



Staff Report

Date: April 13, 2023

To: Mayor Kuhl and Council Members

From: Alex Lopez-Vega, Assistant Planner

Subject: Bell Residence, 2 Pomeroy Road

Recommendation

It is recommended that the Town Council adopt Resolution No. 2297 (**Attachment 1**) approving Design Review, and a Demolition Permit for the subject project as described below.

Property Address: 2 Pomeroy Road **A.P.N.:** 072-023-15

Applicant: Mark Lounsbury **Property Owner:** Erica and David Bell

Zoning: R-1:B-5A

General Plan: VL (Very Low Density) **Flood Zone:** X (Moderate Risk)

Project Description:

The applicant is requesting approval for Design Review, and a Demolition Permit. The property at 2 Pomeroy Road is a single-family residence approximately 5,722 SF currently under renovation. The Town of Ross issued building permit B2210-03 for an interior remodel to the existing home at 2 Pomeroy. During the course of construction, the property owners decided they would like to change the existing siding to shingles. The project includes replacing all the existing siding to Western Red Cedar Shingles.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- Design Review Permit is required pursuant to RMC Section 18.41.010 for exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding 200 square feet of new floor area; increase to the existing roof height; and construction, improvements, grading/filling or other site work within 25' of a creek, waterway or drainageway.
- Demolition Permit is required pursuant to RMC Section 18.50.020 to alter more than twenty-five percent of exterior wall coverings of a residence.

Background

The project site is a 96,000 square-foot lot on Pomeroy Road. The lot has a single-family residence which includes a swimming pool, a pool house, and tennis court. The property is home to an extensive collection of trees and mature vegetation.

Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

On March 21, 2023, the Advisory Design Review group (ADR) unanimously recommended that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, recommended approval of Design Review.

Draft minutes of the March 21, 2023, ADR meeting are included as Attachment 4.

Discussion

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code:

Design Review

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve or deny an application for design review. The Town Council shall include conditions necessary to meet the purpose of Design Review

pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))
- The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))
- The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The proposed project is not monumental or excessively large size and is compatible with others in the neighborhood and does not attract attention to themselves. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

Demolition Permit

The "small town" quality and feel of the town are heavily shaped by the attributes, integrity, historical character, and design scale of existing residential and commercial neighborhoods. The preservation, enhancement and continued use of a structure with historic, architectural, cultural and/or aesthetic importance is essential in retaining this community character. The Town Council, after considering citizen and professional input, as necessary, should decide whether a structure may be removed from the neighborhood fabric of Ross.

Pursuant to Section 18.50.20, the proposed project requires a Demolition Permit to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

Staff recommends approval of the Demolition Permit, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The existing property is not designated as a significant architectural, historical, or cultural resource at the local, state, or federal level. The project is consistent with the purpose of Design Review as outlined in Section 18.41.0L0. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; and enhances the area in which the project is located. The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the Single Family Residence and Special Building Site zoning regulations; therefore, the project is recommended to be found consistent with the Ross General Plan and Zoning Ordinance. The project is required to comply with all applicable provisions, measures, and safeguards of the Town's building and safety codes, such that it would not cause detriment or injury to the health, safety, and general welfare of persons residing or working in the neighborhood.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

Alternative actions

- 1. Continue the item to gather further information, conduct further analysis, or revise the project; or
- 2. Make findings to deny the application.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Public Comment

Public Notices were mailed to property owners within 500 feet of the project site 10 days prior to the meeting date and no comments have been received at the time of writing this report.

Attachments

- 1. Resolution No. 2297
- 2. Project Plans
- 3. Project Application and Materials
- 4. Draft ADR Meeting Minutes, March 21, 2023

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2297

RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW, AND A DEMOLITION PERMIT TO CHANGE THE EXISTING SIDING TO SHINGLES FOR 2 POMEROY ROAD, A.P.N. 072-023-15

WHEREAS, applicant Mark Lounsbury, on behalf of property owners Erica and David Bell has submitted an application requesting approval of Design Review, and a Demolition Permit to change the existing siding to shingles at 2 Pomeroy Road APN 072-023-15 (herein referred to as "the Project").

WHEREAS, the Project is determined to be exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination; and

WHEREAS, on April 13, 2023, the Town Council held a duly noticed public hearing to consider the Project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit "A", and approves Design Review, and a Demolition Permit to allow the Project, subject to the Conditions of Approval attached as Exhibit "B".

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 13th day of April 2023, by the following vote:

AYES:		
NOES:		
ABSENT:		
ABSTAIN:		

	P. Beach Kuhl, Mayor	
	•	
ATTEST:		
Cyndie Martel, Town Clerk		

EXHIBIT "A" FINDINGS 2 Pomeroy Road A.P.N. 072-023-15

A. Findings

- I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:
 - a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.

As recommended by the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The site would be kept in harmony with the general appearance of neighboring landscape. Lot coverage and building footprints would be minimized, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. New buildings constructed on sloping land are designed to relate to the natural landforms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site. Buildings would use materials and colors that minimize visual impacts and blend with the existing landforms and vegetative cover, including wood and stone. Good access, circulation and offstreet parking would be provided consistent with the natural features of the site. Open fencing would be aesthetically attractive and not create a "walled-in" feeling or a harsh, solid expanse. Landscaping would be integrated into the architectural scheme to accent and enhance the appearance of the development, including attractive, fire-resistant, native species and replacement trees for trees removed by development. Landscaping would create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire. The Project would maximize permeability and reduce the overall impervious surface coverage on the property, by removing existing impervious surfaces to more than offset the new development, so that the post-development stormwater runoff rates from the site would be no greater than pre-project rates.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The Project is consistent with the allowed uses and general development standards associated with the Very Low-Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

- II. In accordance with RMC Section 18.50.050 (a | , Demolition Permit is approved based on the following mandatory findings:
 - a) The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.

The existing single-family residence and accessory buildings do not possess historical, architectural, cultural, or aesthetic values. Additionally, the existing single family dwelling will not be removed from the site, only the siding is changing.

b) The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town.

As recommended by the ADR Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross.

c) The project is consistent with the Ross general plan and zoning ordinance.

The Project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

d) The project will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the neighborhood and will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood

The Project will avoid detriment to public welfare and material injury to properties in the vicinity by complying with the Design Review criteria and standards (RMC Section 18.41.100) and with the Hillside Lot Regulations (RMC Section 18.39.090).

EXHIBIT "B" CONDITIONS OF APPROVAL 2 Pomeroy Road A.P.N. 072-023-15

- 1. The building permit shall substantially conform to the plans entitled, "Bell Residence" and dated 3/21/2023, and reviewed and approved by the Town Council on April 13, 2023
- 2. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
- 3. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period.
- 4. The Project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
- 5. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
- 6. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
- 7. A Tree Permit shall not be issued until the project grading or building permit is issued.
- 8. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
 - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within

the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.

- b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.
- The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading

activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).

- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- I. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions:

 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely

covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.

- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.

- iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
- 9. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2



MEM INTERIORS 233 ELM AVE, MILL VALLEY CA 94941

2 POMEROY ROAD ROSS, CALIFORNIA BELL

Date: 03/06/2023

CHRIS AUSTIN

PARLETTE

2 POMEROY ROAD, ROSS, CA

PLANNING & ZONING DATA

2 POMEROY ROAD ROSS, CA

ASSESOR'S PARCEL # 072-023-15 TOTAL LOT AREA: 2.2 ACRES AVERAGE SLOPE: 27%

ZONING TYPE: R1_B-5A (PER TOWN OF ROSS)

LAND USE:

LOCAL JURISDICTION (W.U.I.) FIRE CODES: $1 \$ - ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 CFC CHAPTER 7A & 2019 CRC SECTION R337. - ALL VEGETATION AND CONSTRUCTION MATERIALS ARE

TO BE MAINTAINED AWAY FROM THE RESIDENCE DURING CONSTRUCTION. (DEFENSIBLE SPACE) - CLASS 'A' ROOF ASSEMBLY IS REQUIRED. - SEE SHEET AO.1 FOR GENERAL W.U.I. AND FIRE NOTES

FEMA FLOOD ZONE:

SINGLE FAMILY HOME / 1 *CONSTRUCTION TYPE:* V-B; SPRINKLERED - NFPA 13R OCCUPANCY:

CLIMATE ZONE STORIES EXISTING

LOT COVERAGE

MAX POSSIBLE LOT COVERAGE 30% OR 28,000 SQ FT

BLDG LIMITATIONS: <u>REQUIRED</u> FRONT SETBACK 70' REAR SETBACK SIDE YARDS 45' MAX BUILDING HT 30'

(E) BUILDING AREA

4513 SQ FT SECOND FLOOR: 1245 SQ FT TOTAL HOME: 5758 SQ FT POOL HOUSE: 1000 SQ FT TOTAL CONDITIONED SPACE: 6758 SQ FT LOT AREA : 96,000 SQ FT LOT COVERAGE : 7.1 %

ALTERATION /ADDITION

REMODELED AREA: 2533 SQ FT O SQ FT NEW PROPOSED:

(E) PARKING SPACES:

COVERED UNCOVERED

<u>APPLICABLE CODE NOTICE:</u>

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH THE FOLLOWING:

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA FIRE CODE (CFC)
2019 CALIFORNIA RESIDENTIAL CODE (CRC),

1 & 2-FAMILY DWELLINGS ONLY 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA MECHANICAL CODE (CMC),

119 CALIFORNIA GREEN BUILDING STANDÁRDS

2019 CALIFORNIA ENERGY CODE SONOMA COUNTY CODES & ORDINANCES 2019 CALGREEN SONOMA COUNTY

SHEET INDEX:

ARCHITECTURAL:

AO.O COVER SHEET ´ ĞENERAL PROJECT NOTES `

A1.0 (E) / DEMOLITION PLANS A2.0 PROPOSED FLOOR PLAN A3.0 (E) / NEW EXTERIOR ELEVATIONS

A3.1 (E) / NEW EXTERIOR ELEVATIONS

A4.0 RCP - POWER PLAN A5.0 EXTERIOR WINDOW/DOOR SCHEDULE

S100 GENERAL NOTES S200 FRAMING PLANS

S400 DETAILS

A6.0 TITLE 24 A6.1 TITLE 24 STRUCTURAL. S201 FRAMING PLANS S202 FRAMING PLANS

PROJECT CONTACTS

ERICA BELL 2 POMEROY ROAD,

ROSS, CA. 94957 E: ericaashleybell@gmail.com T: 206.953.8263

ARCHITECT & LANDSCAPE DESIGNER

HOLDER | PARLETTE 1010 SIR FRANCIS DRAKE BLVD. #204 KENTFIELD, CA 94904 CONTACT: CHRIS PARLETTE E: chris@holderparlette.com

T: 510.502.1893 STRUCTURAL ENGINEER TA STRUCTURAL

10347 KURT ST SYLMAR, CA 91342 CONTACT: DUANE TRAN E: duane@tastructural.com T: 714-788-6222

<u>SURVEYOR</u> AMERICAN LAND SURVEYING, INC.

316 TENNESSEE AVE, SUITE B MILL VALLEY, CA 94941 T: 415-888-8580

<u>CONTRACTOR</u> TBD

PROJECT DECRIPTION

1) REMODELING KITCHEN, DINING AND LIVING ROOM AREAS 2) RECONFIGURING SOME FIRST FLOOR INTERIOR WALLS 3) NEW WINDOWS AND DOORS TO BE INSTALLED 4) RELOCATED KITCHEN APPLIANCES AND FIXTURES

5) (E) WOOD BURNING FIREPLACES TO BE REMOVED 6) NEW DECORATIVE NG FIRE PLACE IN LIVING ROOM 7) NEW KITCHEN APPLIANCES AND FIXTURES 8) FIRST FLOOR TO HAVE UPGRADED ELECTRICAL.

SCOPE OF WORK, WHICH INCLUDES CHANGES IN EXTERIOR WALL SURFACES, WILL BE ON THE FIRST FLOOR ONLY. PROJECT INCLUDES INTERIOR WALL CHANGES AND NEW WINDOW AND DOOR INSTALLATION. (E) STRUCTURAL FOOTPRINT TO REMAIN UNCHANGED. ALTERED FIRST FLOOR AREAS WILL HAVE NEW ELECTRICAL, NEW FIXTURES, AND NEW FINISHES.

GENERAL PROJECT REQUIREMENTS:

- MAINTAIN PROPERTY FREE OF HAZARDOUS VEGETATION. DEFENSIBLE SPACE SHALL BE CREATED AND MAINTAINED PER GUIDELINES POSTED AT WWW.ROSSVALLEYFIRE.ORG.

ADDRESS NUMBERS AT LEAST 4" TALL MUST BE IN PLACE ADJACENT TO THE FRONT DOOR. IF NOT CLEARLY VISIBLE FROM THE STREET, ADDITIONAL NUMBERS ARE REQUIRED. RESIDENTIAL NUMBERS MUST BE INTERNALLY ILLUMINATED (BACKLIT). PLACED TO A LIGHT OR BE REFLECTIVE NUMBERS. IF YOUR PROJECT IS A NEW HOUSE OR SUBSTANTIAL REMODEL, THEY MAY ONLY BE INTERNALLY ILLUMINATED OR ILLUMINATED AN ADJACENT LIGHT CONTROLLED BY A PHOTOCELL AND SWITCHED ONLY BY A BREAKER SO IT WILL REMAIN ILLUMINATED ALL NIGHT. IF NOT CURRENTLY AS DESCRIBED, THEY MUST BE INSTALLED AS PART OF THIS PROJECT.

- SEE SHEET AO.1 FOR ADDITIONAL GENERAL NOTES.

DEFERRED SUBMITTALS

THE FOLLOWING ARE TO BE PROVIDED AS A DEFERRED SUBMITTAL TO THE ROSS VALLEY FIRE

FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING WHICH COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) **13-R** AND LOCAL STANDARDS. SEPARATE DEFERRED PERMITS SHALL BE REQUIRED FOR THESE SYSTEMS. PLANS AND SPECIFICATIONS FOR THE SYSTEM SHALL BE SUBMITTED BY AN INDIVIDUAL OR FIRM LICENSED TO DESIGN AND /OR DESIGN-BUILD SPRINKLER SYSTEMS. PROVIDE AS DEFERRED SUBMITTAL TO ROSS VALLEY FIRE DEPARTMENT (RVFD).

- A VEGETATION MANAGEMENT PLAN (VMP) DESIGNED IN ACCORDANCE WITH ROSS VALLEY FIRE STANDARD #220 IS REQUIRED FOR THIS PROJECT. A SEPARATE DEFERRED FIRE PERMIT IS REQUIRED FOR THIS PLAN. PLEASE SUBMIT DIRECTLY TO THE FIRE DEPARTMENT FOR REVIEW. PROVIDE AS DEFERRED SUBMITTAL TO ROSS VALLEY FIRE DEPARTMENT (RVFD).

<u>VICINITY MAP</u>

2 POMEROY ROAD

ASSESSOR'S MAP PARCEL ONE

AERIAL VIEW





(E) PLOT SURVEY
SCALE: 1/32"=1'-0"

BUILDING ADDRESSING

ADDRESS NUMBERS AT LEAST 4" TALL MUST BE IN PLACE ADJACENT TO THE FRONT DOOR. IF NOT CLEARLY VISIBLE FROM THE STREET, ADDITIONAL NUMBERS ARE REQUIRED. RESIDENTIAL NUMBERS MUST BE INTERNALLY ILLUMINATED (BACKLIT), PLACED TO A LIGHT OR BE REFLECTIVE NUMBERS. IF YOUR PROJECT IS A NEW HOUSE OR SUBSTANTIAL REMODEL, THEY MAY ONLY BE INTERNALLY ILLUMINATED OR ILLUMINATED BY AN ADJACENT LIGHT CONTROLLED BY A PHOTOCELL AND SWITCHED ONLY BY A BREAKER SO IT WILL REMAIN ILLUMINATED ALL NIGHT. IF NOT CURRENTLY AS DESCRIBED, THEY MUST BE INSTALLED AS PART OF THIS PROJECT.

NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE ADDRESS NUMBERS SHOULD BE POSTED ON THE HOUSE, IF THE HOUSE SITS BACK FROM THE STREET, POST THE ADDRESS AT THE BEGINNING OF THE DRIVEWAY, ALONG THE DRIVEWAY (IF TURNS) AND ON THE HOUSE. WHERE MULTIPLE ADDRESSES EXIST ALONG THE SAME ACCESS THEY SHALL BE MOUNTED ON A SINGLE POST. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND AT A MINIMUM BE 4-INCHES IN HEIGHT WITH A ½ INCH STROKE. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS.

ADDRESS NUMBERS SHALL BE ILLUMINATED, INTERNALLY OR EXTERNALLY, DURING THE NIGHT TIME HOURS.

ALL NUMBERS OR LETTERS USED AS PART OF THE REQUIRED ADDRESS SIGN SHALL BE DISPLAYED IN A HORIZONTAL FORMAT. WHEN NUMBERS ARE USED AS PART OF THE ADDRESS , THE NUMBERS SHALL BE DIPLAYED BY USING NUMBERICAL CHARACTERS AND NOT BY USING LETTERS TO SPELL THE

WILDLAND-URBAN INTERFACE (WUI)

THIS PROJECT TO COMPLY WITH CRC SECTION R337 AND CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A, RELATING TO ALL **ELEMENTS APPLICABLE TO:**

EXTERIOR WALLS: THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE SHALL BE OF NONCOMBUSTIBLE MATERIAL. OR IGNITION-RESISTANT MATERIAL, OR HEAVY TIMBER OR LOG WALL CONSTRUCTION. CBC 707A.3

EXTENT OF EXTERIOR WALL COVERING: EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF. TERMINATING AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR TERMINATING AT THE ENCLOSURE OF ENCLOSED EAVES. CBC 707A.3.1

OPEN ROOF EAVES: THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL. OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF A1-HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC 707A.4

ENCLOSED ROOF EAVES AND ROOF EAVE SOFFITS: THE EXPOSED UNDERSIDE OF EAVES AND SOFFITS SHALL BE PROTECTED BY NONCOMBUSTIBLE MATERIAL, OR IGNITION- RESISTANT MATERIAL. OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF A1-HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC

EXTERIOR PORCH CEILINGS: THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY NONCOMBUSTIBLE MATERIAL. OR IGNITION-RESISTANT MATERIAL. OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF A1-HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC

FLOOR PROJECTIONS: THE EXPOSED UNDERSIDE OF A CANTILEVERED FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AN EXTERIOR WALL SHALL BE PROTECTED BY NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL, OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF A1- HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC 707A.7.

UNDERFLOOR PROTECTION: THE UNDERFLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE OR THE UNDERSIDE OF THE EXPOSED UNDER FLOOR SHALL CONSIST OF NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL, OR 1 LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF A1-HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CBC 707A.8.

<u>DECKING:</u> THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WHEN LOCATED WITHIN 10 FEET OF THE BUILDING SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIAL. OR EXTERIOR FIRE RETARDANT TREATED WOOD, OR NONCOMBUSTIBLE MATERIAL. CBC 709A.3

FIRE NOTES

NEW ROOF GUTTERS ARE TO BE PROVED WITH MEANS TO PREVENT ACCUMULATION OF DEBRIS. CBC 705A.4.

