER PROJECT. NONE OF THESE PLANS AND IDEAS SHALL BE USED OR REPRODUCED, COPIED, OR TRANSMITTED IN ANY MANNER WITHOUT WRITTEN CONSENT OF TA STRUCTURAL.

PROJECT No. H036
DATE: SEPTEMBER 2022
DRAWN BY: D.T.
CHECKED BY: D.T.

SHEET TITLE
FRAMING PLANS

SHEET NUMBER
S201



1 FIRST FLOOR FRAMING AND FOUNDATION PLAN

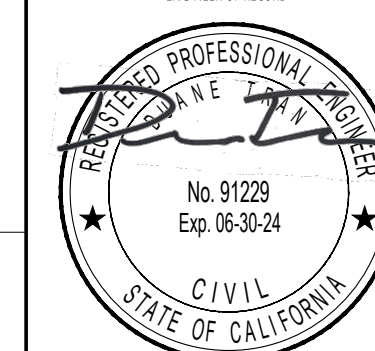
SCALE: 1/4"=1'-0"

BELL RESIDENCE
2 POMEROY RD
ROSS, CA

PROJECT:

TA structural

EXEMPT OF RECORD



PROJECT STATUS: DATE:

PERMIT SUBMITTED: SEPTEMBER 2022

DESIGNED, DRAWN, DOCUMENTED, AND SPECIFICATIONS REPRESENTED WITHIN THESE DRAWINGS ARE PROPERTY OF TA STRUCTURAL, AND ARE NOT TO BE USED FOR CONSTRUCTION OF ANY OTHER PROJECT. NONE OF THESE PLANS AND IDEAS SHALL BE USED FOR ANY OTHER PROJECTS WITHOUT WRITTEN CONSENT OF TA STRUCTURAL.

PROJECT No. H036

DATE: SEPTEMBER 2022

DRAWN BY: D.T.

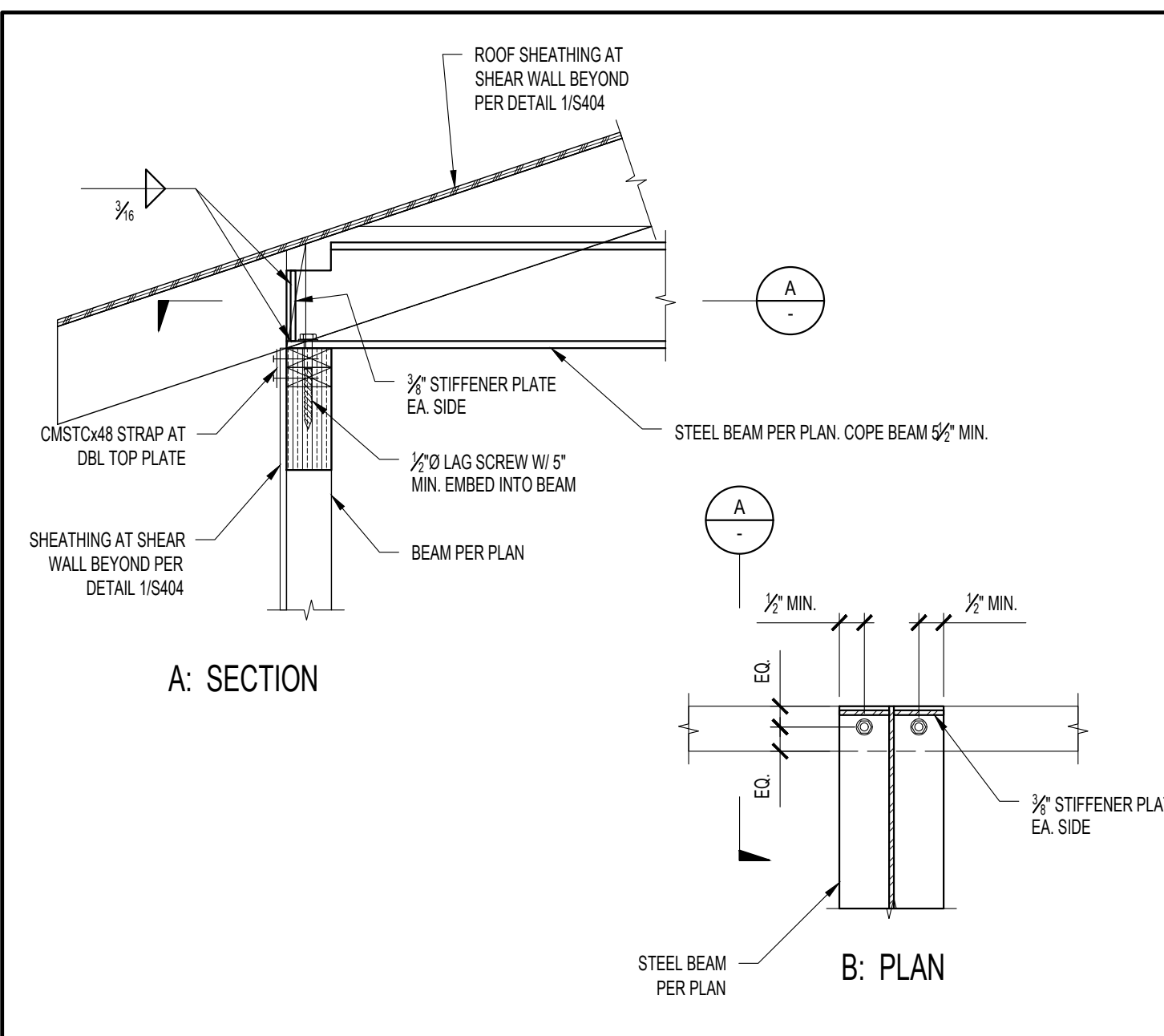
CHECKED BY: D.T.

SHEET TITLE

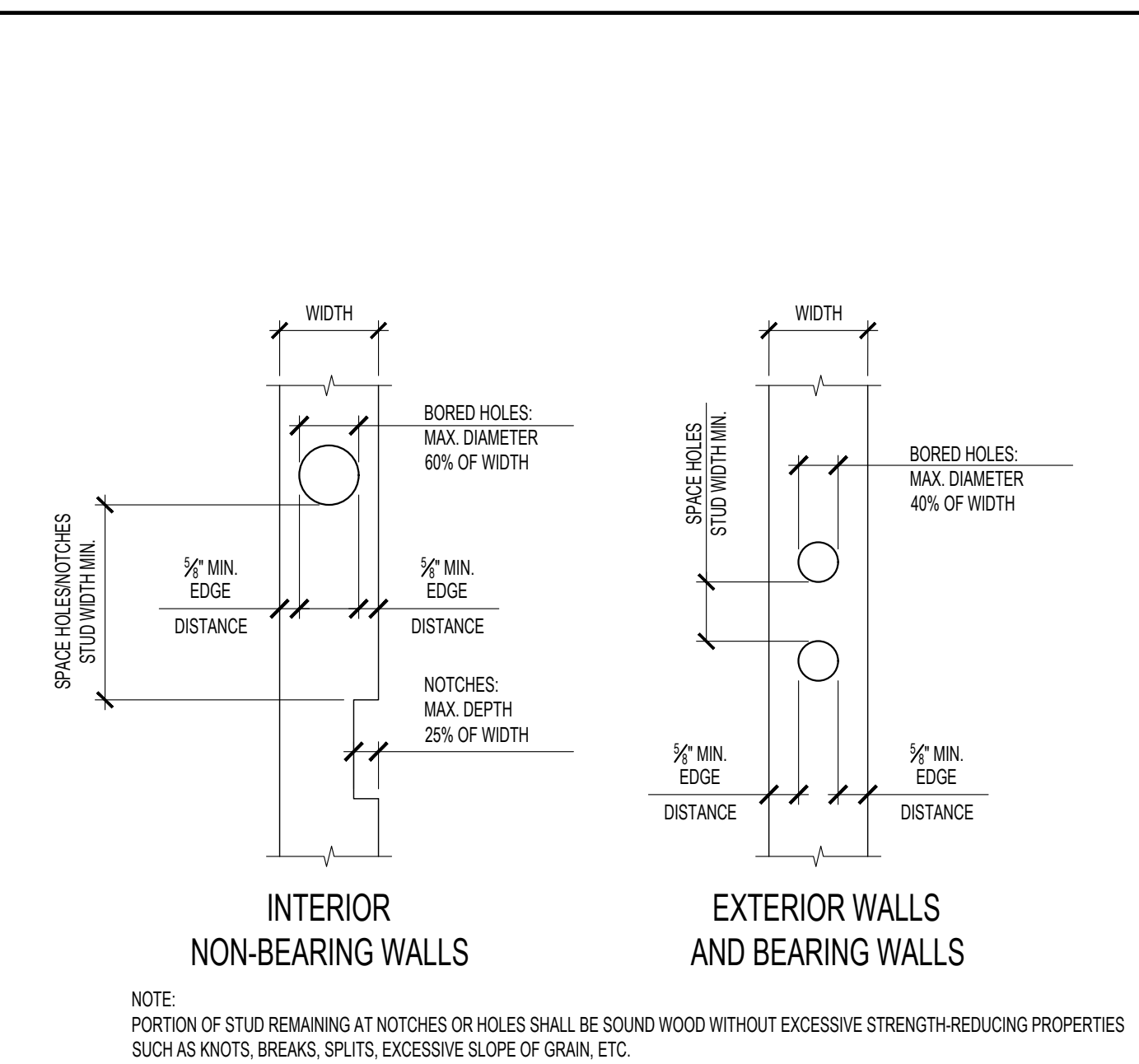
FRAMING PLANS

SHEET NUMBER

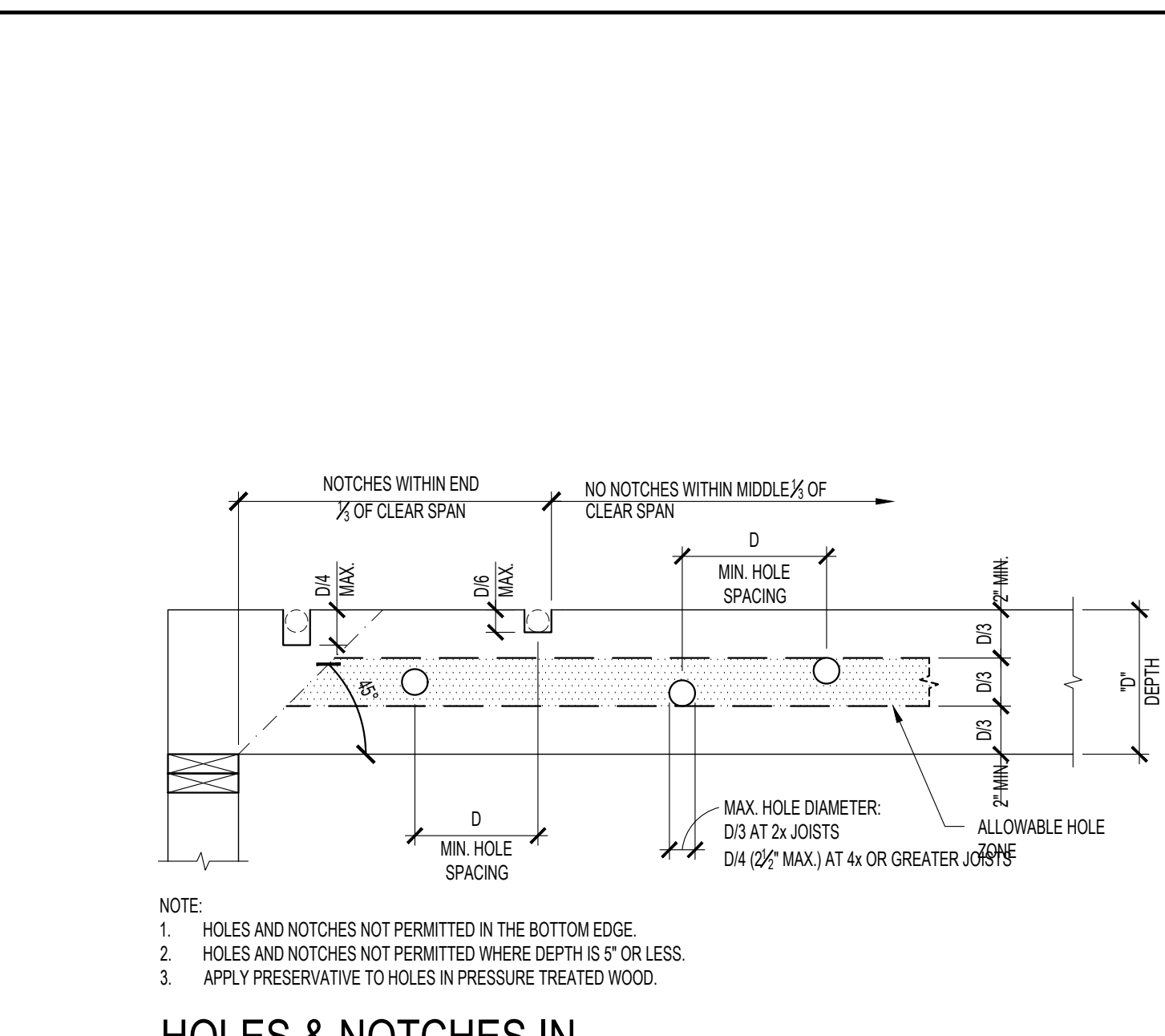
S202



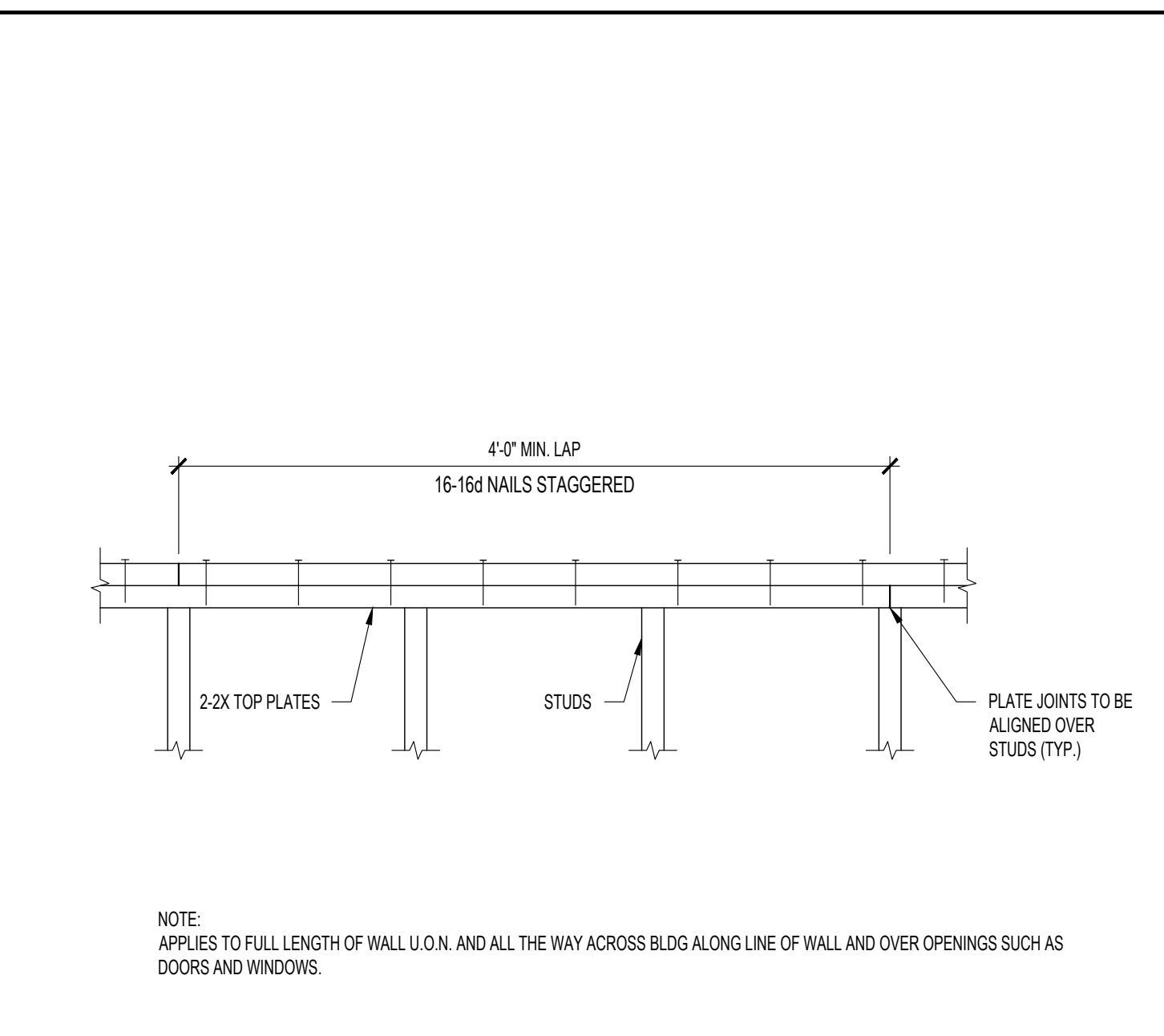