EXTERIOR COVER: REPLACEMENT OF EXTERIOR COVER ARE TO MEET STANDARDS OF CBC 707A.3.

ROOFING: CONFORM TO CBC 705A. ALL NEW ROOFING TO BE CLASS "A" MINIMUM.

FIRE BLOCKING IS REQUIRED TO PROVIDE A SEPARATION BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, IN WALLS AT STAIR STRINGERS (TOP & BOTTOM), AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND AT OPENINGS AROUND DUCTS, VENTS, PIPES AND FLUE CHASES. FIRE BLOCKING SHALL BE PROVIDED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. CBC 717.2.2.

PRIOR TO OCCUPANCY, A SPARK ARRESTOR SHALL BE INSTALLED ON THE CHIMNEY(S) 3/8" MESH MINIMUM.

FIRE DEPARTMENT AND CITY PERSONNEL SHALL BE GRANTED ACCESS TO PRIVATE DRIVEWAYS AND PRIVATE ROADWAYS IN ORDER TO ENFORCE APPLICABLE ORDINANCES RELATED TO FIRE CODES, MUNICIPAL AND PENAL CODES PERTAINING TO MAINTAINING ROAD ACCESS FOR EMERGENCY VEHICLES.

FINAL OCCUPANCY APPROVAL SHALL NOT BE GRANTED BY THE FIRE DEPARTMENT UNLESS ALL CONDITIONS HAVE BEEN MET.

TO AVOID INSPECTION DELAYS BY THE FIRE DEPARTMENT, ALL REQUESTS MUST BE MADE AT LEAST 48 HOURS IN ADVANCE.

ALL PERMITS AND/OR INSPECTION FEES REQUIRED BY THE FIRE DEPARTMENT SHALL BE PAID IN FULL PRIOR TO FINAL OCCUPANCY BEING GRANTED.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2019 EDITIONS OF THE CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FLRE CODE, CALIFORNIA ENERGY CODE. AND CALIFORNIA GREEN BUILDING STANDARDS CODE. AS MINIMUM REQUIREMENTS, IN ADDITION TO ALL APPLICABLE LOCAL AMENDMENTS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL BUILDING SYSTEMS INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, STRUCTURAL, LANDSCAPE/DRAINAGE, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE SUPPRESSION SYSTEMS, WITH PARTICULAR ATTENTION PAID TO THE COORDINATION OF FRAMING WITH ELECTRICAL & MECHANICAL SYSTEMS.

3. THE GENERAL CONTRACTOR SHALL CALL FOR ALL ARCHITECTURAL, STRUCTURAL AND GOVERNMENTAL INSPECTIONS AS REQUIRED, AND AS IN THE SPECIFICATIONS, PROVIDE 10 DAY MIN. NOTICE FOR ALL SITE REVIEWS BY ARCHITECT/ENGINEER.

4. OBSERVATION BY THE STRUCTURAL ENGINEER IS REQUIRED FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.

5. ALL MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND AS DESCRIBED IN THE SPECIFICATIONS. SUBSTITUTIONS OF MATERIALS OR EQUIPMENT FOR THOSE DESIGNATED MAY BE MADE ONLY UPON APPROVAL OF THE ARCHITECT.

6. THE CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. NO CLAIM FOR ADDITIONAL FEES WILL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION, DRAWINGS OF EXISTING SITE CONDITIONS ARE TO BE USED AS GUIDELINES.

7. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN VARIOUS PARTS OF THE CONSTRUCTION DRAWING SET SHALL BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH CONSTRUCTION.

8. WRITTEN DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALED DIMENSIONS AND LINE DRAWINGS. DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT FOR ADDITIONAL DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF FRAMING, OR TOP OF BEARING, U.O.N. ALL DIMENSIONS NOTED AS CLR OR CLEAR ARE FROM FINISHES. CONTRACTOR TO VERIFY ALL SPECIFIED DIMENSIONS IN THE FIELD. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.

9. CONTRACTOR SHALL REVIEW FRAMING LAYOUT IN FIELD WITH ARCHITECT PRIOR TO CONSTRUCTION.

10. WHERE DETAILS ARE NOT SPECIFICALLY INDICATED, SIMILAR DETAILS (OR DESCRIPTION) SHALL APPLY.

11. CONTRACTOR SHALL ENDEAVOR TO REDUCE CONSTRUCTION WASTE AND DISPOSE OF DEMO AND CONSTRUCTION WASTE MATERIALS AT RECYCLING AND REUSE FACILITIES WHEN POSSIBLE. SORT ALL CONSTRUCTION WASTE MATERIAL FOR RECYCLING (SEPARATE PILES FOR DIFFERENT TYPES OF MATERIALS) AND HAUL TO APPROPRIATE WASTE RECYCLING FACILITIES. THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AT THE END OF THE JOB AND DISPOSE OF IT LEGALLY, CLEAN ALL NEW WINDOWS, AND LEAVE THE JOB BROOM CLEAN.

12. WHEN STAKING BY A LICENSED LAND SURVEYOR IS NOT REQUIRED BY THE AUTHORITY HAVING JURISDICTION, CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING PRIOR TO CONSTRUCTION TO ESTABLISH FOUNDATION LOCATION AND VERIFY FOUNDATION LOCATION ACCURATELY REFLECTS SITE PLAN REQUIREMENTS.

13. REFER TO THE GEOTECHNICAL REPORT, DATED JULY 25, 2015, PREPARED BY EARTH INVESTIGATIONS CONSULTANTS, INC. ALL FOUNDATION RECOMMENDATIONS OF THE GEOTECHNICAL

14. REFER TO TITLE 24 ENERGY COMPLIANCE CALCULATIONS PREPARED BY NRG COMPLIANCE. PROJECT TO CONFORM TO MIN. REQUIREMENTS SHOWN IN REPORT BUT IN MOST CASES DRAWINGS AND SPECS SHOW HIGHER LEVELS OF COMPLIANCE.

15. THE CONSTRUCTION SITE MUST BE MAINTAINED IN A RESPONSIBLE MANNER. EVERY EFFORT SHOULD BE MADE TO LOCATE PORTABLE TOILETS, CONSTRUCTION MATERIALS, STORAGE CONTAINERS, AND EQUIPMENT ON PRIVATE PROPERTY AND SCREENED FROM NEIGHBORS AND THE STREET. ALL HAZARDOUS MATERIALS MUST BE STORED IN A SECURE LOCATION AND PER MANUFACTURER'S INSTRUCTIONS.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEFERRED SUBMITTALS WITH THE AUTHORITY HAVING JURISDICTION.

VARY PER LOCAL JURISDICTION.

17. SIDING UNDERLAYMENT: FOR ALL WOOD, COMPOSITE WOOD OR CEMENT BOARD SIDING PROVIDE UNDERLAYMENT OF 1/2" DENS-SHIELD OR EQUAL TO PROVIDE FIRE PROTECTION PER LOCAL BUILDING DEPARTMENT REQUIREMENTS. VERIFY REQUIREMENTS WITH INSPECTOR AS REQUIREMENTS CAN

18. UNLESS OTHERWISE NOTED, ALL DOOR AND WINDOW SIZES INDICATED IN PLANS AND ELEVATIONS ARE NET SIZES (AS OPPOSED TO ROUGH OPENINGS). CONTRACTOR IS TO BUILD FROM FINAL, APPROVED LIST OF ROUGH OPENINGS PROVIDED BY MANUFACTURER.

19. PRIOR TO ORDERING ANY PRODUCTS OR MATERIALS, ARCHITECT SHALL REVIEW AND PROVIDE EXPLICIT WRITTEN SIGN OFF.

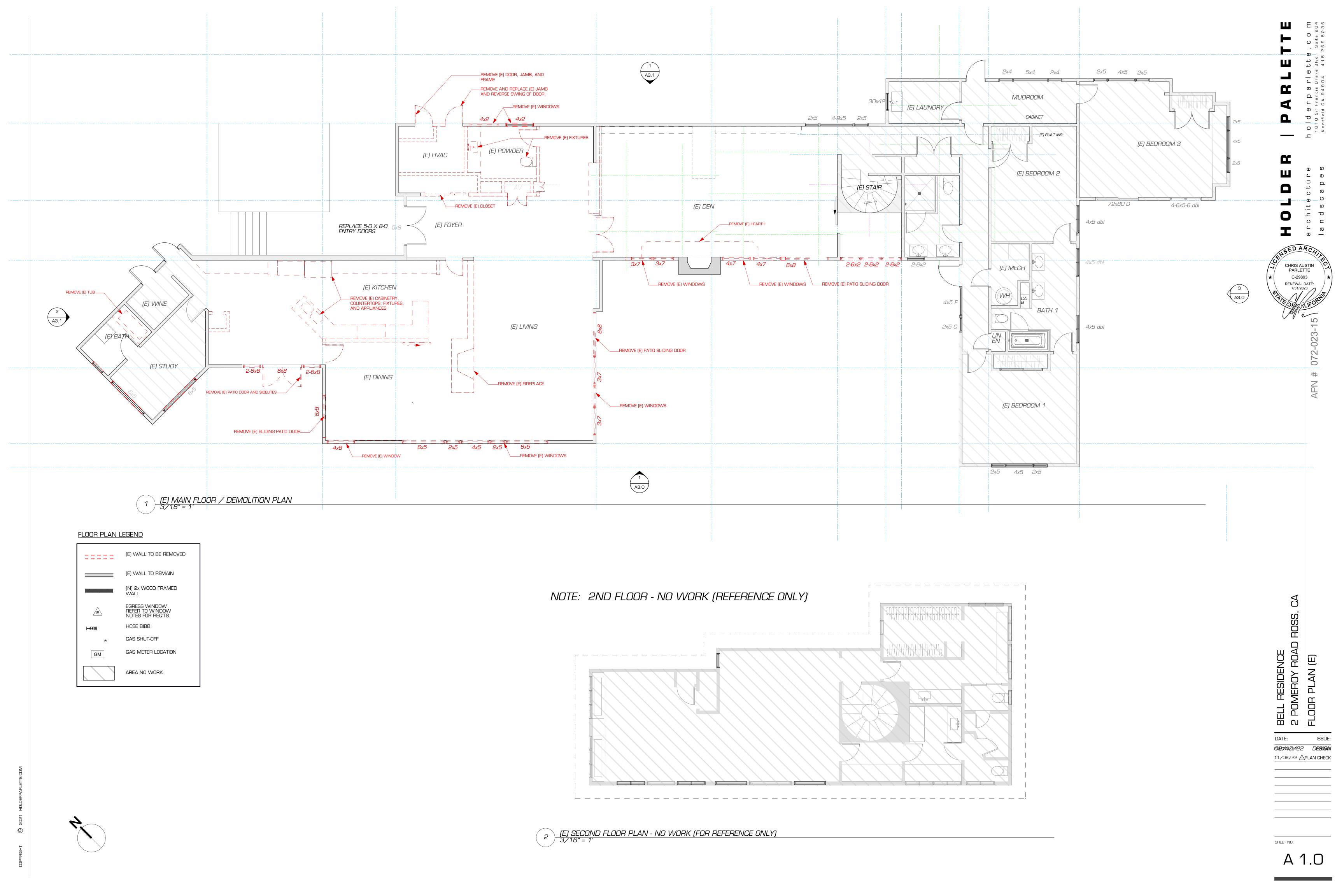
20. NOTE: MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION

C GED ARCH CHRIS AUSTIN PARLETTE C-29893 RENEWAL DATE: 7/31/2023

 \Box

DATE: 09/30/22





OPERATED EXHAUST FAN A MINIMUM VENTILATION RATE OF VENTED TO EXTERIOR OF BUILDING, AS REQUIRED PER CMC

OPERATING KITCHEN FAN THE FAN MUST OPERATE AT 5 AIR

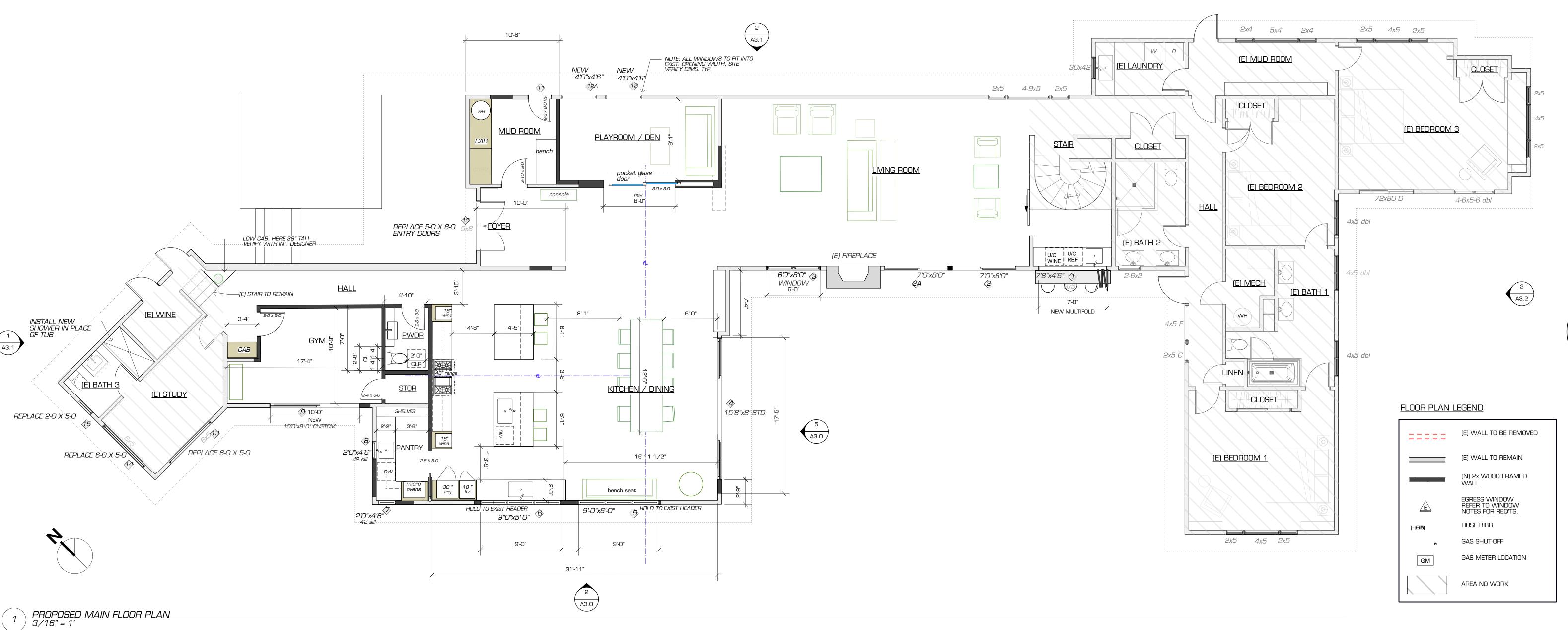
(D) IF THE KITCHEN IS EQUIPPED WITH CONTINUOUSLY



ROSS, ROAD

OSED

DATE: 09/30/22



GENERAL REQUIREMENTS

EXTERIOR OPENINGS:

A. EXTERIOR OPENING PROTECTION: AIR EXHAUST & INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSIVE-RESISTANT SCREENS, LOUVERS OR GRILLES HAVING AN OPENING SIZE OF NOT LESS THAN 1/4" & A MAXIMUM OPENING SIZE 1/2" IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGÁINST LOCAL WEATHER CONDITIONS. OUTDOOR AIR EXHAUST & INTAKE OPENINGS SHALL MEET THE PROVISIONS FOR EXTERIOR WALL OPENING PROTECTION IN ACCORDANCE WITH THIS CODE. CRC R303.6

B. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES @ EXTERIOR WALLS SHALL BE PROTECTED AGAINST PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONC. MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING

PLUMBING REQUIREMENTS

GENERAL PLUMBING CRITERIA

P1. ALL PLUMBING CLEANOUTS SHALL BE LOCATED WITHIN 20 FT. OF A CRAWLSPACE ACCESS POINT OR WILL BE RUN TO THE NEAREST OUTSIDE WALL.

P 2. PROVIDE APPROVED NON-REMOVABLE BACKFLOW

PREVENTION DEVICES AT ALL NEW HOSEBIBS PER CPC SECTION

P3. IF A PRESSURE REGULATOR OR ANY DEVICE THAT PREVENTS PRESSURE RELIEF THROUGH THE BUILDING SUPPLY IS INSTALLED. AN EXPANSION TANK IS REQUIRED FOR THE WATER TANK

P5. NO BUILDING SEWER OR OTHER DRAINAGE PIPE, OR PART THEREOF CAN BE CONSTRUCTED OF MATERIALS OTHER THEN CAST IRON, COPPER, STAINLESS STEEL 316L, SCHEDULE 40 ABS DWV, SCHEDULE 40 PVC DWV, OR EXTRA STRENGTH VITRIFIED CLAY PIPE WHEN INSTALLED UNDER OR WITHIN 2' OF ANY BUILDING OR STRUCTURE, OR LESS THAN 1' BELOW THE SURFACE OF THE GROUND. THE MINIMUM DEPTH OF THE BUILDING SEWER S 12" BELOW GRADE TO THE TOP OF THE PIPE. GALVANIZED STEEL, GALVANIZED WROUGHT IRON AND STAINLESS STEEL 304 CANNOT BE USED UNDERGROUND AND MUST BE AT LEAST 6" ABOVE GROUND. CPC 701.1

P7. PLASTIC PIPE AND FITTINGS, OTHER THAN THOSE USED FOR GAS, SHALL MEET THE REQUIREMENTS OF NATIONAL SANITATION FOUNDATION 14.

ALL PIPE, TUBE, FITTINGS, SOLVENT, CEMENT, THREAD SEALANT, SOLDER, AND/OR FLUX USED IN POTABLE WATER SYSTEMS INTENDED TO SUPPLY DRINKING WATER SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF NATIONAL SANITATION FOUNDATION 61.

TOILET DESIGN CRITERIA

P11 TOILET WATER CLEARANCE REQT'S — SIDE MUST BE 30" CLEAR, AND 15" CLEAR TO WALLS ON EITHER SIDE MEASURED FRÓM CENTERLINE.

P12 MIN FLOOR CLEARANCE OF 24 INCHES REQUIRED FROM RIM OF TOILET TO ANY BARRIER

<u>CAL GREEN WATER FLOW RATE REQT'S.</u>

NEW INSTALLATION FLOW RATES
PER CAL GREEN 4.303.1

NEWLY INSTALLED PLUMBING FIXTURES SHALL BE WATER-CONSERVING IN COMPLIANCE WITH THE CALGREEN BUILDING & PLUMBING CODES.

-WATER CLOSETS SHALL NOT EXCEED 1.28 GPF —SHOWERHEADS SHALL NOT EXCEED 1.8 GPM (SEE NOTES BELOW FOR MULTIPLE HEADS)

—LAV FAUCETS SHALL NOT EXCEED 1.2 GPM -KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM

EXISTING FIXTURES: EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL LIKEWISE BE REPLACED (IF NECESSARY) IN ORDER TO COMPLY AS FOLLOWS:

-WATER CLOSETS AT 1.28 GPF —SHOWERHEADS AT 1.8 GPM —LAVATORY FAUCETS AT 1.2 GPM —KITCHEN FAUCETS AT 1.8 GPM

PLUMBING FIXTURES AND FITTINGS

REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, & SHALL MEET THE APPLICABLE REFERENCED STANDARDS.