10 ROOF FRAMING AT STEEL BEAM
SCALE: 1"=1'-0"



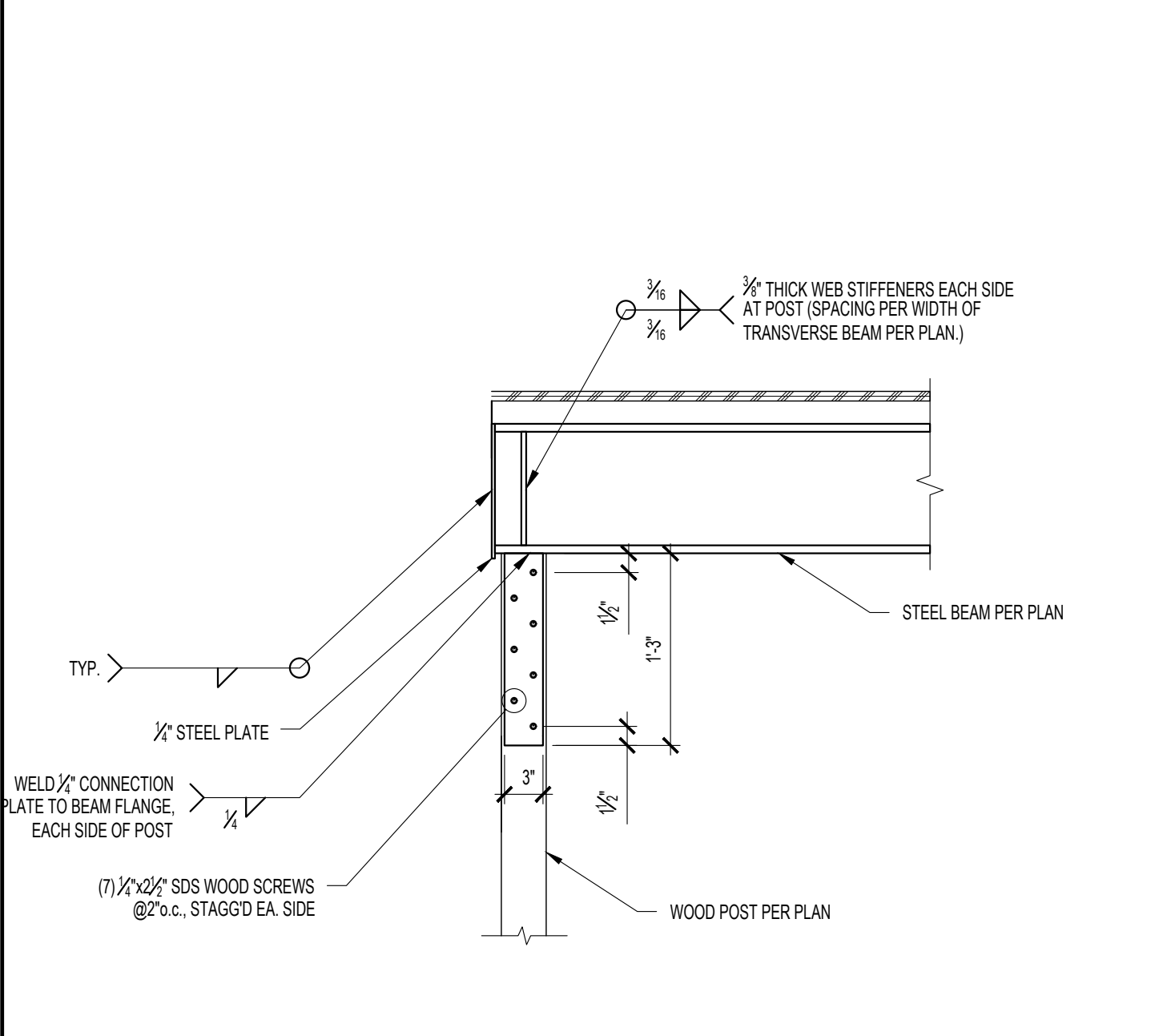
7 HOLES & NOTCHES IN STUDS
SCALE: N.T.S.



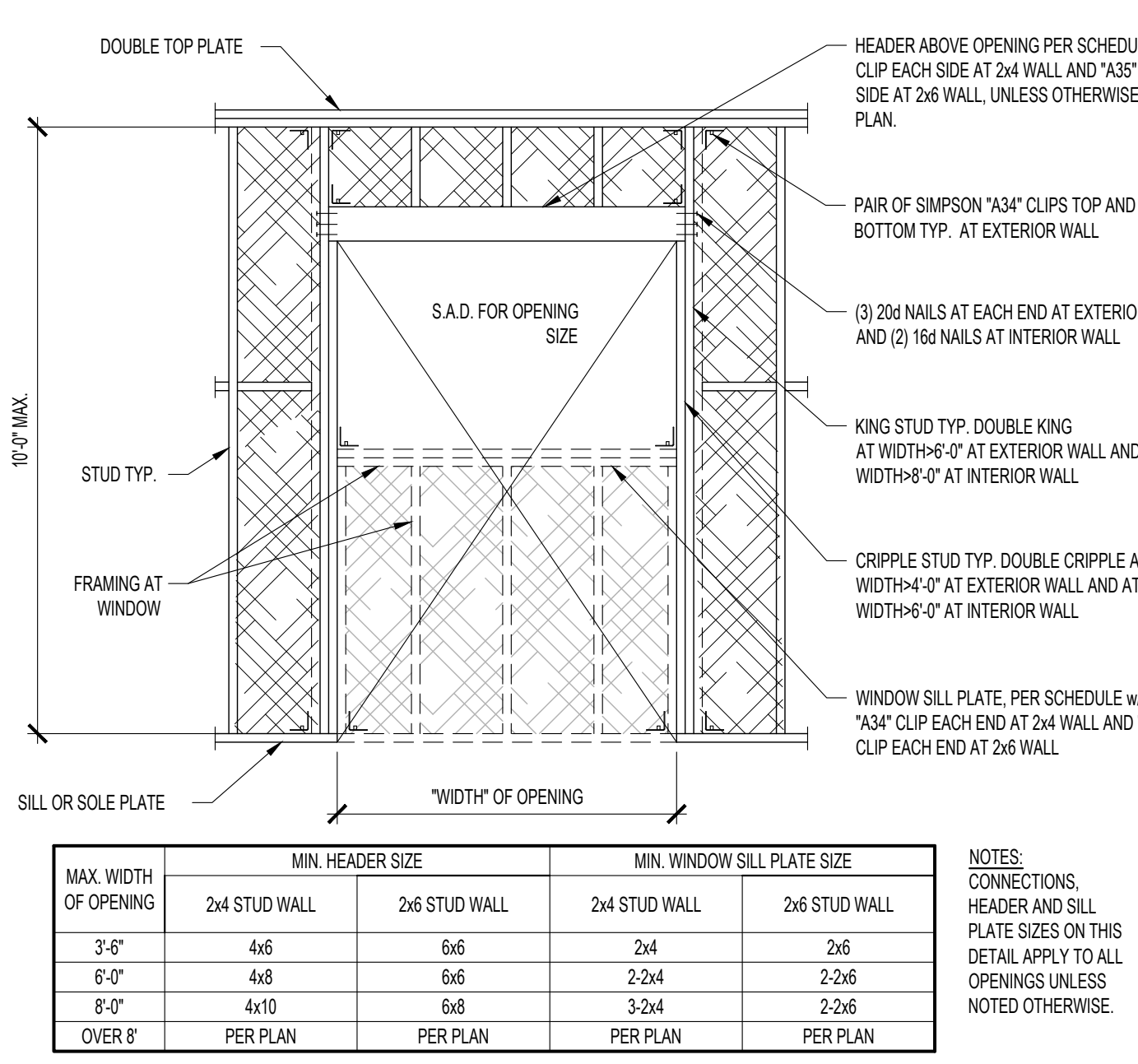
4 HOLES & NOTCHES IN SAWN LUMBER JOISTS
SCALE: N.T.S.



1 TOP PLATE SPLICE
SCALE: N.T.S.



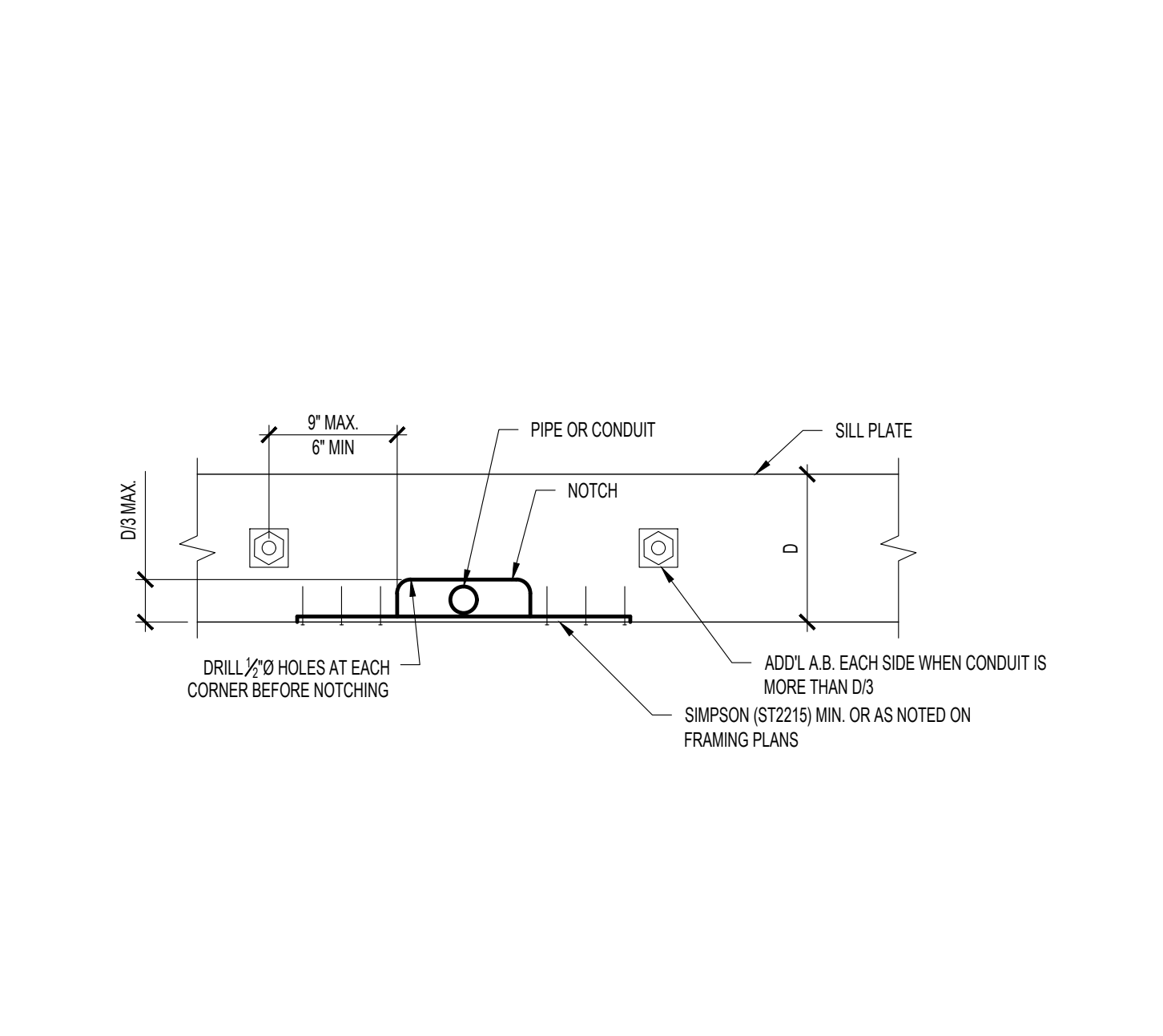
11 STEEL BEAM TO WOOD POST
SCALE: 1"=1'-0"