BATHROOMS:

EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MÉCHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL AND SHALL COMPLY WITH THE FOLLOWING: (CRCR303.3.1)

BATHROOM EXHAUST FANS SHALL COMPLY WITH CALGREEN SECTION 4.506.1 REQUIREMENTS.

B. EACH BATHROOM IS REQUIRED TO HAVE A DEDICATED EXHAUST FAN DUCTED TO THE OUTSIDE.

C. IF THE BATHROOM IS EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN THE MINIMUM VENTILATION RATE OF 50 CFMS IS REQUIRED, ENERGY STAR COMPLIANT, WITH HUMIDITY CONTROL.

D. IF THE BATHROOM IS EQUIPPED WITH CONTINUOUS OPERATED EXHAUST FAN IT MUST OPERATE AT A MINIMUM VENTILATION RATE OF 20 CFMS.

THE EXHAUST FANS ARE TO BE OPERATED BY THE OCCUPANT, USUALLY A WALL SWITCH OR SOME OTHER TYPE OF CONTRÓL (OCCUPANCY SENSOR) THAT IS ACCESSIBLE AND OBVIOUS. NOTE THAT THE EXHAUST FAN CONTROL MUST BE SWITCHED SEPARATELY FORM ANY LIGHT.

BATHROOM EXHAUST FAN(S) MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE PER CGBS 4.506.1

A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO INTEGRAL (I.E., BUILT IN).

WATER CLOSET COMPARTMENTS NOT EQUIPPED WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQUARE FEET SHALL HAVE MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CFM. (CRC R303.3)

EXHAUST FAN SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. (CBEES SEC. 150.0(K)2B)

ENERGY COMPLIANCE PLUMB'G & MECH:

EN1. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.0 (J)2III

EN2. ALL HOT WATER PIPES FROM THE HEATING SOURCE TO ALL FIXTURES SHALL BE INSULATED W/CONTINUOUS R6 FOAM INSULATION @ ALL ACCESSIBLE AREAS

EN3. HOUSE MUST COMPLY WITH THE FOLLOWING PER THE 2019 RESIDENTIAL COMPLIANCE MANUAL 150.0(N):

A. A GAS SUPPLY LINE WITH THE CAPACITY TO PROVIDE A MINIMUM OF 200,000 BTU/HR TO THE WATER HEATER SHALL BE INSTALLED.

B. A CATEGORY III, IV, OR A TYPE B VENT WITH A STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS LOCATED SHALL BE INSTALLED.

C. A CONDENSATE DRAIN THAT IS A MAXIMUM OF TWO (2) INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER THAT ALLOWS NATURAL DRAIN WITHOUT PUMP ASSISTANCE SHALL BE INSTALLED.

<u>HVAC REQUIREMENTS</u>

<u>REGISTERS:</u>

1. ALL SUPPLY AND RETURN AIR REGISTER LOCATIONS MUST BE APPROVED BY DESIGNER PRIOR TO INSTALLATION

2. PROVIDE SUBMITTALS OF ALL GRILLS FOR APPROVAL

<u>DUCT SYSTEMS:</u>

DUCT SYSTEMS ARE SIZED & DESIGNED & EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS: ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ÁNSI / ACCA 2 MANUAL J-2016 OR EQUIVALENT SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2016 OR EQUIVALENT SELECT HEATING & COOLING EQUIPMENT ACCORDING TO

ÁNSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT.

HVAC SYSTEM TESTING: RESIDENTIAL HVAC SYSTEMS BOTH EXISTING AND NEW AND WHOLE-BUILDING FAN IS CONTINUOUS OPERATION OR PARTS THEREOF SHALL BE INSPECTED IN ACCORDANCE WITH ACCA 4 QM.

THE OWNER OR THE OWNER'S DESIGNATED AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF MECHANICAL SYSTEMS AND EQUIPMENT. TO DETERMINE COMPLIANCE WITH THIS SUBSECTION, THE AHJ SHALL BE PERMITTED TO CAUSE AN HVAC SYSTEM TO BE REINSPECTED. CMC 102.4.2 HVAC SYSTEM INSTALLERS TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

HVAC UNIT LOCATION NOTES:

SERVICE OUTLET. PROVIDE A 120V RECEPTACLE WITHIN THE AREA OF THE HVAC UNIT, LESS THAN 25 FEET AWAY. (CMC 908)(CEC 210.63)

B. LIGHTING: PROVIDE LIGHTING FIXTURE NEAR THE HVAC SYSTEM, WITH A SWITCH AT THE ACCESS OPENING (CMC 908)

PROVIDE HIGH AND LOW VENTS IN MECHANICAL SPACE FOR COMBUSTION AIR REQ'TS.

D: PROVIDE INDOOR COMBUSTION AIR MECHANICAL EQUIPMENT AS REQUIRED PER CMC SECTION 701.

MECHANICAL SYSTEM AIR FILTERS SHALL HAVE A DESIGNATED

MECH. SYSTEM AIR FILTERS:

EFFICIENCY EQUAL TO OR GREATER THAN MERV 13. SYSTEMS SHALL BE EQUIPPED WITH AIR FILTERS THAT MEET EITHER SUBSECTION I OR II BELOW I) NOMINAL 2" MIN. DEPTH FILTER(S) OR II) NOMINAL ONE INCH MIN. DEPTH FILTER(S) SHALL BE ALLÓWED IF THE FILTER(S) ARE SIZED ACCORDING TO EQUATION 120.1-A, BASED ON A MÁXIMUM FACE VELOCITY OF 150 FT/MIN.

<u> ATTIC ACCESS:</u>

PROVIDE MIN 18" X 24" CEILING ACCESS MEASURED AT ROUGH OPENING. IF MECH. UNIT IS INSTALLAED IN ATTIC, ROUGH OPENING MUST BE 24" X24" OR LARGER THAN THE UNIT.

<u>WHOLE-BUILDING VENTILATION:</u>

IN ADDITION TO THE BATHROOM AND KITCHEN EXHAUST FAN, AN EXHAUST FAN SHALL BE SIZED TO PROVIDE VENTILATION FOR THE WHOLE HOUSE.

THE CONDITIONED FLOOR AREA AND THE NUMBER OF BEDROOMS IN THE HOME WILL DETERMINE THE MINIMUM VENTILATION RATE. PLEASE SEE EQUATION 4-1, TABLE 4-14, FOR CONTINUOUS

WHOLE-BUILDING VENTILATION RATE AND EQUATION 4-7, AND TABLE 4-15 FOR INTERMITTENT FAN OPERATION OF THE 2019 RESIDENTIAL ENERGY MANUAL FOR METHODS TO BE USED FOR CALCULATING THE REQUIRED VENTILATION RATE IF INTERMITTENT FAN OPERATION.

HVAC CONTRACTOR SHALL PROVIDE CALCULATIONS, VENTILATION REQUIREMENTS, AND INDICATED FAN(S) THAT ARE INTENDED TO MEET THE WHOLE-BUILDING VENTILATION REQUIREMENTS, AT 1ST INSPECTION

KITCHEN EXHAUST HOOD

THE KITCHEN EXHAUST SYSTEM MUST COMPLY WITH ASHRAE 62.2 REQUIREMENTS.

[A] THE KITCHEN RANGE HOOD MUST BE HVI RATED & LIMITED TŌ 3 SONE. THE MIN. AIRFLOW AS SPECIFIED BY ASHRAE 62.2

(B) EACH KITCHEN IS REQUIRED TO HAVE A DEDICATED EXHAUST FAN DUCTED TO THE OUTSIDE.

(C) IF THE KITCHEN IS EQUIPPED WITH INTERMITTENT 100 CFMS IS REQUIRED. PROVIDE A MINIMUM 100 CFM SECTION 504.5.

CHANGES PER HOUR.

(E) THE RANGE HOOD OVER THE STOVE MAY COMPLY WITH VÉNTED TO THE OUTSIDE AND HAS A MINIMUM VENTILATION RATE OF 100 CFM.

CHRIS AUSTIN PARLETTE C-29893

RENEWAL DATE: 7/31/2023

BELL RESIDENCE 2 POMEROY ROAD ROSS, C EXTERIOR ELEVATIONS - SOI

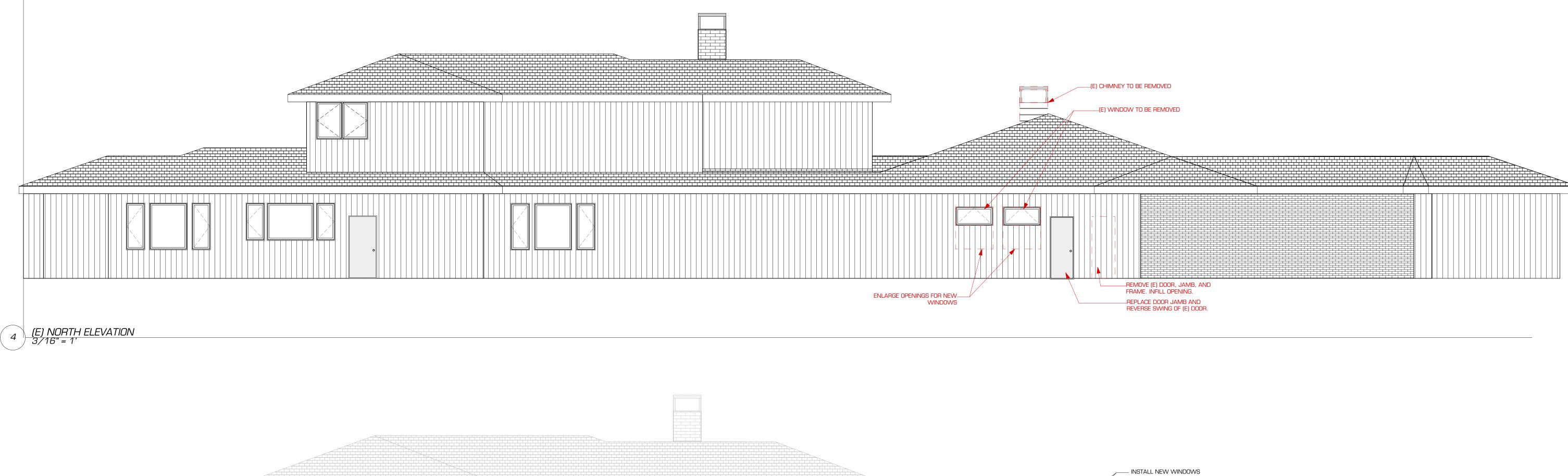
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A 3.0

CHRIS AUSTIN PARLETTE

C-29893

09/20*59/*22 DESIGN



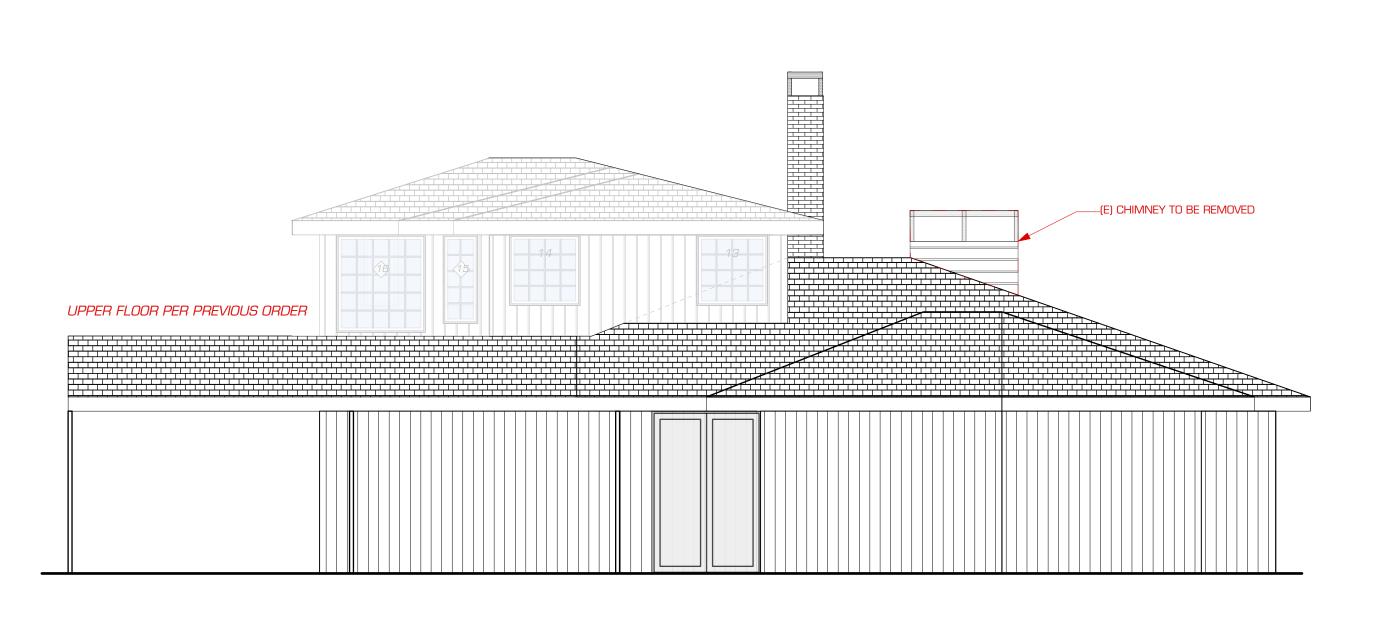
— INSTALL NEW DOOR, JAMB AND TRIM. REVERSE DOOR SWING.

— PATCH AND REPLACE SIDING AS NEEDED

4'0'x 4'6"

12A

∜ 2'6"x8'0"

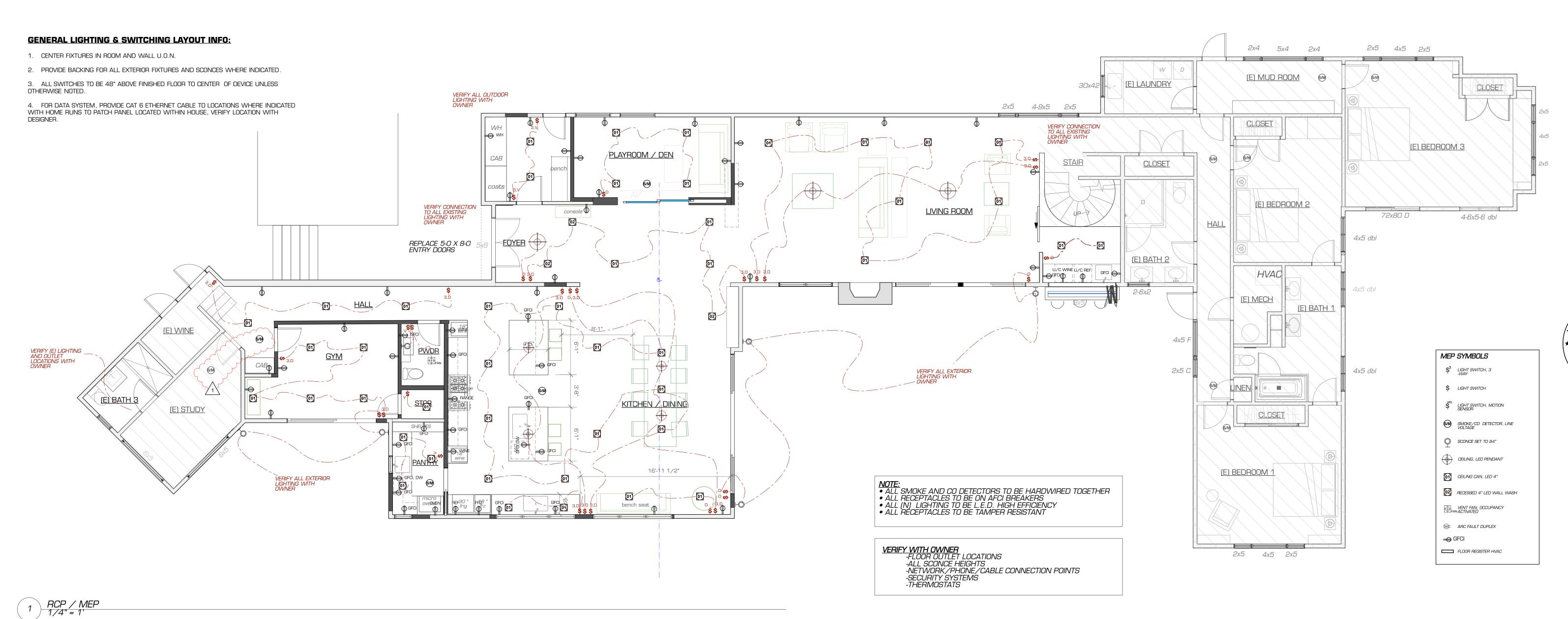


1 (E) WEST ELEVATION 3/16" = 1'

PROPOSED NORTH ELEVATION 3/16" = 1'

CHRIS AUSTIN

PARLETTE



RCP LIGHTING & ELECTRICAL SHEET NOTES:

GENERAL ELECTRICAL SAFETY SPECIFICATIONS

1. ALL 125-VOLT, 15 AND 20 AMP RECEPTACLES IN THE DWELLING SHALL BE TAMPER-RESISTANT FOR ALL LOCATIONS. CEC 406.12

2. RECESSED LIGHT FIXTURES SHALL BE LISTED FOR IN-CONTACT (IC) WITH INSULATION AND OF AIRTIGHT CONSTRUCTION AND SEALED AT CEILING LEVEL, AS REQUIRED PER CALIFORNIA ENERGY

3. ALL RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UL, OR APPROVED TESTING AGENCY.

4. LED LIGHTS MUST HAVE AN INTEGRAL HEAT SINK AND THE SPECIFIC BRAND AND PRODUCT MODEL MUST BE ON THE DRAWINGS AND THE CALIFORNIA ENERGY COMMISSION CERTIFICATION MUST BE PROVIDED TO THE TOWN. IF A CERTIFICATION CANNOT BE PROVIDED, THE LED LIGHT MAY NOT BE CONSIDERED AS LOW EFFICACY.

5. CLOTHES CLOSETS FIXTURE CLEARANCES SHALL CONFORM TO CEC 410.8: CLOSET LIGHTS SHALL BE FLOURESCENT, HAVE A SEALED LNES, OR LED LISTED FOR STORAGE AREA. (CEC 410.16) INCANDESCENT FIXTURES WITH OPEN OR PARTIALLY ENCLOSED LAMPS AND PENDANT FIXTURES OR LAMP HOLDERS ARE NOT ALLOWED.

6. FIXTURES LOCATED OVER TUBS/SHOWERS AND ALL EXTERIOR LIGHT FIXTURES AND SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS.

CIRCUIT SAFETY & LOAD LIMITATION SPEC'S

ARC-FAULT INTERRUPT CIRCUIT PROTECTION

ARC-FAULT CIRCUIT INTERRUPTER PROTECTION SHALL MEET 2019 CEC ARTICLE 210.12(A) REQUIREMENTS FOR ALL 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY, DINING, LIVING, RECREATION AND SUNROOMS, CLOSETS, HALLWAYS, ETC.