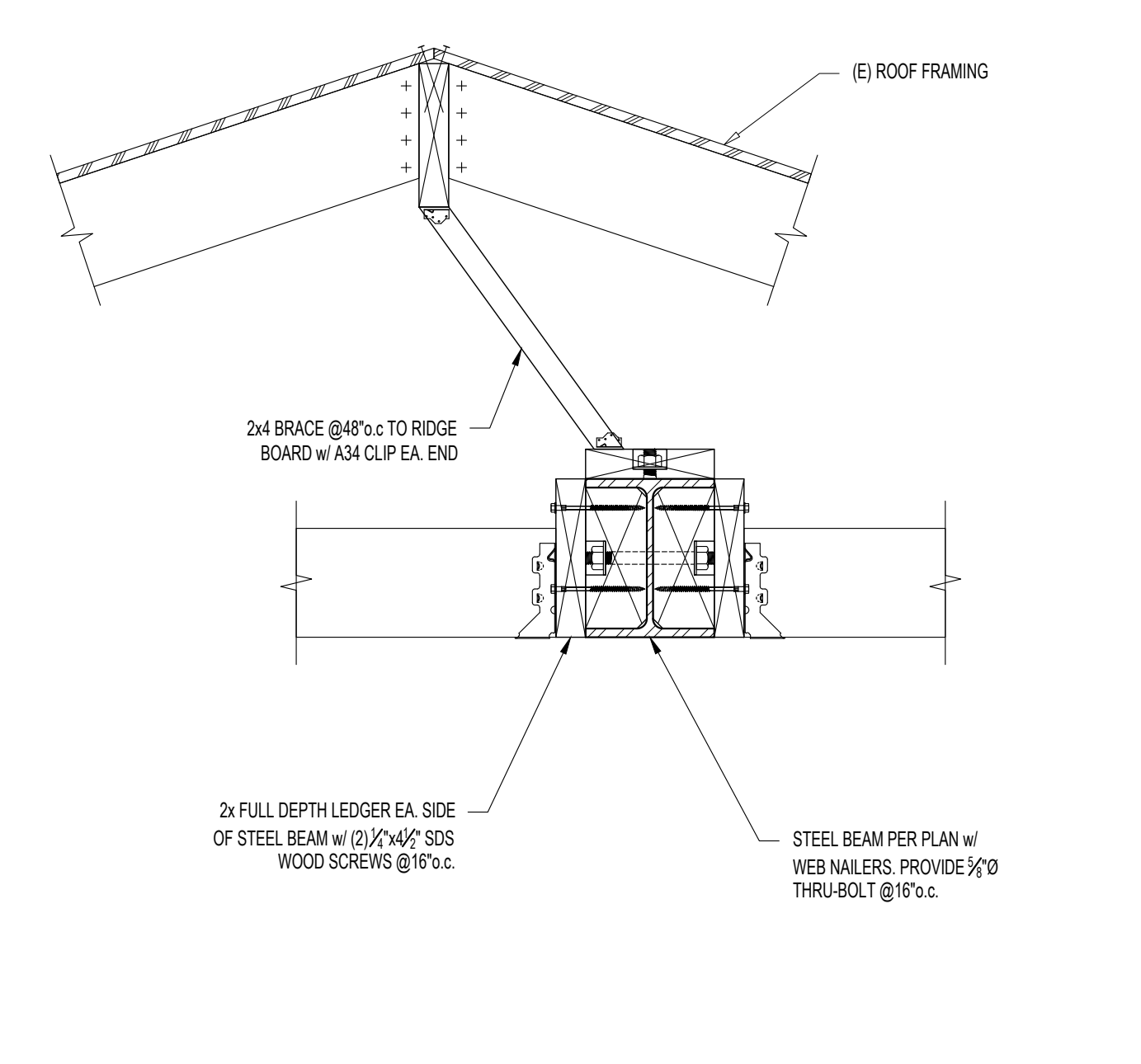
8 TYPICAL OPENING IN STUD WALL
SCALE: N.T.S.