ALL 120-VOLT, SINGLE PHASE, 15- & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12 (B)

2. <u>GFCI—GROUND FAULT CIRCUIT INTERRUPT</u>:

C. LAUNDRY ROOM APPLIANCES

CEC ARTICLE 210.11C(3).

A GROUND FAULT CIRCUIT INTERRUPTER (GFCI) IS REQUIRED FOR ALL 15 AND 20-AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, (INCLUDING THE GARAGE DOOR OPENER RECEPTACLE), ACCESSORY BUILDINGS, OUTDOORS, IN UNFINISHED BASEMENTS, UNDER-FLOOR AREAS, LAUNDRY, UTILITY, AND KITCHEN COUNTER TOPS AND WITHIN 6' OF A BAR SINK. CEC 210.8

- DEDICATED 20 AMP CIRCUITS, PER 2019 CEC 210.11 (3) WITH NO OTHER OUTLETS ON THE CIRCUIT, PROVIDE AT LEAST ONE SEPARATE 20 AMP CIRCUIT FOR:
 - KITCHEN COUNTERTOP SMALL APPLIANCES, PROVIDE (2) MIN. PROVIDE ONE EACH FOR REFRIGERATOR, MICROWAVE. GARBAGE DISPOSAL, RANGE HOOD AND DISWASHWER.
 - PROVIDE A SEPARATE 20 AMP CIRCUIT FOR BATH RECEPTACLES OR A DEDICATED 20 AMP CIRCUIT FOR EACH BATHROOM, AS REQUIRED PER

ANY EXCEPTIONS MUST MEET THE REQT'S OF 2019 CEC 210.23 (A) (1) AND (A) (2)

BRANCH CIRCUIT REQUIREMENTS (PER CEC210):

KITCHEN BRANCH CIRCUITS, INCLUDING DISHWASHERS AND DISPOSALS, SHALL COMPLY WITH CEC ARTICLE 210.59 REQUIREMENTS.

SMALL APPLIANCE BRANCH CIRCUITS SERVING KITCHEN COUNTERS SHALL COMPLY WITH CEC ARTICLE 210.11C(1) REQUIREMENTS.

LAUNDRY BRANCH CIRCUITS SHALL COMPLY WITH CEC ARTICLE 210.11(C)(2) REQUIREMENTS.

PROVIDE A SEPARATE 20 AMP CIRCUIT FOR BATH RECEPTACLES OR A DEDICATED 20 AMP CIRCUIT FOR EACH BATHROOM, AS REQUIRED PER CEC ARTICLE 210.11C(3).

SMOKE ALARMS (CRC 314.1 THRU 314.5)

- SMOKE DETECTORS WILL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH R314.3: A. IN EACH SLEEPING ROOM
- B. OUTSIDE OF ALL SLEEPING ROOMS CENTRALLY LOCATED IN THE CORRIDOR
- C. OVER THE CENTER OF ALL STAIRWAYS D. MINIMUM ONE UNIT PER STORY OF THE OCCUPIED PORTION OF THE RESIDENCE

-3. ^ FÓR TRAY-SHÁPÉ CEILINGS (COFFÉRED CEILINGS), SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED ON THE HIGHEST PORTION OF THE CEILING OR ON THE SLOPE PORTION OF THE CEILING WITHIN 12-INCHES VERTICALLY DOWN FROM THE HIGHEST POINT.

4. SMOKE DETECTORS SHALL BE PROVIDED WITH AC POWER, MUST RECEIVE THEIR 120V POWER FROM THE HOUSE PRIMARY WIRING WITH BATTERY BACKUP AND SHALL EMIT A SIGNAL WHEN BATTERY IS LOW (PER CRC 314.4)

5. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, IT SHALL BE INTERCONNECTED IN SUCH A MANNER SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS. (CRC R314.5)

CARBON MONOXIDE ALARMS REQT'S (CRC R315.1 TO R315.2.6):

CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN EXISTING DWELLINGS WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITION EXCEEDS ONE THOUSAND DOLLARS. CO ALARMS SHALL BE LOCATED OUTSIDE OF EACH DWELLING UNIT SLEEPING ARE IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

PROVIDE FOR ANY DWELLING WITH A FUEL-BURNING APPLIANCE OR WITH AN ATTACHED GARAGE, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE IMMEDIATE VICINITY OF ANY BEDROOM AND ON EVERY LEVEL INCLUDING BASEMENTS.

3. IN NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL. (PER CRC 315.2.4)

4. WHERE MORE THEN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM

SHALL BE INTERCONNECTED IN A MANNERTHAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL CARBON MONOXIDE ALARMS ARE NOT REQUIRED IF THERE IS NO FUEL-BURNING APPLIANCES

AND WHERE THE GARAGE IS DETACHED FROM THE HOUSE. 6. ALARMS MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

RECEPTACLE SPACING —GENERAL PER CEC ARTICLE 210.52(C)(1) **REQ'TS**

1. AT LEAST ONE RECEPTACLE MUST BE LOCATED WITHIN 36" OF ANY SINK.

2. ANY RECEPTACLE(S) IN BATHROOM MUST BE GFI PROTECTED

3. PROVIDE DUPLEX RECEPTACLES ON ANY WALLS >2' IN HABITABLE ROOMS. SPACING BETWEEN RECPTACLES NOT TO EXCEED 12' O.C.

4. PROVIDE DUPLEX RECEPTACLES ON ANY WALLS >10' IN HALLWAYS.

5. SWITCHED LIGHTING OUTLETS REQ'D. IN ALL STORAGE AND UTILITY AREAS, ATTICS, AND CRAWLSPACES WITH EQUIPMENT. PROVIDE NEW FLUORESCENT DOME LIGHT MIN. 40 LUMENS PER WATT PER CEC SUBCHAPTER 7, 150 (K).

6. GENERAL PURPOSE RECEPTACLE OUTLETS SHALL BE SPACED NO MORE THAN 6 FEET FROM ANY POINT ͮALONG FLOOR LINE, AS REQUIRED PER CEC ARTICLE 210.52(A)(1).

RECEPTACLE SPACING —KITCHEN:

RECEPTACLES FOR COUNTER SPACES SHALL BE INSTALLED ACCORDING TO CEC ARTICLE 210.52(C) 1, 2 & 3 REQUIREMENTS.

WALL SPACE 12 INCHES OR WIDER, RECEPTACLES MUST BE INSTALLED SO THAT NO POINT ALONG THE COUNTER WALL SPACE IS MORE THAN 2 FEET (MEASURED HORIZONTALLY) FROM A RECEPTACLE OUTLET.

ISLAND COUNTERTOP SPACE. THIS SECTION MANDATES ONLY ONE RECEPTACLE TO BE INSTALLED AT EACH ISLAND COUNTERTOP THAT HAS A LONG DIMENSION OF 24 INCHES OR GREATER, AND A SHORT DIMENSION OF 12" OR GREATER. PER CEC ARTICLE 210.52(C)2

PENINSULAR COUNTERTOP SPACE. THIS SECTION MANDATES ONLY ONE RECEPTACLE TO BE INSTALLED AT EACH PENINSULAR COUNTERTOP THAT HAS A LONG DIMENSION OF 24 INCHES OR GREATER, AND A SHORT DIM. OF 12 INCHES OR GREATER. PER CEC ARTICLE 210.52(C) 3

 SEPARATE SPACES. WHEN BREAKS OCCUR IN COUNTERTOP SPACES (RANGES, REFRIGERATORS, SINKS, ETC.), EACH COUNTERTOP SURFACE IS CONSIDERED A SEPARATE COUNTER FOR DETERMINING RECEPTACLE PLACEMENT.

RECEPTACLE OUTLET LOCATION. RECEPTACLE OUTLETS SHALL BE LOCATED ABOVE THE COUNTERTOP, BUT NOT MORE THAN 20 INCHES FROM THE COUNTERTOP SURFACE. (PER 2016

6. RECEPTACLES SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUINTERTOPS AND THEY MUST NOT BE LOCATED ON THE SIDES OF CABINETS.

<u> RECEPTACLE SPACING — BATHROOMS:</u>

SPECIFY ONE 20-AMP CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS OR PROVIDE A DEDICATED 20-AMP CIRCUIT FOR EACH INDIVIDUAL BATHROOM BEING ALTERED OR ADDED. NOTE: BATH LIGHTING SHALL NOT BE ON AN OUTLET CIRCUIT. (CEC ART.210.11(C)(3))

INDICATE AT LEAST ONE RECEPTACLE OUTLET WITHIN 3 FT OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL THAT IS ADJACENT TO THE BASIN, OR ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP. (CEC ART.210.52(D))

C. SPECIFY GFCI PROTECTED OUTLETS FOR ALL BATHROOM RECEPTACLES. (CEC ART.210.8(A))

D. SPECIFY THAT ALL ADDED/REPLACED 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC ART.406.12)

SUPPLEMENTAL ELEC. SHEET NOTES:

1. ELECTRICAL DISCONNECTS FOR EQUIPMENT SUCH AS HVAC UNITS, SEPTIC PUMPS, ETC. SHALL BE WITHIN SIGHT OF THE EQUIPMENT AND NOT OVER 25' FROM THE UNIT. CEC 430.102(B) & CMC 903.7

2. ALL 120-VOLT, SINGLE PHASE, 15- & 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12 (B)

3. AN INTERSYSTEM BONDING ELECTRODE WHICH INCLUDES PROVISIONS FOR CONNECTING AT LEAST THREE GROUNDING OR BONDING CONDUCTORS REQUIRED FOR COMMUNICATIONS SYSTEMS SHALL BE INSTALLED EXTERNALLY AT THE SERVICE ENTRANCE PANEL AS SPECIFIED IN CEC 800.100(B) AND CEC 250.94

4. GROUNDING ELECTRODE INSTALLATION SHALL COMPLY WITH CEC ARTICLE 250.53 -TYPICALLY 2 GROUND RODS THAT ARE SPACED A MINIMUM 6 FEET APART.

5. AT THE HVAC EQUIPMENT, PROVIDE A 15 OR 20 AMP RECEPTACLE AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF SAID EQUIPMENT. THE RECEPTACLE SHALL BE ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. PER CEC 210.63.

EXTERIOR LIGHTS AND RECEPTACLES:

1 (A) PROVIDE A WATERPROOF GFI RECEPTACLE WITHIN 6 FEET OF FRONT AND REAR DOOR OF HOME (WITHIN 6.5 FEET OF GRADE) CEC210-8

(B) EXTERIOR LIGHTING AND RECEPTACLES SHALL MEET THE REQUIREMENTS OF 2019 CEC 210.52 (E) (3) FOR OUTDOOR OUTLETS ON BALCONIES, DECKS, AND PORCHES.

2. ANY NEW EXTERIOR ELECTRICAL RECEPTACLES INSTALLED MUST BE GFCI PROTECTED, IN A WEATHER PROOF ENCLOSURE AND TAMPER RESISTANT. (PER CEC 210.8 AND 406.9 (A) AND (B))

3. SEE ENERGY COMPLIANCE — OUTDOOR LIGHTING REQUIREMENTS FOR EXTERIOR LIGHTS ON THIS

ENERGY COMPLIANCE OUTDOOR LIGHT'G:

1. <u>High Efficacy or Controls</u>: All Lighting attached to the exterior of a residential BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT MUST FOLLOW ONE OF THESE TWO COMPLIANCE STRATEGIES:

—ALL HIGH-EFFICACY LIGHTING, OR -LOW-EFFICACY LIGHTING CONTROLLED BY A MOTION SENSOR AND A PHOTOCONTROL. ASTRONOMICAL TIME CLOCK OR EMCS TO AUTOMATICALLY REDUCE LIGHTING ENERGY USE WHEN SUFFICIENT DAYLIGHT IS AVAILABLE

2. **MANUAL CONTROL**: LIGHTING MUST BE CONTROLLED BY A MANUAL ON / OFF SWITCH THAT IS NOT CAPABLE OF TURNING ON ANY LIGHTING THAT HAS BEEN SHUT OFF BY AN AUTOMATIC LIGHTING CONTROL.

3. <u>TEMPORARY MOTION SENSOR OVERRIDES</u>: MOTION SENSORS MAY HAVE A TEMPORARY OVERRIDE FUNCTION THAT ALLOWS LUMINAIRES TO STAY SWITCHED ON REGARDLESS OF MOTION DETECTION, BUT THE MOTION SENSOR MUST AUTOMATICALLY REACTIVATE WITHIN SIX HOURS.

ENERGY COMPLIANCE ELECTRICAL:

EN1. ONE (1) HIGH EFFICACY LUMINAIRE IS TO BE INSTALLED IN EACH BATHROOM. ALL OTHER LIGHTING IN BATHROOMS SHALL BE HIGH EFFICACY OR CONTROLLED BY OCCUPANCY SENSOR(S).

(A) PROVIDE HIGH-FEFICACY LIGHTING OR APPROVED LIGHTING CONTROLS FOR ALL INTERIOR & EXTERIOR LIGHTING. MINIMUM 50 PERCENT OF THE TOTAL WATTAGE FOR KITCHEN LIGHTING SHALL BE PROVIDED USING HIGH-EFFICACY LIGHTING FIXTURES.

EN2. ALL LIGHTING IN GARAGES. LAUNDRY ROOMS. AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY VACANCY SENSORS, I.E. MANUAL ON, AUTOMATIC OFF, CLOSETS UNDER 70 S.F. ARE EXEMPT.

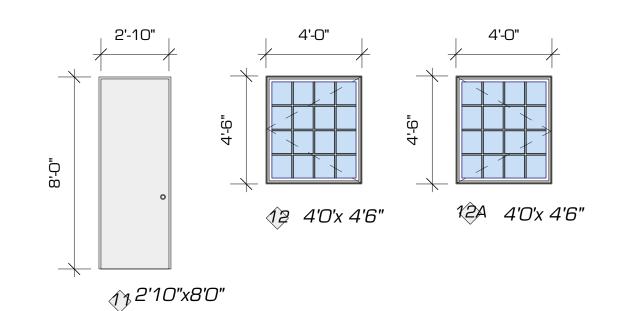
EN3. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.0 (J)2III

EN4. ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED.

EN5. HOUSE MUST COMPLY WITH THE FOLLOWING PER THE 2013 RESIDENTIAL COMPLIANCE

A. A 120 V RECEPTACLE SHALL BE LOCATED WITHIN THREE (3) FEET OF THE WATER HEATER AND SHALL BE ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS.

10'-0" 7'-8" 7'-0" 15'-8" [°] 2'0"x4'6" 2'0"x4'6" 9'0"x5'0" √7 7'8"x4'6" 9'0"x6'0" 2 7'0"x8'0" 2A 7'0"x8'0" 6'0"x8'0" FIXED WINDOW 10'0"x8'0" CUSTOM 15'8"x8' STD



SIZES ARE SHOWN FOR PRICING PURPOSES ONLY; ONLY FRAME R.O. OFF OF FINAL WINDOW / DOOR ORDER LIST

DUE TO TIGHT TOLERANCES AND VARIATIONS OF FRAMING THAT CAN OCCUR. ALL WINDOWS AND DOORS TO BE SITE VERIFIED BY CONTRACTOR

MANUFACTURER TO CONFIRM EGRESS SIZES ARE COMPLIANT WITH CODE BASED ON THEIR HARDWARE. WINDOW SUPPLIER TO ADJUST SIZE TO MEET EGRESS AS NECESSARY

WINDOW & DOOR TYPE NOTES:

1) ALL GLASS IS TEMPERED

- 2) WINDOW CONFIG. SHOWN FROM EXTERIOR. HANDLE LOCATIONS SHOWN FOR CLARITY ONLY.
- 3) <u>E</u> = INDICATES EGRESS COMPLIANT PER CRC R310.1
- 4) DOORS AND WINDOWS TO BE PELLA LIFESTYLE SERIES, WOOD/CLAD UNITS, DUAL-PANED, LOW-E GLAZING

(N) EXTERIOR WINDOW AND DOOR TYPES

GENERAL WINDOW NOTES:

1. GLAZING SHALL BE AT MINIMUM DUAL-PANED, LOW-E COATING, W/ ARGON INSULATED

2. CONTRACTOR SHALL VERIFY ALL DOOR & WINDOW SIZES ROUGH OPENINGS PRIOR TO PLACING ORDER, COORDINATE WITH DESIGNER OR OWNER

3. SEE FLOOR PLANS FOR WALL ASSEMBLIES.

4. WINDOWS REPLACED IN BEDROOMS SHALL MEET THE EGRESS REQUIREMENTS OF A MIN. 20" CLEAR WIDTH AND MIN. 24" CLEAR HEIGHT WHEN OPEN, MIN. 5.7 SQUARE FEET OF OPENABLE AREA AND MAX. SILL HEIGHT OF 44" FROM THE FINISH FLOOR.

5. TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING

* WITHIN A 2' ARC OF EITHER THE EDGE OF A DOOR AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS <60" ABOVE THE WALKING SURFACE

* GLAZING IN WALL ENCLOSING STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

* GLAZING IN A WALL ENCLOSING A TUB/ SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS <60" ABOVE THE STANDING SURFACE AND DRAIN INLET.

* ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:

- EXPOSED AREA OF AN INDIVIDUAL PANE >9 SQ. FT.

- EXPOSED BOTTOM EDGE IS <18" ABOVE THE FINISHED FLOOR. - EXPOSED TOP EDGE IS >36" ABOVE THE FINISHED FLOOR - WITHIN 36" HORIZONTALLY OF A WALKING SURFACE.

6. ALL WINDOWS WITHIN 5' OF POOL SHALL HAVE TEMPERED GLAZING WHERE APPLICABLE.

GENERAL DOOR NOTES:

1. G.C. TO COORDINATE ALL HARDWARE AND KEYING WITH OWNER.

2. RATED DOORS TO BE POSITIVE LATCHING. RATED ASSEMBLIES SHALL BE PROVIDED WITH APPROVED GASKETING MATERIAL INSTALLED TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND THE TOP. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHAL BE AVAILABLE AT THE JOB SIDE FOR ALL RATED DOOR ASSEMBLIES.

3. ALL RATED DOORS TO BE LISTED AND LABELED.

4. TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

* WITHIN A 2' ARC OF EITHER THE EDGE OF A DOOR AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS <60" ABOVE THE WALKING

* GLAZING IN WALL ENCLOSING STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

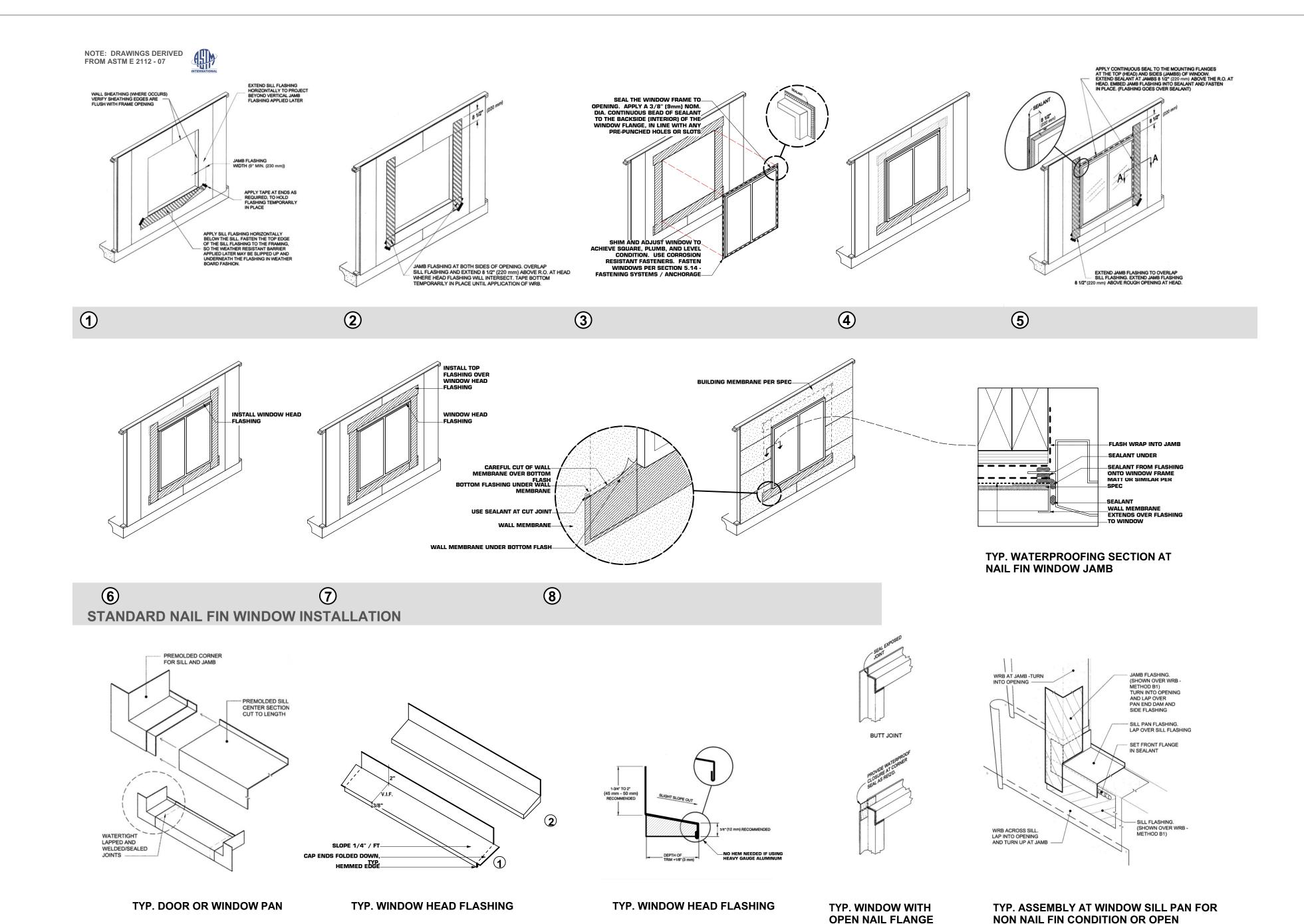
* GLAZING IN A WALL ENCLOSING A TUB/ SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS <60" ABOVE THE STANDING SURFACE AND DRAIN INLET.

* ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:

- EXPOSED TOP EDGE IS >36" ABOVE THE FINISHED FLOOR - WITHIN 36" HORIZONTALLY OF A WALKING SURFACE.

- EXPOSED AREA OF AN INDIVIDUAL PANE >9 SQ. FT. - EXPOSED BOTTOM EDGE IS <18" ABOVE THE FINISHED FLOOR.

5. DO NOT PAINT HINGES.



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Verified Existi

Condition

Status

Existing

Report Generated: 2022-09-28 16:38:39

Assembly Layers

Inside Finish: Gypsum Board

Cavity / Frame: no insul. / 2x4

Exterior Finish: Wood Siding/sheathing/decking Inside Finish: Gypsum Board

Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood

Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Roofing: Light Roof (Asphalt Shingle)

Roof Deck: Wood

Cavity / Frame: no insul. / 2x4

Floor Surface: Carpeted Floor Deck: Wood

Siding/sheathing/decking

Cavity / Frame: no insul. / 2x12 Over Ceiling Joists: R-1.9 insul.

Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

Floor Surface: Carpeted Floor Deck: Wood

Siding/sheathing/decking

Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board

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n/a

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Calculation Date/Time: 2022-09-28T16:38:18-07:00

Input File Name: BellEricaPhase3Remodel.ribd19x

Tilt (deg)

n/a

n/a

n/a

Calculation Date/Time: 2022-09-28T16:38:18-07:00

Input File Name: BellEricaPhase3Remodel.ribd19x

nterior / Exterior

Continuous

R-value

None / None

0.302

0.277

0.644

0.644

0.216

0.196

Registration Date/Time: 09/29/2022 08:40 HERS Provider: CHEERS

c. (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not

Wall Exception

none

Window and

Door Area (ft2)

383.25

90.75

200.3

215.3

199

n/a

n/a

n/a

Total Cavity

R-value

R-0

R-0

R-0

R-11

R-0

06

1168

121.6

529.4

168

1112

19.2

653.6

483.5

208

483.5

208

136

3268

1245

212

2x4 @ 16 in. O. C.

2x4 @ 16 in. O. C.

2x4 @ 24 in. O. C.

2x4 @ 24 in. O. C.

2x12 @ 16 in. O. C.

2x4 @ 16 in. O. C.

2x12 @ 16 in. O. C.

Report Version: 2019.2.000

Schema Version: rev 20200903

Orientation | Gross Area (ft

Front

n/a

Left

n/a

Back

n/a

Right

Front

Left

Back

Right

n/a

n/a

n/a

n/a

n/a

Construction Type

Wood Framed Wall

Wood Framed Wall

Wood Framed

Wood Framed

Wood Framed Floor

Wood Framed

Wood Framed Floor

C

Registration Date/Time: 09/29/2022 08:40

HERS Provider: CHEERS

IOTICE: This document has been generated by ConSol Home Energy Efficiency Rating System Services, Inc. (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not appropriately consolided to the information contained in this document. Report Generated: 2022-09-28 16:38:39 CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Schema Version: rev 20200901 Project Name: Residential Building Calculation Description: Title 24 Analysis

Calculation Date/Time: 2022-09-28T16:38:18-07:00

Input File I	Name: BellEricaPhase3Remodel.ribd19x	
	03	
	E (144-44- (0E14)	

Type Fan Power (Watts/CFM) **HVAC** Fan

CHEERS

CERTIFICATE OF COMPLIANCE Calculation Date/Time: 2022-09-28T16:38:18-07:00 Project Name: Residential Building Input File Name: BellEricaPhase3Remodel.ribd19x

Calculation Description: Title 24 Analysis REQUIRED SPECIAL FEATURES The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. New ductwork added is less than 40 ft. in length HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry Building-level Verifications: Kitchen range hood Cooling System Verifications: -- None --Heating System Verifications

HVAC Distribution System Verifications: -- None --Domestic Hot Water System Verifications: -- None --

CF1R-PRF-01E

(Page 1 of 10)

Percent Improvement

UILDING - FEATURES INFORMA	ATION					
01	02	03	-04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of <mark>Dwelling</mark> Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residential Building	5758	1	4	2	0	1

ONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
First Floor	Conditioned	HVAC System1	4513	8	DHW Sys 1	N/A
Second Floor	Conditioned	HVAC System1	1245	8	DHW Sys 1	N/A

Registration Date/Time: 09/29/2022 08:40 Report Version: 2019.2.000 Report Generated: 2022-09-28 16:38:39 CA Building Energy Efficiency Standards - 2019 Residential Compliance

CERTIFICATE OF	COMPLIANCE															CF1R-PRF-01
Project Name: Re	esidential Buildi	ng					Calcu	ation [Date/Tim	e: 2022-09	9-28T16	:38:18-07:00)			(Page 4 of 10
Calculation Desc	ription: Title 24	Analysis					Input	File Na	me: Bell	Erica Phase	3Remo	del.ribd19x				
OPAQUE SURFACE	s															
01	02	03	04	4	05		06		07	08		09		10		11
Name	Zone	Construction	Azim	uth 0	rientation	Gross	Area (ft ²)		dow and Area (ft2)	Tilt (d	eg)	Wall Excepti	ons	Statu	ıs	Verified Existing Condition
Interior Surface Floor	Second Floor	Default Floor No Crawlspa	n/	'a	n/a		1245		n/a	n/a	,			Existir	ng	No
ATTIC																
01		02			03		04	0)5	06	07	08		09		10
01 Name		02 Construction	on		03 Type		04 Roof Rise (x in 12)	Ro	oof	06 Roof Emittance	07 Radia Barrie	nt Cool R	\dashv	09 Statu		
	pr					\sim	Roof Rise	Ro Refle	oof	Roof	Radia	nt Cool R	oof		us	Verified Existin
Name		Construction	Floor		Туре	ted	Roof Rise (x in 12)	Reflect	oof ctance I	Roof mittance	Radia Barri	nt Cool R	oof	Statı	us ng	Verified Existing Condition
Name Attic First Floo Attic Second Flo	por	Construction	Floor		Type Venti <mark>la</mark> t	ted	Roof Rise (x in 12)	Reflect	oof ctance I	Roof Emittance	Radia Barrio No	nt Cool R	oof	Statu Existi	us ng	Verified Existing Condition
Name Attic First Floo	por	Construction	Floor	05	Type Venti <mark>la</mark> t	ted	Roof Rise (x in 12)	Reflect	oof ctance I	Roof Emittance	Radia Barrio No	nt Cool R	oof	Statu Existi	us ng	Verified Existing Condition

ENESTRATION / GLA	ZING														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window	Window	Southwest Wall	Front	225			1	109.7 5	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window (New)	Window	Southwest Wall	Front	225			1	273.5	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window (New) 2	Window	West Wall		270			1	40	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window 2	Window	Northwest Wall	Left	315			1	38.75	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window (New) 3	Window	Northwest Wall	Left	315			1	52	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window 3	Window	North Wall		0			1	25	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 4	Window	Northeast Wall	Back	45			1	141.6	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window (New) 4	Window	Northeast Wall	Back	45			1	36	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a

CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Generated: 2022-09-28 16:38:39 Report Version: 2019.2.000 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE		CF1R-PRF-01
Project Name: Residential Building	Calculation Date/Time: 2022-09-28T16:38:18-07:00	(Page 7 of 1
Calculation Description: Title 24 Analysis	Input File Name: BellEricaPhase3Remodel.ribd19x	

Calculation Description. Title 24 Analysis		input rile ivaine. Delicificarriases Nemodel.ii	bulsx
BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

WATER HEATING S	YSTEMS								
01	02	03	04	05	06	07	08	09	10
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a	Existing	No	

WATER HEAT	ERS												
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	75	0.57-EF	<= 75 kBtu/hr	0	80	n/a	n/a	n/a	Existing	No

VATER HEATING - HERS	VERIFICATION						
01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

Registration Number: 422-P010153338A-000-000-0000000-0000	Registration Date/Time: 09/29/2022 08:40	HERS Provider: CHEERS
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CA Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000	Report Generated: 2022-09-28 16:38:39
	Schema Version: rev 20200901	

04	City	Ross	05	Standards Version	2019
06	Zip code	94957	07	Software Version	CBECC-Res 2019.2.0
08	Climate Zone	2	09	Front Orientation (deg/ Cardinal)	225
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	AdditionAlteration	13	Number of Bedrooms	4
14	Addition Cond. Floor Area (ft ²)	0	15	Number of Stories	2
16	Existing Cond. Floor Area (ft ²)	5758	17	Fenestration Average U-factor	0.34
18	Total Cond. Floor Area (ft²)	5758	19	Glazing Percentage (%)	20.96%
20	ADU Bedroom Count	n/a	21	ADU Conditioned Floor Area	n/a
22	Is Natural Gas Available?	Yes			
СОМРІ	IANCE RESULTS	СЦЕ		D C	
	01 Building Complies with Computer	Performance		K 3	
	O2 This building incorporates feature	s that require field testing and/or verification	n by a co	ertified HERS rater under the supervision of a	CEC-approved HERS provider.
	03 This building incorporates one or	more Special Features shown below			
		ENERGY USI	E SUMN	IARY	

Calculation Date/Time: 2022-09-28T16:38:18-07:00

Input File Name: BellEricaPhase3Remodel.ribd19x

CERTIFICATE OF COMPLIANCE

GENERAL INFORMATION

Project Name: Residential Building

Calculation Description: Title 24 Analysis

Energy Use (kTDV/ft²-yr)

Project Name Residential Building

Run Title Title 24 Analysis

Project Location 2 Pomeroy Road

Space Heating	66.97	61.22	5.75	8.6
Space Cooling	26.77	28.04	-1.27	-4.7
IAQ Ventilation	0	0	0	
Water Heating	6.87	6.87	0	0
Self Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	100.61	96.13	4.48	4.5

Proposed Design

Compliance Margin

Registration Number: 422-P010153338A-000-000-0000000-0000 NOTICE: This document has been generated by ConSol Home Energy Efficiency Rating System Services, responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this	Registration Date/Time: 09/29/2022 08:40 Inc. (CHEERS) using information uploaded by third parties not affiliated document.	HERS Provider: CHEERS with or related to CHEERS. Therefore, CHEERS is not
CA Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000 Schema Version: rev 20200901	Report Generated: 2022-09-28 16:38:39

Schema Version: rev 20200901 CF1R-PRF-01E CERTIFICATE OF COMPLIANCE (Page 5 of 10) Project Name: Residential Building Calculation Date/Time: 2022-09-28T16:38:18-07:00 Calculation Description: Title 24 Analysis Input File Name: BellEricaPhase3Remodel.ribd19x

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verifi Existi Condit
Window 5	Window	Southeast Wall	Right	135			1	90	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window (New) 5	Window	Southeast Wall	Right	135			1	125.3	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window 6	Window	Southwest Wall 2	Front	225		4	1	199	0.79	Table 110.6-A	0.7	Table 110.6-B	Bug Screen	Existing	No
Window 7	Window	Northwest Wall 2	Left	315		W	1	52	0.79	Table 110.6-A	0.7	Table 110.6-B	Bug Screen	Existing	No
Window 8	Window	Southeast Wall 2	Right	135	1	A::	1	24	0.79	Table 110.6-A	0.7	Table 110.6-B	Bug Screen	Existing	No

	Wall 2							110.0-7		110.0-B			
					\								
OPAQUE DOORS													
01	0	2		03			04			05		06	ı
Name	Side of I	Building		Area (ft ²)		U-	factor		S	tatus	\	erified Existin	ng Condition
Door (New)	Northea	st Wall	(22.7		K	0.5		Ex	xisting		No)
SLAB FLOORS													

SLAB FLOORS									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab-on-Grade	First Floor	4301	324.5	none	0	80%	No	Existing	No

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Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE		CF1R-PRF
Project Name: Residential Building	Calculation Date/Time: 2022-09-28T16:38:18-07:00	(Page 8 of
Calculation Description: Title 24 Analysis	Input File Name: BellEricaPhase3Remodel.ribd19x	

SPACE CONDITIONING SYSTEM	ЛS									
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC System1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	2	2

HVAC - HEATING UNIT TYPES				
01	02	X	03	04
Name	System Type	\boxtimes	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace		2	AFUE-78
	-			

Nam	ne Sy	stem Type	Nur	mber of U	nits	Efficiency	EER/CEER	Effi	ciency SEE	R Zor	ally Controlle	d	Mulit-speed Compressor	HERS V	erification
Cooling Com	nponent 1	lo Cooling		2		n/	′a		n/a		Not Zonal		Single Speed		n/a
HVAC - DISTE	RIBUTION SYSTEMS	;													
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
			Duct Ins	. R-value	Duct L	ocation.	Surfac	e Area							
Name	Туре	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 40 ft
Air Distributi on System 1	Unconditioned attic	Non- Verified	R-4.2	R-4.2	Attic	Attic	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distributi on System 1-hers- dist	Existing + New	No	n/a	n/a

03

HVAC - COOLING UNIT TYPES

CERTIFICATE OF COMPLIANCE

OPAQUE SURFACES

Name

Southwest Wa

West Wall

Northwest Wa

North Wall

Northeast Wall

East Wall

Southeast Wall

Southwest Wal

Northwest Wal

Northeast Wa

Southeast Wa

Interior Surface

Wall (HV

Roof

Roof 2

Raised Floor

CERTIFICATE OF COMPLIANCE

Project Name: Residential Building

OPAQUE SURFACE CONSTRUCTIONS

Construction Name

Default Wall Prior to

Default Wall Prior to

Attic RoofFirst Floor

Attic RoofSecond Floor

Crawlspace

Default Roof Prior to

Default Floor No

Crawlspa

CERTIFICATE OF COMPLIANCE

Name

HVAC Fan 1

HVAC - FAN SYSTEMS

Calculation Description: Title 24 Analysis

Project Name: Residential Building

Calculation Description: Title 24 Analysis

Zone

First Floor

Second Floo

Second Floo

Second Floo

First Floor

First Floor

Second Floo

First Floor

Registration Number: 422-P010153338A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2019 Residential Compliance

Surface Type

Exterior Walls

Interior Walls

Attic Roofs

Crawlspace

Ceilings (below

Interior Floors

Construction

efault Wall Prior to

efault Wall Prior to

efault Wall Prior to

efault Wall Prior to

197

197

197

197

197

197

1971

197 efault Roof Prior to

197

Crawlspace

197

197

Azimuth

225

315

CF1R-PRF-01E

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08

Registration Number: 422-P010153338A-000-000-0000000-0000 HERS Provider: CHEERS and with or related to CHEERS. Therefore, CHEERS is not

C-29893

2019 Low-Rise Residential Mandatory Measures Summary

provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.

Interior Switches and Controls. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.

buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either

initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.

dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.*

applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.

with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.

the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.

the nearest point of the solar zone, measured in the vertical plane.*

§ 110.10(c) must be provided to the occupant.

dead load and roof live load must be clearly indicated on the construction documents.

power as determined according to § 130.0(c).

§ 150.0(k)6B:

Solar Ready Buildings:

110.10(b)3A:

§ 110.10(e)1:

EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)2.

Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it: provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the

Interior Switches and Controls. A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it

Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must

Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other

§ 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aiii (astronomical time clock), or an EMCS.

Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances,

Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots

or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3D must comply with

Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of

Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the

Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior

Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a

pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family

residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.

Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through

Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.

breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".

balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)3A or

be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be

Interior Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for

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/08	3/22 🚹	\PLAN (

BELL RESIDENCE	2 POMEROY ROAD RO	TITLE 24
DATE	:	
09/30	0/22	
11/08	3/22 /	\PLAN

	common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.0-A and be controlled by an occupant sensor. Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must: i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.		ND ROSS, C	
iilc	lings:	1 14	\preceq	
	Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).		, ROAE	
	Low-rise Multifamily Buildings. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).		30	
	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.*	BELL RESI	2 POMEROY	TITI D
	Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.	DATE	:	
	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*	09/3	0/22	
		4		

,	BELL RESIDENCE	2 POMEROY ROAD RO
	DATE:	

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by	RESI	MEF
) of	3ELL	PO :

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	DATE.		