JOIST AND BEAM HANGER SCHEDULE			
JOIST / BEAM	FACE MOUNT HANGER	TOP FLANGE HANGER	CONCEALED FLANGE HANGER
2x12	HU212	HU212TF	LUC210Z
(2) 2x12	LUS210-2	-	-
3x6	HU36	HU36TF	HUC36
4x6	HU46	HU46TF	HUC46
4x8	HU48	HU48TF	HUC48
4x10	HUS410	HUS410TF	HUC410-SDS
4x12	HU412	HUS412TF	HUC412-SDS
3 1/2 x 9 1/2 LSL/PSL	HHUS410	BA3.569.5	HUC410-SDS
3 1/2 x 11 1/2 LSL/PSL	HHUS410	BA3.5611.88	HUC412-SDS
6x10 OR 5 1/2 x 9 1/2 PSL	HGUS5.5010	GLTV5.59	HUC610-SDS
6x12 OR 5 1/2 x 11 1/2 PSL	HGUS5.5012	GLTV5.511	HUC612-SDS
7x9 1/2 PSL	HHUST.2510	GLTV49.5-2	HUC410-2
7x11 1/2 PSL	HHUST.2510	GLTV411.88-2	HUC412-2

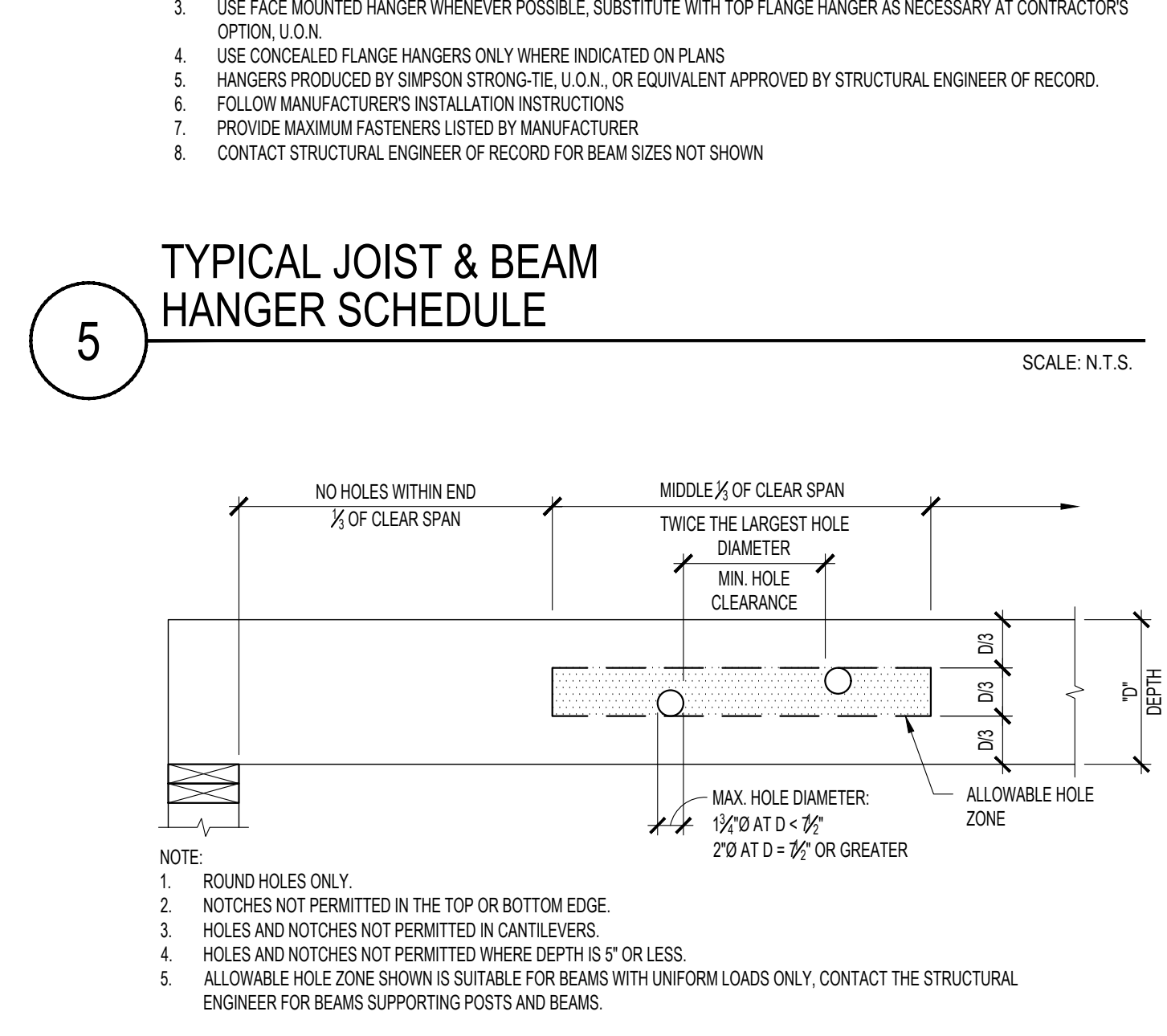
5 TYPICAL JOIST & BEAM HANGER SCHEDULE
SCALE: N.T.S.



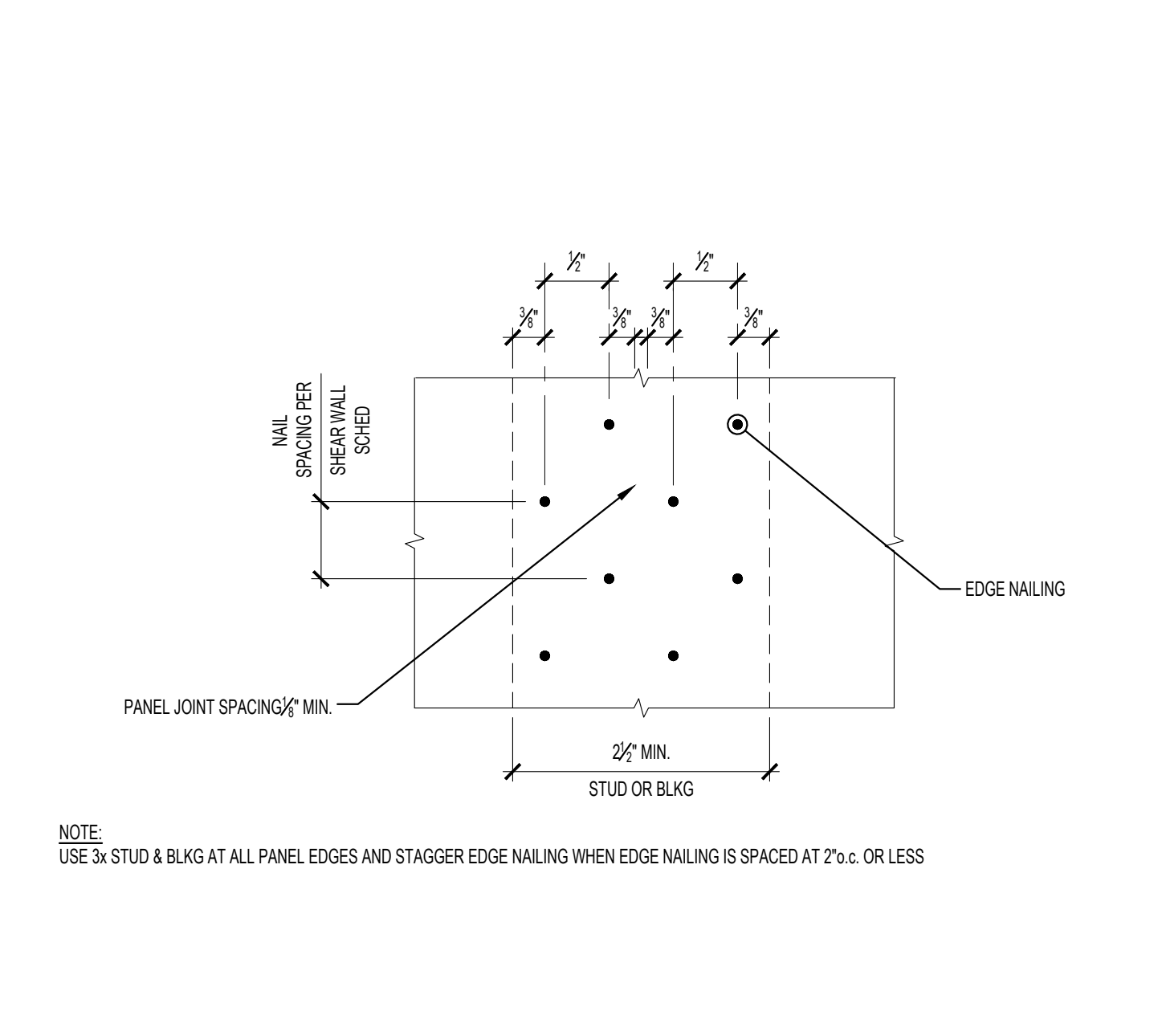
2 HOLES & NOTCHES IN SILL PLATES
SCALE: N.T.S.