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ng g of e	BELL	2 POI	
_			

Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof

Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit

		IVI EAS	SURES S				=	A 1 110 - 21		RMS-1
,	Remodel				ding Type	☐ Multi Fam	nily 🛮	Addition Alone Existing+ Additior	n/Alteration	Date 9/28/202
roject Addre						ergy Climate Zon		Cond. Floor Area	Addition	# of Units
	y Road R	oss			CA Climate Zone 02 5,758 0					1
NSULAT				_	.,	Area	_			04.4
Constru	ction Ty	ре		Cav	/ity	(ft²)	Speci	al Features		Status
loor V	Vood Framed	w/Crawl S _l	pace	- no in	sulation	212				Existing
Vall V	Vood Framed			- no in	sulation	785				Existing
Vall V	Vood Framed			- no in	sulation	82				Existing
Vall V	Vood Framed			- no in	sulation	439				Existing
Nall V	Vood Framed			- no in	sulation	143				Existing
Nall V	Vood Framed			- no in	sulation	912				Existing
Door C	Opaque Door			- no in	sulation	23				Existing
	Vood Framed			- no in	sulation	19				Existing
FENEST		•	Total Area:	1,207		Percentage:	21.0 %	New/Altered Avera		0.34
Orientati	ion Are	$\mathbf{a}(ft^2)$	U-Fac	SHGC	Overl	nang Side	efins	Exterior Sha	ades	Status
Front (SW)		109.8	0.580	0.65	none	none		N/A		Existing
Front (SW)		273.5	0.340	0.34	none	none		N/A		New
Front (W)		40.0	0.340	0.34	none	none		N/A		New
Left (NW)		38.8	0.580	0.65	none	none		N/A		Existing
Left (NW)		52.0	0.340	0.34	none	none		N/A		New
Left (N)		25.0	0.580	0.65	none	none		N/A		Existing
Rear (NE)		141.6	0.580	0.65	none	none		N/A		Existing
Rear (NE)		36.0	0.340	0.34	none	none		N/A		New
Right (SE)		90.0	0.580	0.65	none	none		N/A		Existing
Right (SE)		125.3	0.340	0.34	none	none		N/A		New
Front (SW)		199.0	0.790	0.70	none	none		N/A		Existing
Left (NW)		52.0	0.790	0.70	none	none		N/A		Existing
Right (SE)		24.0	0.790	0.70	none	none		N/A		Existing
Qty. He	YSTEMS eating entral Furnace		Min. Ef		ooling Cooling		in. Eff		mostat	Status Existing
HVAC DI	ISTRIBUT		ating	Co	oling	Duct Lo	cation		uct -Value	Status
HVAC Systen	п	Ducted	!	Duc	ted	Attic		6	6.0	Altered

2019 Low-Rise Residential Mandatory Measures Summary

Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).

Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less

Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables

Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked,

Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods

Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing

material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.

Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.

Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043.

Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached

insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in

direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited

Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or

have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls

Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without

facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and

Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor

Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all

Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.

Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated

Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the

cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for

Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must

Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose

Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except

appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters.

meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of

Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a

Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook,

Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards

HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.*

bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area

Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a

retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).

Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).

Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.

Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.*

UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).

insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.

Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.

appliances must be certified by the manufacturer to the California Energy Commission.*

compression heating is higher than the cut-off temperature for supplementary heating.*

Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.

maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*

and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.

Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.*

used. Review the respective section for more information. *Exceptions may apply.

gasketed, or weather stripped.

must meet Tables 150.1-A or B.*

Fireplaces, Decorative Gas Appliances, and Gas Log Measures:

Space Conditioning, Water Heating, and Plumbing System Measures:

setback thermostat.*

when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.

110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.*

to placing insulation either above or below the roof deck or on top of a drywall ceiling.*

Building Envelope Measures:

§ 110.6(a)5:

§ 110.8(a):

§ 110.8(g):

§ 110.8(i):

§ 110.8(j):

§ 150.0(a):

§ 150.0(b):

§ 150.0(c):

§ 150.0(d):

§ 150.0(f):

§ 150.0(g)1:

§ 150.0(q):

§ 110.5(e)

§ 150.0(e)1:

§ 150.0(e)2:

§ 150.0(e)3:

§ 110.2(a):

§ 110.2(b):

§ 110.2(c):

§ 110.3(c)4:

§ 110.3(c)6:

§ 110.5:

§ 150.0(h)1:

§ 150.0(m)13:

nergyPro 8.3 by EnergySoft User Number: 5581

RESIDENTIAL MEASURES SUMMARY

Bell, Erica Remodel

INSULATION

2 Pomeroy Road Ross

Construction Type

Wood Framed

Wood Framed

Wood Framed Attic

Building Type
☐ Single Family ☐ Addition Alone

CA Climate Zone 02

 (ft^2)

3,268

4,301 Perim = 325'

Cavity

- no insulation

- no insulation

no insulation

no insulation

R 11

California Energy Climate Zone | Total Cond. Floor Area

☐ Multi Family
☑ Existing+ Addition/Alteration

5,758

Special Features

§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer
§ 150.0(h)3B:	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must hav a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
§ 150.0(j)2A:	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7: the first five feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch; all hot water piping with a nominal diameter less than 3/4 inch that is: associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures.*
§ 150.0(j)3:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 volt, 20 amp electrical receptacle connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within three feet of the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than two inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hou
§ 150.0(n)2:	Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.
§ 150.0(n)3:	Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director.
Ducts and Fans	Measures:
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenums must meet the requirements of the CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts are plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ½ inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area.*
§ 150.0(m)2:	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
} 150.0(m)9:	Protection of Insulation. Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation expose to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.
§ 150.0(m)11:	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3.
§ 150.0(m)12:	Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service.*
	Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole

for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM

CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling

per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per

unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.*

emodel Road Ross ON on Type d Framed Attic d Framed w/o Craw	w Space	Calif C	A Clima	☑ Single F □ Multi Fa gy Climate Zo		Addition Alone Existing+ Additio	n/Altoration	Date
Road Ross ON on Type d Framed Attic	wl Space	Cav	A Clima				III/AILEI AIIOO	9/28/2
ON on Type d Framed Attic	w Space	Cav	A Clima		ne Total	Cond. Floor Area	Addition	# of U
on Type d Framed Attic	vl Space	"		te Zone 0		5,758	0	1
d Framed Attic	wl Space	"		Area	1		1	
	wl Space		ity	(ft^2)	Speci	al Features		Status
d Framed w/o Crav	vl Space	R 11		1,245				Existing
		- no ins	sulation	1,245				Existing
ATION								0.34
n Area(<i>ft</i> ²)	U-Fac	SHGC	Overh	ang Sid	defins	Exterior Sh	ades	Status
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Bell, Erica F									
Project Address					rgy Climate Z		Cond. Floor Area	1	I
	Road Ross		C	A Clima	ate Zone	02	5,758	0	1
INSULATI			Carr	,i4.,	Area (ft²)	Sman	ial Eastures		Status
	tion Type		Cav	ity	(IL) 1,245	Spec	ial Features		Status Existing
	od Framed Aluc od Framed w/o Crawl	C		sulation	1,245				Existing
FENESTR	_	Total Area:			Percentage:		New/Altered Ave		0.34
Orientatio	on Area(ft²)	U-Fac S	SHGC	Overh	nang Si	idefins	Exterior SI	nades	Status
HVAC SYS		Min. Ef	f Co	oling		Min. Ef	f The	ermostat	Status
Qty. Hea	eting STRIBUTION	Min. Ef		oling		Min. Ef		ermostat Duct R-Value	Status
Qty. Hea	STRIBUTION He	ating			Duct I		n	Duct	

Requirements for	or Ventilation and Indoor Air Quality:
§ 150.0(o)1:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.
§ 150.0(o)1C:	Single Family Detached Dwelling Units. Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(o)1C.
§ 150.0(o)1E:	Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 Pa (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.
§ 150.0(o)1F:	Multifamily Building Central Ventilation Systems. Central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be within 20 percent of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate needed for compliance
§ 150.0(o)1G:	Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.
§ 150.0(o)2:	Field Verification and Diagnostic Testing. Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is rated by HVI to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.
Pool and Spa Sy	ystems and Equipment Measures:
§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating."
§ 110.4(b)1:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.*
Lighting Measu	res:
§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.*
§ 150.0(k)1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A.
§ 150.0(k)1B:	Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or fan speed control.
§ 150.0(k)1C:	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C.
§ 150.0(k)1D:	Electronic Ballasts for Fluorescent Lamps. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz.
§ 150.0(k)1E:	Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.
§ 150.0(k)1F:	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).*
§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires . Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit not more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.

§ 150.0(k)2C:

§ 150.0(k)2E:

§ 150.0(k)2F:

turned ON and OFF.*

comply with § 150.0(k).

RMS-1

of Units

Status

Existing

Existing

Existing

Existing

Existing

Existing

Existing

0

Thermostat Status

R-Value Status

Status

Page 14 of 19

Duct

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§ 150.0(o)1E:	Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 P (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.
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§ 150.0(o)1G:	Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.
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§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch tha will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
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§ 150.0(k)1E:	Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.
§ 150.0(k)1F:	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).*
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§ 150.0(k)1I:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit remove than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.*
3 100.0(K)ZD.	The state of the s

Interior Switches and Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually

Interior Switches and Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to

Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.

Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9.

Wood Frameo no insulation Wood Framed no insulation ENESTRATION 1,207 Glazing Percentage: 21.0 % New/Altered Average U-Factor: Orientation Area(ft^2) U-Fac SHGC Overhang Sidefins Exterior Shades **HVAC SYSTEMS** Qtv. Heating Min. Eff Cooling **HVAC DISTRIBUTION** Cooling Duct Location WATER HEATING Qty. Type Gallons Min. Eff Distribution

 $\mathbf{\Omega}$

PROJECT No.

H036 SEPTEMBER 2022

DRAWN BY: CHECKED BY:

SHEET TITLE

SHEET NUMBER

GENERAL NOTES

EPOXY ADHESIVE ANCHORS:

- EPOXY ADHESIVE SHALL BE ONE OF THE FOLLOWING:
 - a. HILTI HIT-RE 500 ADHESIVE (ICC-ES REPORT ESR-2322)
 - SIMPSON SET-XP ADHESIVE (ICC-ES REPORT ESR-2508) EQUIVALENT ALTERNATES WILL BE CONSIDERED UPON REQUEST AND SUBMISSION OF MANUFACTURER'S SPECIFICATIONS AND
- INSTALLATION OF EPOXY ADHESIVE ANCHORS HORIZONTALLY OR UPWARDLY INCLINED TO SUPPORT SUSTAINED TENSION LOADS SHALL BE PERFORMED BY PERSONNEL CERTIFIED BY AN APPLICABLE CERTIFICATION PROGRAM. CERTIFICATION SHALL INCLUDE WRITTEN AND PERFORMANCE TESTS IN ACCORDANCE WITH THE ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM, OR EQUIVALENT. THE ACCEPTABILITY OF CERTIFICATION OTHER THAN ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION SHALL BE APPROVED BY THE ENGINEER OF RECORD.
- INSTALLATION REQUIREMENTS: INSTALL ADHESIVE AND ANCHORS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL HAVE MANUFACTURER'S PRODUCT INSTALLATION LITERATURE AND PRODUCT EVALUATION REPORT ON SITE FOR REFERENCE DURING
- ANCHORS SHALL BE INSTALLED IN CONCRETE THAT HAS A MINIMUM AGE OF 21 DAYS PER ACI D5.5.2.
- HOLE PREPARATION: HOLES SHALL BE DRILLED, BLOWN OUT, AND BRUSHED PER MANUFACTURER'S SPECIFICATIONS. CARTRIDGE PREPARATION: EPOXY ADHESIVE SHALL BE MIXED AND DISPENSED PER MANUFACTURER'S SPECIFICATIONS.
- 4. VISUAL PERIODIC SPECIAL INSPECTION IS REQUIRED DURING INSTALLATION, AND SHALL BE PERFORMED IN ACCORDANCE WITH THE
- MANUFACTURER'S SPECIFICATIONS AND ICC-ES REPORT. a. THE SPECIAL INSPECTOR MUST BE ON THE JOBSITE TO VERIFY THE INITIAL INSTALLATIONS OF EACH TYPE AND SIZE OF ANCHOR BY
- CONSTRUCTION PERSONNEL. SUBSEQUENT INSTALLATIONS OF THE SAME TYPE AND SIZE BY THE SAME CONSTRUCTION PERSONNEL ARE PERMITTED TO BE PERFORMED IN THE ABSENCE OF THE SPECIAL INSPECTOR. ANY CHANGE IN THE PRODUCT OR PERSONNEL MUST REQUIRE AN INITIAL INSPECTION. FOR ONGOING INSTALLATION OVER AN

EXTENDED PERIOD, THE SPECIAL INSPECTOR MUST MAKE REGULAR INSPECTIONS AT INTERVALS DETERMINED BY THE ENGINEER

- c. IF THE CONTRACTOR FAILS TO ENSURE VISUAL PERIODIC SPECIAL INSPECTION IS ADEQUATELY PERFORMED, OR THE LOCAL BUILDING AUTHORITY SPECIFICALLY REQUIRES TESTING, CONTACT THE ENGINEER FOR PROOF LOADING REQUIREMENTS.
- QUALITY CONTROL REQUIREMENTS:
- a. SHEAR ANCHORS: 25% OF ANCHORS RESISTING SHEAR FORCES ONLY, SUCH AS SILL PLATE OR LEDGER ANCHORS, SHALL BE
- TORQUE TESTED TO THE VALUES LISTED BELOW. TENSION ANCHORS: 5% (BUT NOT LESS THAN TWO) OF ANCHORS RESISTING TENSION FORCES, SUCH AS HOLDOWN ANCHORS, SHALL BE SUBJECT TO DIRECT TENSION TESTS PER THE TYPICAL "HOLDOWN TO EXISTING CONCRETE" DETAILS. AN ADDITIONAL 20% (BUT NOT LESS THAN THREE) SHALL BE TORQUE TESTED TO THE VALUES LISTED BELOW.
- c. TORQUE TESTING REQUIREMENTS: TEST ANCHORS USING A TORQUE CALIBRATED WRENCH TO THE FOLLOWING MINIMUM TORQUE

ALUES:	
<u>ANCHOR</u>	TORQUE
½ "Ø	40 FT-LBS.
%"Ø	50 FT-LBS.
3∕4"Ø	60 FT-LBS.
⅓ "Ø	70 FT-LBS.
1"Ø	80 FT-LBS.

DEMOLITION AND SHORING WORKS

ALL DESIGN AND DETAILING FOR TEMPORARY SHORING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, 2019 EDITION. DRAWINGS AND CALCULATIONS SHALL BE STAMPED AND SIGNED BY A CIVIL OR STRUCTURAL ENGINEER LICENSED IN THE STATE OF CALIFORNIA, AND SHALL BE SUBMITTED TO THE LOCAL DEPARTMENT OF BUILDING INSPECTION FOR APPROVAL UPON REQUEST.

STRUCTURAL OBSERVATIONS

- THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER A MINIMUM OF 48 HOURS (EXCLUDING WEEKEND DAYS) PRIOR TO THE TIME OF A REQUIRED STRUCTURAL OBSERVATION.
- OBSERVATION VISITS TO THE JOB SITE BY THE ENGINEER'S FIELD REPRESENTATIVE SHALL BE CONSTRUED AS NEITHER INSPECTION NOR APPROVAL OF CONSTRUCTION.

ABBREVIATIONS ON DRAWINGS:

FLOOR

A.B.	ANCHOR BOLT	FTG.	FOOTING	SIM.	SIMILAR	
BM	BEAM	GALV.	GALVANIZE	SQ.	SQUARE	
BOT.	BOTTOM	GA.	GAUGE	SECT.	SECTION	
B.O.	BOTTOM OF	GLB	GLULAM BEAM	S.O.G.	SLAB ON GRADE	
B/W	BETWEEN	HORIZ.	HORIZONTAL	SQ.	SQUARE	
ą.	CENTER LINE	LVL	MICROLAM	STAGG.	STAGGERED	
COL.	COLUMN	M.B.	MACHINE BOLT	STD.	STANDARD	
CONT.	CONTINUOUS	MAX.	MAXIMUM	STL	STEEL	
CLR	CLEAR	MIN.	MINIMUM	STIFF.	STIFFENER	
CONC.	CONCRETE	MISC.	MISCELLANEOUS	STRUCT.	STRUCTURAL	
CONN.	CONNECTION	MECH.	MECHANICAL	S.W.	SHEAR WALL	
COLL.	COLLECTOR	M.F.	MOMENT FRAME	T&B	TOP AND BOTTOM	
Ø, OR d	DIAMETER	N.T.S.	NOT TO SCALE	T&G	TONGUE AND GROVE	
D.F.	DOUGLAS FIR	NO.	NUMBER	T.O.C.	TOP OF CONCRETE	
D.S.	DRAG STRUT	(N)	NEW	TYP.	TYPICAL	
DWG	DRAWING	0.C.	ON CENTER	THK	THICK	
DIAG.	DIAGONAL	O.H.	OPPOSITE HAND	THRD. ROD	THREADED ROD	
DN	DOWN	O.D.	OUTSIDE DIAMETER	T.O.	TOP OF	
EA.	EACH	PL.	PLATE	U.O.N.	UNLESS OTHERWISE NOTED	
EL.	ELEVATION	PLY.	PLYWOOD	VERT.	VERTICAL	
EXT.	EXTERIOR	PSL	PARALLAM	V.I.F.	VERIFY IN FEILD	
E.N.	EDGE NAILING	P.T.	PRESSURE TREATED	w/	WITH	
E.F.	EACH FACE	REINF.	REINFORCING	w/o	WITHOUT	
E.S.	EACH SIDE	REQ'D	REQUIRED	WT	WEIGHT	
E.W.	EACH WAY	REV	REVISION	W.W.F	WELDED WIRE FABRIC	
EQ	EQUAL	S.A.D.	SEE ARCHITECTURAL	WF	WIDE FLANGE STEEL	
(E)	EXISTING		DRAWINGS		SECTION	

SCHEDULE

SHEATHING

- 1. ALL SHEATHING TO BE ORIENTED STRAND BOARD (OSB) OR PLYWOOD STAMPED BY THE AMERICAN PLYWOOD ASSOCIATION (APA) AND SHALL CONFORM TO THE U.S. PRODUCT STANDARD (PS 1) WITH EXTERIOR GLUE. SEE PLANS FOR THICKNESS AND NAILING PATTERN AT FLOOR AND ROOF SHEATHING. (MINIMUM SHEET SIZE 24"). SHEATHING SHALL BE DOUGLAS FIR AND AS FOLLOWS (U.O.N.):
 - 5/8" APA RATED 32/16, EXPOSURE 1*
 - 3/4" APA RATED 48/24, T&G, EXPOSURE 1** ½" APA RATED 32/16, EXPOSURE 1
 - * PROVIDE PLY CLIPS BETWEEN JOISTS WHERE EDGES ARE NOT BLOCKED.