9 BEAM AT (E) SHEATHING
SCALE: 1-1/2"=1'-0"



6 HOLES & NOTCHES IN LSL/LVL/PSL
SCALE: 1"=1'-0"



3 STAGGERED PANEL EDGE NAILING
SCALE: 1"=1'-0"

BELL RESIDENCE
 2 POMEROY RD
 ROSS, CA

PROJECT:

TA structural

ENGINEER OF RECORD

PROJECT STATUS: DATE: _____
 PERMIT SUBMITTED: SEPTEMBER 2022

DESIGNED PLANS, DOCUMENTS, AND SPECIFICATIONS REPRESENTED WITHIN THESE DRAWINGS ARE PROPERTY OF TA STRUCTURAL, AND ARE LOANED FOR USE IN CONNECTION WITH THE INDICATED PROJECT. NONE OF THESE PLANS AND DETAILS SHALL BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF TA STRUCTURAL.

PROJECT No. HO36
 DATE: SEPTEMBER 2022
 DRAWN BY: D.T.
 CHECKED BY: D.T.

SHEET TITLE
 DETAILS
 SHEET NUMBER
S400

ATTACHMENT 3



Town of Ross
Planning Department

Post Office Box 320, Ross, CA 94957
 Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950
 www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|---|
| <input type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input checked="" type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input checked="" type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance Amendment |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

1:30 pm Site visit
 March 7th

To Be Completed by Applicant:

Assessor's Parcel No(s): 072-023-15

Project Address: 2 Pomeroy RD Ross CA

Property Owner: Erica & David Bell

Owner Mailing Address (PO Box in Ross): _____

City/State/Zip: Ross CA 94957 Owner's Phone: 908-418-1211

Owner's Email: Ericaashleybell@gmail.com

Applicant: Mark Lounsbury & Erica Bell

Applicant Mailing Address: _____

City/State/Zip: Ross Applicant's Phone: _____

Applicant's Email: Marmstrong@townofross.org

Primary point of Contact Email: Owner Buyer Agent Architect

To Be Completed by Town Staff:

Date Received: _____	Planning 5300 _____
Application No.: _____	Tree Permit 5305 _____
Zoning: _____	Fee Program Administration 5315-05 _____
	Record Management 5112 _____
	Technology Surcharge 5313 _____
Date paid: _____	TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

_____, California on _____

EBell

Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Written Project Description – may be attached.

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

Change existing siding from T-111 to cedar shake.

To be WUI compliant we will install a one hour rated fire barrier behind the cedar shake. This product is "Dens Glass bold" Data sheet is provided in email along with data sheet for cedar shake.

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

ATTACHMENT 4

MINUTES
Meeting of the
Ross Advisory Design Review Group
7:00 PM, Tuesday, March 21, 2023

Video and audio recording of the meeting is available online at the Town's website at:
townofross.org/meetings.

1. 7:00 p.m. Commencement

ADR Group Chair Kruttschnitt called the meeting to order.

Present: Laura Dewar, Josefa Buckingham, and Stephen Sutro

Director Rebecca Markwick and Assistant Planner Alex Lopez-Vega were present representing staff.

2. Approval of Minutes.

The ADR Group minutes were unanimously approved.

3. Open Time for Public Comments

No comments were provided.

4. Planning Applications/Projects

a. Property Address: 28 Walnut Avenue
A.P.N.: 073-171-03
Applicant: Bressack and Wasserman Architects
Property Owner: John and Gabrielle Bressack Gantus
Zoning: R-1:B-10
General Plan: ML (Medium Low Density)
Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval of Demolition and Design Review applications. The project includes remodeling and a renovation of the existing single-family home, removing the office and deck in the side yard setback, replacing the various roof structures with one coherent roof design, and demolition of the carport at Walnut Avenue. New landscaping and hardscape is also being proposed throughout the property

Director Markwick presented the project, as well as the project architect, Phoebe Bressack.

Chris Solle spoke about the project and he was not supportive. Was concerned about the mass and the bulk of the home. Andrew Baskin, Hanson Bridgett LLP spoke on behalf of the owners of 15 Walnut and 10 Olive, he mentioned the email that was sent previously. He indicated that the project applicant did not change anything to the design, instead

changed the permitting strategy. There are still privacy issues for his client into their pool area. would impact his clients privacy. He suggested continuing the item so that the architect can go back to the drawing board. Mathilda Thompson spoke about the project and was supportive of the design, and supports the project.

Joey Buckingham

- Applauds the changes in the fenestration, elimination of the balcony, celebration of the front door.
- Could not come to an agreement about the bridge, thinks it adds to the mass of the project.
- Style changes are positive.
- Could support the bridge if the ADU was reduced in size and it has some character, for example all glazed.

Laura Dewar

- Changing the windows, removing the balcony and the front door are all positive improvements to the house.
- The storage space should be moved to the rear of the garage and follow the natural topography of the site.
- Can recommend the project

Stephen Sutro

- Primary façade looks good
- Likes the bridge, in the buildable area, it does not create bulk and mass
- Overall the home is well designed in the buildable area and supports the project.

Mark Kruttschnitt

- Agrees with all his colleagues.
- Does not like the bridge
- Storage space should be moved.
- Can support the project without the bridge.

b. Property Address: 205 Lagunitas Avenue

A.P.N.: 073-211-40

Applicant and Owner: Lagunitas Country Club

Zoning: R-1:B-A

General Plan: RC (Limited Specialized Recreational/Cultural)

Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval of Design Review to construct a platform tennis court adjacent to the existing court. The proposed design conforms to the American Platform Tennis Association standards and is largely identical to the other courts on site.

Director Markwick presented the project, there were no questions of staff.

Oliver Dibble, representing the Lagunitas Country Club presented the project. The ADR had questions about the material of the rear retaining wall.

Dellie Woodring, a member of the club had a question about the ADA component. Staff indicated that the ADA component would be taken into consideration at the time building permit.

Mark Kruttschnitt

- Looks fine, likes there are no neighbor objections to the lights
- Recommends approval

Stephen Sutro

- Recommends approval with a condition that the retaining walls match the existing or if that is cost prohibitive then plant the walls.

Laura Dewar

- Supports project, agrees with Stephens comments about the retaining walls.

c. Property Address: 101 Upper Road
A.P.N.: 073-022-13
Applicant: EAG Studios
Property Owner: Jessica and Lexi Viripaeff
Zoning: R-1:B-A
General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval for Design Review, Hillside Lot permit, and a Variance. The project is requesting to construct new landscape structures at the single-family residential property. These structures and features include a new pool/spa, pool equipment, patio, firepit, outdoor kitchen, retaining wall, and an outdoor shower. Variances are requested to allow for the construction of new landscape structures within the side and rear yard setback.

Assistant Planner Lopez presented the project. The project architect presented the project over Zoom.

Astrid and Bo Dahlin owners of 11 Upper Road spoke about the project. She owns the shared driveway and is concerned about the mass and bulk of the retaining walls, and the size of the project in relation to the home. She is very concerned about the outdoor shower. She suggested that the pool and decking move closer to the house.

Mark Kruttschnitt

- Project is too separated from the house, too much of the pool and patio are in the setbacks.
- Does not fit into the topography
- Should be within the buildable envelope, project encroaches too much
- Earthtones would be better for the retaining walls.

Steven Sutro

- A pool will fit, and a Variance could work, however there are some recommendations

March 21, 2023 ADR Group Meeting Minutes

- Guardrails on the roof of the ADU creates a nonconformity, they are obtrusive and should be removed
- Walls are too tall on the terrace for the BBQ
- Move outdoor shower
- Remove terrace at the BBQ side
- The fountain wall is too tall, pool equipment should be moved underground
- Material should be more earth toned.

Laura Dewar

- Agree the materials need to be earth toned
- Has questions about the pool, and patio being too far into the setbacks, suggests pulling it in towards the house.
- Likes the green roof however suggests removing the guardrail
- Outdoor shower needs to be moved

Joey Buckingham

- Agrees with her colleagues
- All improvements need to be moved outside of the setbacks
- Can support the pool if it is outside of the setbacks and public space dug into the hill.
- Minimize the portion that is cantilevered over the hill
- Materials should be earth toned.
- Remove the guardrail on the green roof.

d. Property Address: 50 Wellington Avenue
A.P.N.: 072-154-09
Applicant: Imprints Landscape Architecture
Property Owner: Elizabeth and Patrick Quigney
Zoning: R-1:B-10
General Plan: ML (Medium Low Density)
Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval for Design Review, and a Variance Permit. The project is requesting to construct new landscape structures at the single-family residential property. These structures and features include a new patio, 4-foot concrete wall, auto gate, fireplace, arbor structure, and an outdoor kitchen. Variances are requested to allow for the construction of new landscape structures within the side and rear yard setback.

Assistant Planner Lopez presented the staff report. Brad Eigsti representing the property owners presented. There were no public comments.

Joey Buckingham

- beautiful project, supports as drawn.
- Findings can be made for the Variance, no impact to anyone.

Laura Dewar

- These improvements are buried into the hillside, no visual impact to the neighborhood.

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- Question about the TV
- Supports the project.

Mark Kruttschnitt

- Supports the project.
- Agrees with Laura about the TV
- These improvements are built into the topography
- Can support the project.

Steven Sutro

- Supports the project as submitted
- There are existing improvements in the setbacks and these are replacing them.

e. Property Address: 1 El Camino Bueno

A.P.N.: 072-162-14

Applicant: David Bilsker

Property Owner: David Bilsker

Zoning: R-1:B-A

General Plan: VL (Very Low Density)

Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval for Design Review, and a Variance to allow for the construction of a new 8-foot stamped concrete wall along Sir Francis Drake. The new stamped stone pattern wall will replace the existing wood fence.

Assistant Planner Lopez-Vega presented the project. Property owner Bilsker also presented the project.

Mark Kruttschnitt

- Supports the project and the planting on the wall looks great

Stephen Sutro

- Supports as submitted

Joey Buckingham

- Supports the project

Laura Dewar

- Supports the project

f. Property Address: 74 Baywood Avenue

A.P.N.: 072-131-10

Applicant: Paz Studio

Property Owner: Michael and Renad Cieplinski

Zoning: R-1:B-5A

General Plan: VL (Very Low Density)

Flood Zone: X (Moderate Risk)

The applicant requests approval for Design Review, Hillside Lot Permit, an ADU permit, and a Variance. The project includes a new front yard fence and remodeling and renovating the existing single-family home. The project proposes to construct a 1,000 SF Accessory Dwelling Unit (ADU) which requires an ADU Permit. The Variance is required to exceed the allowable floor area and lot coverage. A Variance is also required to construct of a new pool within the side yard setback. New landscaping and hardscape is also being proposed throughout the property.

Assistant Planner Lopez-Vega presented the project. Architect Colleen Paz presented on behalf of the property owners.

ADR member, Laura Dewar recused.

Mark Kruttschnitt

- Supports the project

Joey Buckingham

- Supports the project, beautifully designed

Stephen Sutro

- Likes the dark color
- Pool is well designed
- Fenestration on ADU are small, could be more compatible with the house
- Great Project

g. Property Address: 2 Pomeroy Road

A.P.N.: 072-023-15

Applicant: Mark Lounsbury

Property Owner: Erica and David Bell

Zoning: R-1:B-5A

General Plan: VL (Very Low Density)

Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval for Design Review, and a Demolition Permit. The project includes replacing old windows for new windows, the project also includes replacing the existing siding from T-11 to western red cedar shingles. A demolition permit is required to alter more than twenty-five percent of exterior wall coverings of a residence.

Project Summary: The applicant requests approval for Design Review, Hillside Lot Permit, an ADU permit, and a Variance. The project includes a new front yard fence and remodeling and renovating the existing single-family home. The project proposes to construct a 1,000 SF Accessory Dwelling Unit (ADU) which requires an ADU Permit. The Variance is required to exceed the allowable floor area and lot coverage. A Variance is also required to construct of a new pool within the side yard setback. New landscaping and hardscape is also being proposed throughout the property.

Assistant Planner Lopez Vega presented the project. Project contractor also presented, representing the property owners.

Mark Kruttschnitt

- Supports the project.

Stephen Sutro

- Looks great, supports the project

Joey Buckingham

- Great, supports the project

5. Conceptual ADR

6. Information and Discussion.

7. New Agenda Items.

Adjournment, 9:00 PM.

Next scheduled regular meeting date and time: April 18, 2023, at 7:00 PM.

DRAFT