** CONTRACTOR MAY OMIT T&G WHERE EDGES ARE BLOCKED

- 2. ALL EXTERIOR WALLS NOT NOTED AS SHEAR WALLS SHALL BE SHEATHED WITH SHEATHING AND CONSTRUCTED AS A TYPE-6 SHEAR WALL, INCLUDING ABOVE AND BELOW ALL WALL OPENINGS, AND GABLED WALLS.
- 3. GLUE FLOOR SHEATHING TO JOISTS WITH A CONTINUOUS BEAD OF CONSTRUCTION GRADE ADHESIVE (ASTM D3498) AND NAIL WITHIN 10
- MINUTES OF GLUEING.
- SHEATHING SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS AND EDGES SHALL HAVE A STAGGERED LAYOUT.
- SHEATHING SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL PANEL EDGES. PROVIDE 3x (OR 4x) MEMBERS (OR DOUBLE 2x TOP PLATE) AT ALL SHEATHING EDGES FOR SHEAR WALL WHERE NAILING IS EQUAL OR LESS THAN 4"o.c.
- SHEATHING SHALL ABUT ALONG THE CENTERLINE OF FRAMING MEMBERS WITH NAILING NOT LESS THAN 3/8" FROM EDGE OF SHEETS AND
- SHEAR WALLS SHALL RUN AND BE CONNECTED TO UNDERSIDE OF ROOF OR FLOOR SHEATHING WITH APPROVED BLOCKING AS REQUIRED AND SHALL CONNECT WITH FLOOR OR FOUNDATION BELOW.
- WHERE SHEAR WALL CONNECTIONS ARE NOT SPECIFICALLY DETAILED ON THESE DRAWINGS, CONSTRUCTION DETAILS SHALL BE PER TYPICAL DETAILS AND SHEAR WALL SCHEDULE.

STRUCTURAL STEEL

- 1. ALL STRUCTURAL STEEL TO BE DETAILED. FABRICATED AND ERECTEDN ACCORDANCE WITH CBC CHAPTER 22 ANDAISC 360-10. SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS
- 2. STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING: HSS SHAPES ASTM A500. GRADE B CONTINUITY PLATES ASTM A572 (Fy=50 KSI) OTHER SHAPES AND PLATES ASTM A36 ELECTRODES ASTM E70XX BASE PLATES ASTM A36
- BOLT HOLES SHALL BE 1/16" OVERSIZED, EXCEPT AT BASE PLATES WHERE THEY CAN BE 5/16" OVERSIZED WITH WELDED WASHERS WITH 1/16" OVERSIZED HOLES.
- 4. ALL SHOP AND FIELD WELDING SHALL BE INSPECTED BY AN APPROVED TESTING LABORATORY. SPECIAL INSPECTION REQUIREMENTS OF CHAPTER 17, 2016 CBC, APPLY TO ALL WELDING.
- ALL WELDING TO CONFORM TO THE REQUIREMENTS OF THE LATEST AWS D1.1 STRUCTURAL WELDING CODE AND SHALL BE PERFORMED BY CERTIFIED WELDERS.
- ALL WELDS NOT SPECIFIED SHALL BE CONTINUOUS FILLET WELDS, USING NOT LESS THAN THE MINIMUM SIZES BASED ON THICKNESS OF THICKER PART JOINED PER AISC/AWS, AND IN NO CASE LESS THAN 1/4" UNLESS NOTED OTHERWISE.
- 7. WHERE WELDS ARE DESIGNATED AS DEMAND CRITICAL, THEY SHALL BE MADE WITH A FILLER METAL CAPABLE OF PROVIDING A MINIMUM CHARPY V-NOTCH (CVN) TOUGHNESS OF 20 FT-LB AT -20°F AS DETERMINED BY THE APPROPRIATE AWS CLASSIFICATION TEST METHOD OR MANUFACTURER CERTIFICATION, AND 40 FT-LB AT 70°F AS DETERMINED BY APPENDIX X OR OTHER APPROVED METHOD, WHEN THE STEEL FRAME IS NORMALLY ENCLOSED AND MAINTAINED AT A TEMPERATURE OF 50°F OR HIGHER.
- NON-SHRINK GROUT IS REQUIRED UNDER ALL BASE PLATES. GROUT SHALL COMPLY WITH ASTM C 1107 GRADE A AND ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 7000 PSI AT 28 DAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES. INCLUDING THOSE RELATING TO TEMPERATURE DIFFERENTIALS, ERECTION TOLERANCES, AND WITH RESPECT TO STRUCTURAL STEEL FRAMING INTO REINFORCED CONCRETE WALLS.
- 10. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL DISTORTION OF THE STEEL, DURING AND AFTER ALL FIELD AND SHOP WELDING, AND TO ENSURE THAT ALL STEEL REMAINS STRAIGHT AND OR PLUMB, DURING AND AFTER WELDING OPERATIONS. THIS INCLUDES, BUT NOT LIMITED TO, PRE-SETTING, TRIAL ERECTION, USING FEWER WELD PASSES, BACKSTEP WELDING, PROPER WELDING SEQUENCE, AND CLAMPING. ALL CORRECTIONS NECESSARY DUE TO DISTORTION OF THE STEEL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 11. THE STRUCTURAL STEEL CONNECTIONS CONSIST OF THE FOLLOWING:
- a. ALL MAJOR STRUCTURAL STEEL CONNECTIONS ARE DETAILED ON THE DRAWINGS. THE DETAILS INDICATE THE REQUIRED MINIMUM PLATE THICKNESSES, ANGLES, WELDS, BOLTS AND GENERAL CONNECTION CONFIGURATION. THE FINAL DIMENSIONAL CONFIGURATION INCLUDING ADJUSTMENTS FOR CAMBER SHALL BE DETERMINED BY THE FABRICATOR ON SHOP DRAWINGS.
- ANY PROPOSED REVISIONS OR MODIFICATIONS TO THE CONNECTIONS AS SHOWN ON THE DRAWINGS SHALL BE FULLY ENGINEERED BY THE FABRICATOR. SHOP DRAWINGS AND CALCULATIONS PREPARED AND STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CALIFORNIA SHALL BE SUBMITTED FOR REVIEW. THE CAPACITY OF CONNECTIONS SHALL NOT BE REDUCED FROM THAT PROVIDED BY THE DETAIL AS SHOWN WHERE NOT SHOWN OR INFERRED FROM DRAWINGS, THE CONNECTION SHALL BE CAPABLE OF NOT LESS THAN 120% OF THE MEMBER CAPACITY IN TENSION. ANY PROPOSED REVISIONS SHALL BE AT NO ADDITIONAL
- 12. STEEL ELEMENTS DESIGNATED AS ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) SHALL BE IN ACCORDANCE WITH AISC 303-16. THE CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, WITH ELEMENT CATEGORIES AND CHARACTERISTICS AS DEFINED BY THE ARCHITECT.

GENERAL NOTES

- 1. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CRC
- ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWISE. NOTES AND DETAILS ON THE DRAWINGS TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS.
- ALL OMISSIONS AND CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR ARCHITECTURAL SPECIFICATIONS (WHERE APPLICABLE) SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY OF THE
- WORK INVOLVED. AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE

ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY

- DURING AND AFTER CONSTRUCTION, BUILDER AND/OR OWNER SHALL KEEP LOADS ON STRUCTURE WITHIN THE LIMITS OF DESIGN LOADS.
- 6. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE STRUCTURAL DRAWINGS.
- NO OPENINGS, CHASES, NOTCHES, ETC. SHALL BE PLACED IN COLUMNS, JOISTS, BEAMS, BEARING WALLS, AND SHEAR WALLS UNLESS SPECIFICALLY NOTED ON THESE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER WHEN DRAWINGS BY OTHERS SHOW SUCH OPENINGS.
- CONTRACTOR SHALL COORDINATE ALL STRUCTURAL FRAMING WITH MECHANICAL, PLUMBING AND ELECTRICAL INFRASTRUCTURE, INCLUDING, BUT NOT LIMITED TO, RECESSED AND SEMI-RECESSED LIGHTING, MECHANICAL DUCTS AND PIPING, FIRE SPRINKLER PIPE AND HEADS AND PLUMBING DRAINS, WASTE AND SUPPLY LINES.
- 10. ALL ASTM DESIGNATIONS SHALL BE AS AMENDED TO DATE UNLESS NOTED OTHERWISE.

DESIGN CRITERIA

1.	DEAD	LOADS:			
	a.	ROOF (ED)	= 13 PSF	
	b.	CEILING	D [′]	= 6 PSF	
	C.	WALL (I	EXTER	RIOR)	= 20 PSF
	d.	WALL (I	NTER	IOR)	= 10 PSF
	e.	FLOOR			= 15 PSF
2.	LIVE	LOADS:			
	a.	ROOF	=	20 PSF	
	b.	ATTIC	=	10 PSF	

c. FLOOR = 40 PSF

- 1. ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2019 CRC CHAPTER 1 9 AND 2018 NDS (NATIONAL DESIGN SPECIFICATION).
- ALL SOLID SAWN STRUCTURAL LUMBER SHALL CONFORM TO THE GRADING RULES OF THE WESTERN WOOD PRODUCTS ASSOCIATION.
- LUMBER SHALL BE DOUGLAS FIR WITH GRADE AS FOLLOWS: JOISTS: NO. 2, 2" TO 4" THICK BEAMS & HEADERS: NO 1 POSTS: NO. 1, POST & TIMBERS STUDS: CONSTRUCTION PRESSURE TREATED: NO. 2
- TRUS JOISTS SHALL BE MANUFACTURED BY WEYERHAEUSER. ALL CUTTING, NOTCHING AND DRILLING OF TRUS JOISTS MAY BE DONE ONLY IN ACCORDANCE WITH THE DETAILS PROVIDED BY THE MANUFACTURER.
- ALL PARALLAM (PSL), MICROLAM (LVL), AND TIMBERSTRAND (LSL) MEMBER CALLOUTS REFER TO PRODUCTS OF WEYERHAEUSER. CUTTING, NOTCHING OR DRILLING OF MEMBERS MAY BE DONE ONLY WITH THE APPROVAL OF THE STRUCTURAL ENGINEER. GRADE SHALL BE AS FOLLOWS:
- a. 2.2E PARALLAM (PSL): Fb=2,900 PSI; Fv= 290 PSI; E= 2,200,000 PSI 2.0E MICROLAM (LVL): Fb=2,600 PSI; Fv= 285 PSI; E= 2,000,000 PSI c. 1.55E TIMBERSTRAND (LSL): Fb=2,325 PSI; Fv= 310 PSI; E= 1,550,000 PSI
- 5. ALL STRUCTURAL LUMBER SHALL HAVE THE FOLLOWING MAXIMUM MOISTURE CONTENT (MC): MCLESS THAN OR EQUAL TO 19% AT TIME OF INSTALLATION.
- ALL NAILS USED IN TIMBER-TO-TIMBER CONNECTIONS SHALL BE COMMON NAILS AND NAILING SHALL CONFORM TO THE APPLICABLE BUILDING CODES. ALL NAILS CONNECTING PRE-MANUFACTURED METALTTEMS (CONNECTORS. HANGERS, STRAPS, ETC) TO TIMBER SHALL CONFORM TO THE MANUFACTURER'S CATALOGUE AND APPLICABLE ICC REPORTS.
- 7. ALL STUD WALLS SHALL HAVE FIRE BLOCKING AT 10'-0"o.c. MAXIMUM.
- WHERE WOOD IS IN CONTACT WITH CONCRETE OR MASONRY, OR EXPOSED TO WEATHER, PRESSURE-TREATED ("P.T.") DOUGLAS FIR SHALL BE USED UNLESS NOTED OTHERWISE. WEATHER RESISTANT SPECIES SUCH AS REDWOOD, CEDAR, OR WOLMANIZED WOOD MAY BE USED WHERE SPECIFIED IN THE DRAWINGS OR APPROVED BY THE ENGINEER.
- UNLESS NOTED OTHERWISE, ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY SHALL BE BOLTED WITI⅓"Ø F1554 ANCHOR BOLTS WITH 7" MINUMUM EMBEDMENT AND 3"x3"x.229" PLATE WASHERS AT 4'-0"o.c. PLATE WASHER SHALL EXTEND TO WITHIN OF PLATE ON SHEATHED SIDE. SEE SHEAR WALL SCHEDULE FOR ADDITIONAL ANCHOR BOLT SPACING AND PLATE WASHER REQUIREMENTS.
- 10. ALL BOLT HEADS AND NUTS WHICH BEAR AGAINST THE FACE OF WOOD MEMBERS SHALL BE PROVIDED WITH WASHERS. NO UPSET THREADS
- PROVIDE MULTIPLE STUDS FOR SOLID BEARING AT THE ENDS OF MISCELLANEOUS BEAMS OR GIRDER TRUSSES WHERE POSTS ARE NOT
- 12. PROVIDE DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITIONS.
- PROVIDE SOLID BLOCK AT BEARING WALLS, UNDER PERPENDICULAR PARTITIONS AND ELSEWHERE AS REQUIRED PER NDS SECTION 4.4.1 PROVIDE FULL DEPTH BLOCKING AT ENDS AND AT 8'-0"o.c. MAXIMUM SPACING.
- 14. FACE NAIL TWO PIECE BUILT-UP BEAMS WITH 16d AT 12"o.c. AT TOP AND BOTTOM TO ALTERNATE SIDES OF BEAM. PROVIDE ADDITIONAL ROW OF NAILING AT ALL BEAMS GREATER THAN 12" DEEP.

60% TO 75% OF THE DIAMETER OF THE THREAD AND THE SAME

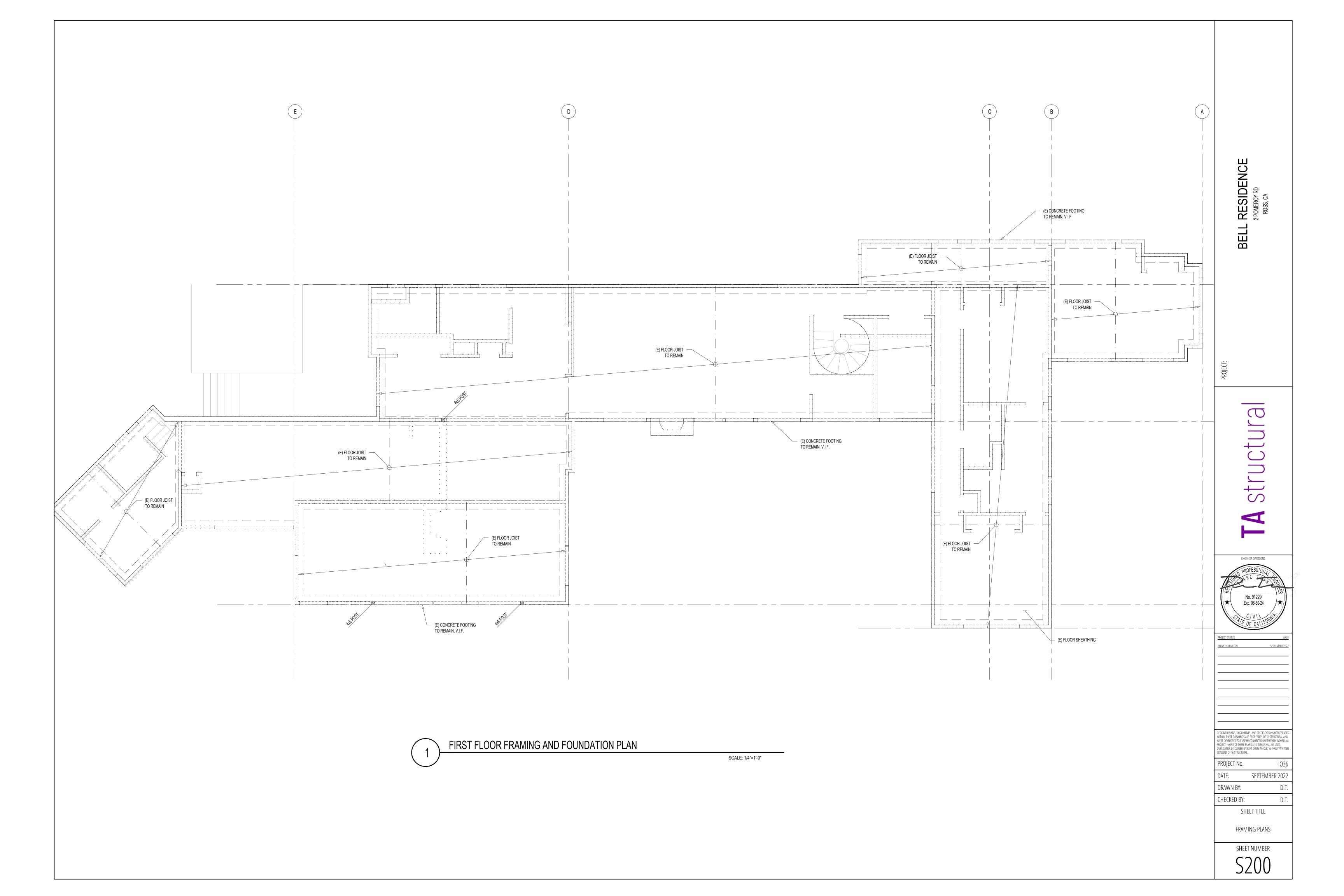
15. PREDRILL ALL HOLES FOR 20d AND LARGER NAILS, SPIKES AND LAG BOLTS. LEAD HOLES FOR LAGS SHALL BE AS FOLLOWS: SHANK PORTION: SAME DIAMETER AND LENGTH AS SHANK.

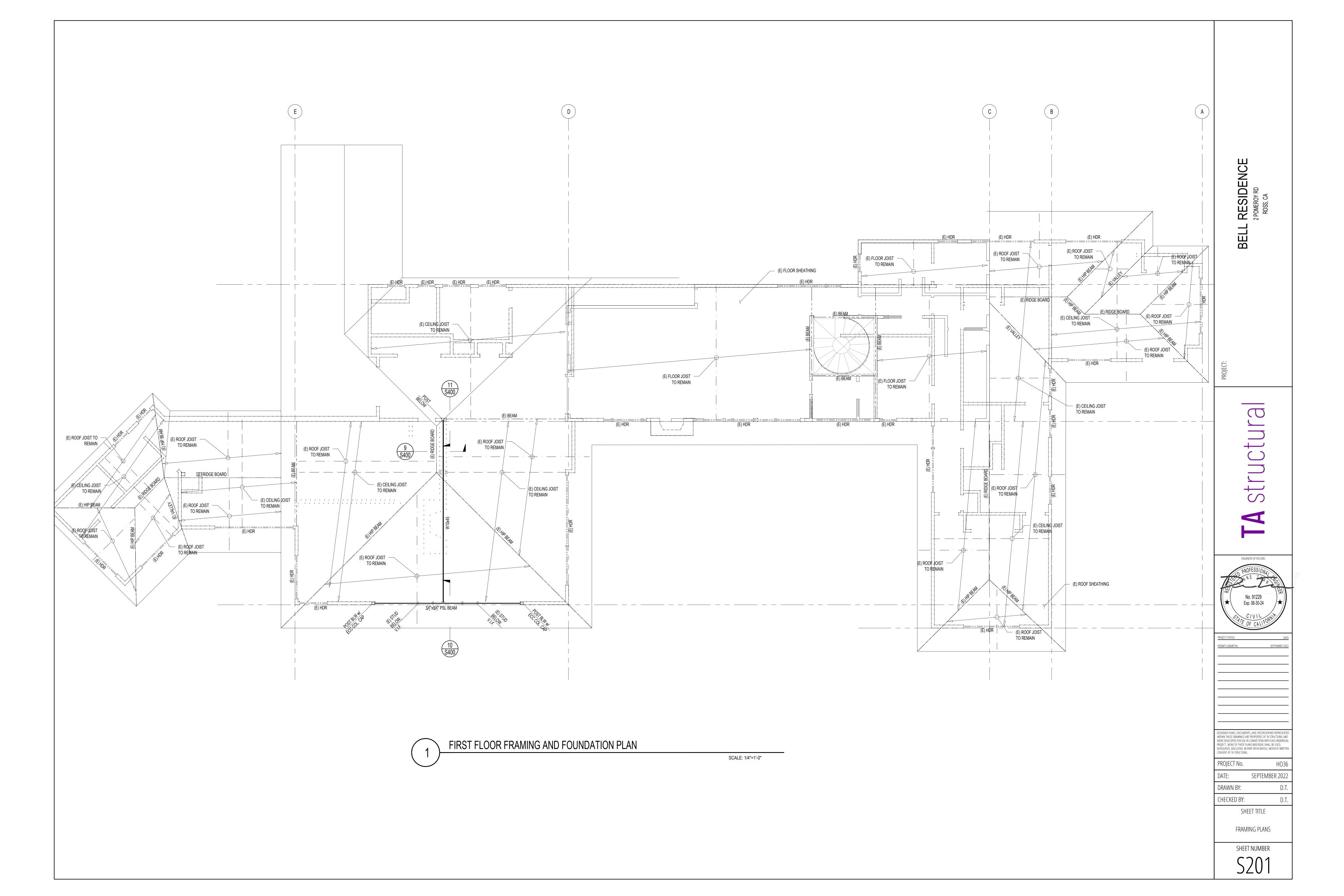
LENGTH AS THREAD.

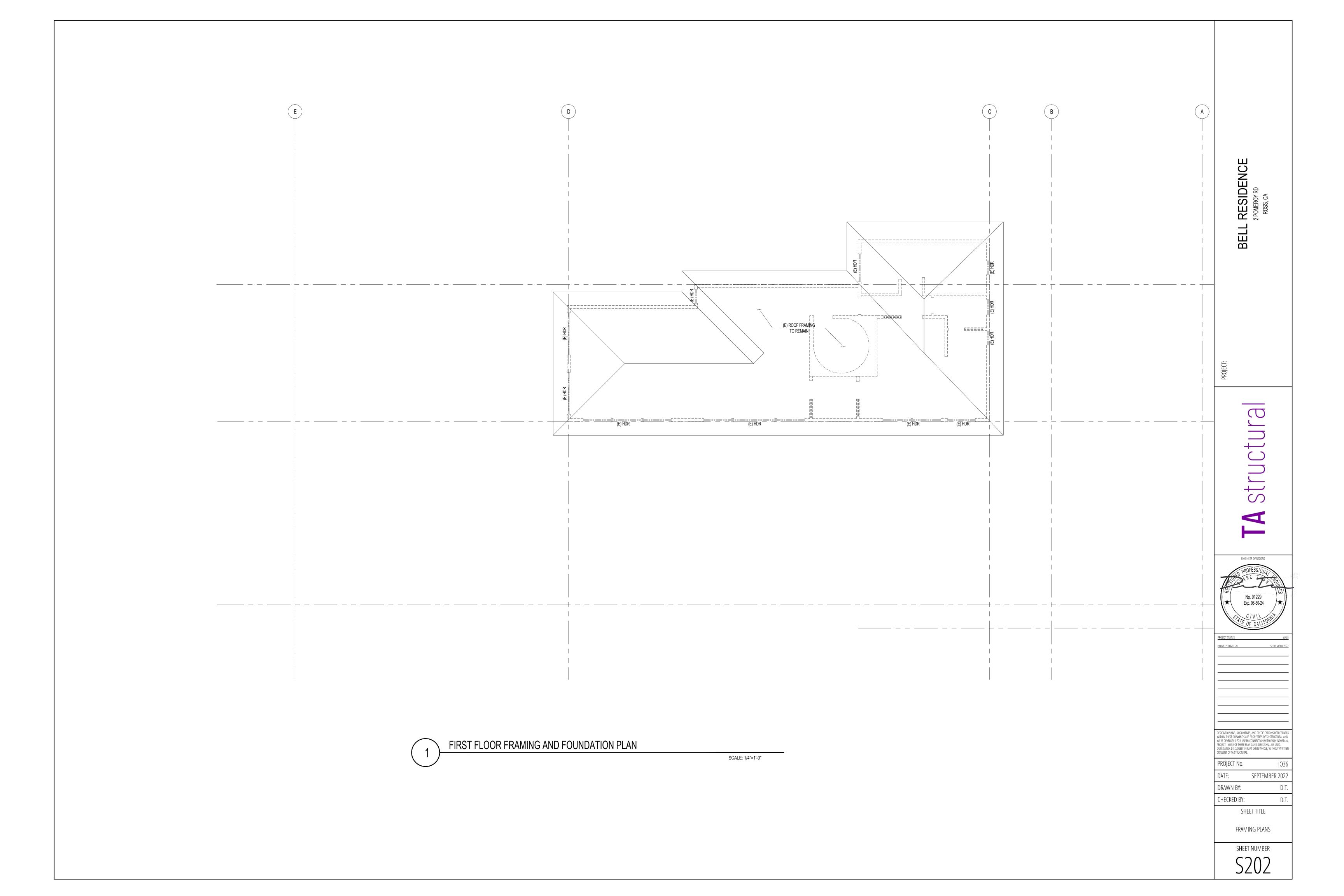
- 17. PROVIDE FULL DEPTH SOLID BLOCKING AT A MAXIMUM OF 8'-0"o.c. FOR 2x10 MEMBERS AND LARGER (CONTACT METAL BRIDGING OR EQUAL MAY BE USED) WHERE SHEATHING OR GYPSUM BOARD IS NOT APPLIED TO TOP AND BOTTOM OF JOISTS FOR ENTIRE LENGTH PER NDS
- ALL PREMANUFACTURED METAL ITEMS (CONNECTORS, HANGERS, STRAPS, ETC.) SHALL BE BY SIMPSON STRONG TIE COMPANY, INC. UNLESS NOTED OTHERWISE. SEE NOTE AND ABOVE CONCERNING NAILING.
- 19. RETIGHTEN ALL BOLTS BEFORE CLOSING IN.

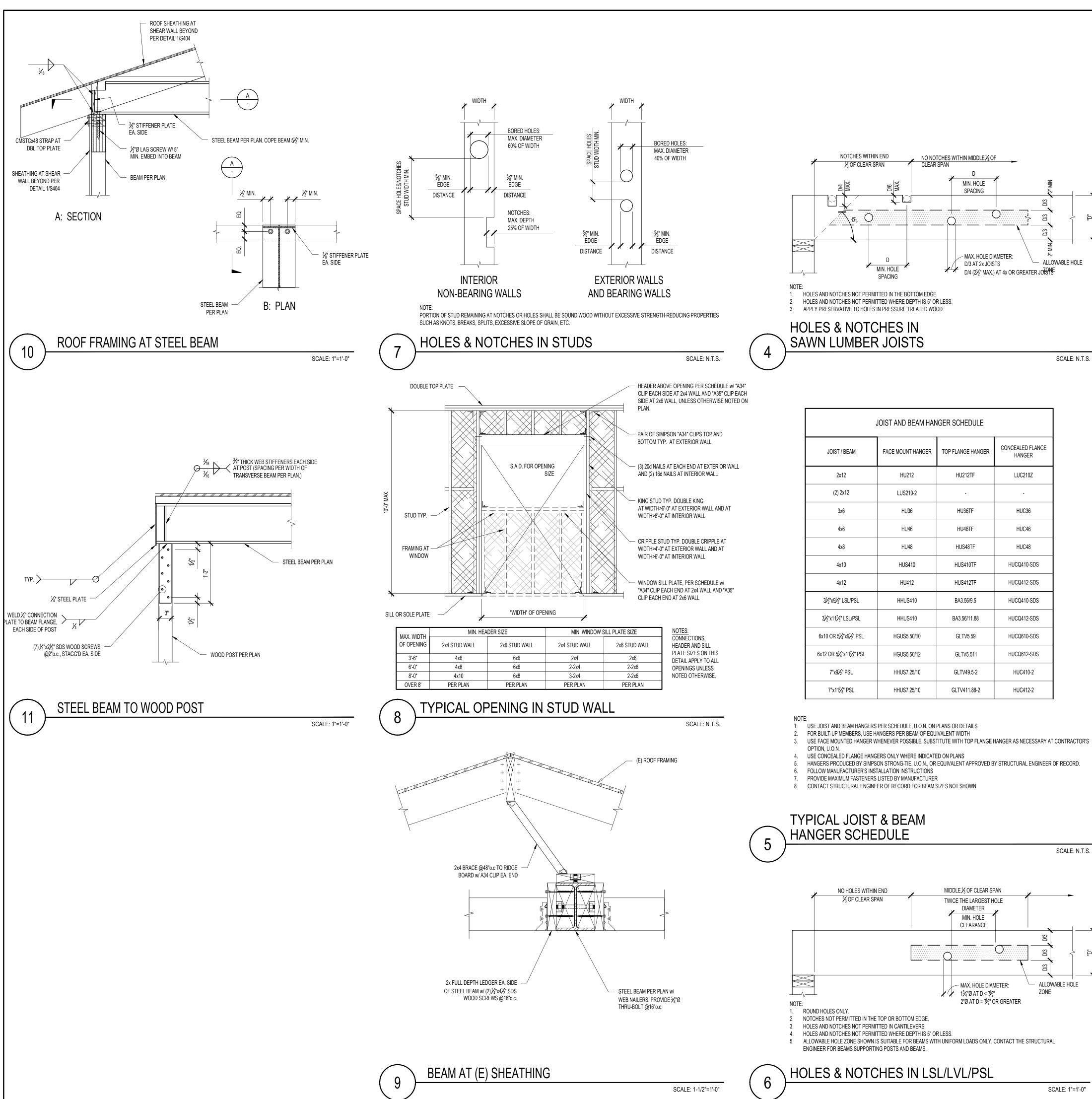
THREADED PORTION:

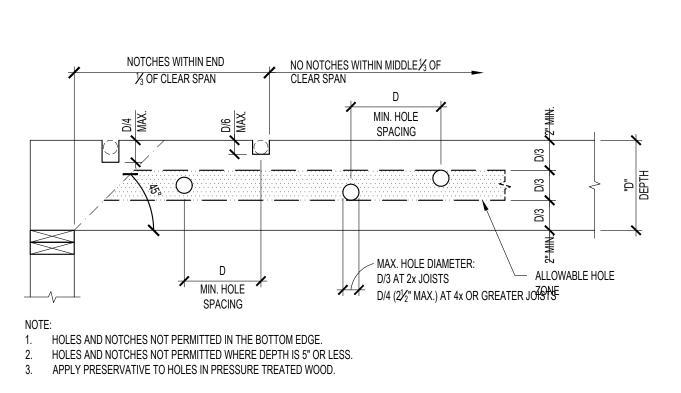
- 20. FASTENERS & CONNECTORS EXPOSED TO WEATHER SHALL BE STAINLESS STEEL, HOT-DIPPED GALVANIZED PER ASTM A153 CLASS C OR ASTM A123, OR SIMPSON'S "ZMAX" OR DOUBLE-BARRIER/QUIK GUARD COATING.
- 21. FASTENERS & CONNECTORS IN CONTACT WITH WOOD TREATED WITH AMMONIA OR ACZA (CHEMONITE) OR OTHER CHEMICALS w/ CHEMICAL RETENTION > AWPA UC4A SHALL BE STAINLESS STEEL. FASTENERS & CONNECTORS IN CONTACT WITH OTHER PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE STAINLESS STEEL, HOT-DIPPED GALVANIZED PER ASTM A153 - CLASS D OR ASTM A123, OR SIMPSON'S "ZMAX" OR WITHIN THESE DRAWINGS ARE PROPERTIES OF TA STRUCTURAL AND DOUBLE-BARRIER/QUIK GUARD COATING.
- 22. ALL STUDS SHALL BE ONE PIECE BETWEEN FLOORS AND FROM FLOOR TO ROOF, UNLESS NOTED OTHERWISE. ALIGN CENTERLINE OF STUDS WITH CENTERLINE OF FLOOR JOISTS. ALIGN CENTERLINE OF STUDS FOR FULL HEIGHT OF STRUCTURAL TYPICAL.
- ALL POSTS SHALL BE FULL HEIGHT FROM FOUNDATION TO ROOF, UNLESS NOTED OTHERWISE. WHERE POSTS ARE DISCONTINUOUS AT JOI SPACE AND OR FROM TOP OF BEAM OR HEADERS TO LOWER TOP PLATE, BLOCK THIS SPACE WITH STUD POST.











JOIST AND BEAM HANGER SCHEDULE

HU212

LUS210-2

HU36

HU46

HU48

HUS410

HU412

HHUS410

HHUS410

HGUS5.50/10

HGUS5.50/12

HHUS7.25/10

HHUS7.25/10

FACE MOUNT HANGER TOP FLANGE HANGER

HU212TF

HU36TF

HU46TF

HUS48TF

HUS410TF

BA3.56/9.5

BA3.56/11.88

GLTV5.59

GLTV5.511

GLTV49.5-2

GLTV411.88-2

HOLES & NOTCHES IN SAWN LUMBER JOISTS

16-16d NAILS STAGGERED STUDS - PLATE JOINTS TO BE 2-2X TOP PLATES — ALIGNED OVER STUDS (TYP.)

4'-0" MIN. LAP

APPLIES TO FULL LENGTH OF WALL U.O.N. AND ALL THE WAY ACROSS BLDG ALONG LINE OF WALL AND OVER OPENINGS SUCH AS DOORS AND WINDOWS.

TOP PLATE SPLICE

SCALE: N.T.S.

CONCEALED FLANGE

LUC210Z

HUC36

HUC46

HUC48

HUCQ410-SDS

HUCQ412-SDS

HUCQ410-SDS

HUCQ412-SDS

HUCQ610-SDS

HUCQ612-SDS

HUC410-2

HUC412-2

SCALE: N.T.S.

SCALE: 1"=1'-0"

- PIPE OR CONDUIT NOTCH ADD'L A.B. EACH SIDE WHEN CONDUIT IS MORE THAN D/3 CORNER BEFORE NOTCHING SIMPSON (ST2215) MIN. OR AS NOTED ON FRAMING PLANS

HOLES & NOTCHES IN SILL PLATES

SCALE: N.T.S.

SCALE: N.T.S.

ENGINEER OF RECORD Exp. 06-30-24

RESIDENCE
2 POMEROY RD
ROSS, CA

BELL

HIN THESE DRAWINGS ARE PROPERTIES OF TA STRUCTURAL AND RE DEVELOPED FOR USE IN CONNECTION WITH EACH INDIVIDUA ROIECT. NONE OF THESE PLANS AND IDEAS SHALL BE USED. ICATED, DISCLOSED, IN PART OR IN WHOLE, WITHOUT WRITTE

ISENT OF TA STRUCTURAL. PROJECT No. H036 DATE: SEPTEMBER 2022 DRAWN BY: CHECKED BY:

SHEET TITLE DETAILS

SHEET NUMBER

TYPICAL JOIST & BEAM HANGER SCHEDULE

NO HOLES WITHIN END MIDDLE ⅓ OF CLEAR SPAN ⅓ OF CLEAR SPAN TWICE THE LARGEST HOLE DIAMETER MIN. HOLE CLEARANCE ALLOWABLE HOLE - MAX. HOLE DIAMETER: ZONE 13/4"Ø AT D < 7/2" 2"Ø AT D = 1⁄2" OR GREATER

NOTCHES NOT PERMITTED IN THE TOP OR BOTTOM EDGE. HOLES AND NOTCHES NOT PERMITTED IN CANTILEVERS.

HOLES AND NOTCHES NOT PERMITTED WHERE DEPTH IS 5" OR LESS. ALLOWABLE HOLE ZONE SHOWN IS SUITABLE FOR BEAMS WITH UNIFORM LOADS ONLY, CONTACT THE STRUCTURAL

HOLES & NOTCHES IN LSL/LVL/PSL

PANEL JOINT SPACING 1/8" MIN.

STAGGERED PANEL EDGE NAILING

NOTE:
USE 3x STUD & BLKG AT ALL PANEL EDGES AND STAGGER EDGE NAILING WHEN EDGE NAILING IS SPACED AT 2"o.c. OR LESS

 $2\frac{1}{2}$ " MIN.

STUD OR BLKG

SCALE: 1"=1'-0"

EDGE NAILING

ATTACHMENT 3

Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957 Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM		
Type of Application (check all that apply): Advisory Design Review Appeals Basement and Attics Exception Certificate of Compliance Demolition Permit Design Review Design Review-Amendment Final or Parcel Map General Plan Amendment Hillside Lot Permit Lot Line Adjustment Minor Exception Non-conformity Permit Accessory Dwelling Unit Tentative Map Tentative Map Amendment Use Permit Variance Zoning Ordinance Amendment Other: Other:		
To Be Completed by Applicant:		
Assessor's Parcel No(s): 071-023-15		
Project Address: 2 Pomeroy 20 Ross CA		
Property Owner: Ecica & David Bell		
Owner Mailing Address (PO Box in Ross):		
City/State/Zip: Ross CA 94957 Owner's Phone: 908-418-1211		
Owner's Email: Erica ashley bellagmai, L com Applicant: Mark Louisbury & Erica Bell		
Applicant Mailing Address:		
City/State/Zip: Ross Applicant's Phone:		
Applicant's Email: Marmstrong@townofross.org		
Primary point of Contact Email:		
To Be Completed by Town Staff: Date Received: Planning 5300		
Application No.: Tree Permit 5305		
Zoning: Fee Program Administration 5315-05 Record Management 5112		
Technology Surcharge 5313		
Date paid: TOTAL FEES: Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.		

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

, Californi	a on
EBell	4
Signature of Property Owner(s) and Applicant(s)Sign	nature of Plan Preparer

Notice of Ordinance/Plan Modifications

Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Written	Project	Descri	ntion –	may h	e attached.
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A complete description of the proposed project, <u>including all requested variances</u>, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

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Public Welfare That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. Describe why the variance will not be harmful to or incompatible with other nearby properties.

ATTACHMENT 4

MINUTES

Meeting of the Ross Advisory Design Review Group 7:00 PM, Tuesday, March 21, 2023

Video and audio recording of the meeting is available online at the Town's website at: townofross.org/meetings.

1. 7:00 p.m. Commencement

ADR Group Chair Kruttschnitt called the meeting to order.

Present: Laura Dewar, Josefa Buckingham, and Stephen Sutro

Director Rebecca Markwick and Assistant Planner Alex Lopez-Vega were present representing staff.

2. Approval of Minutes.

The ADR Group minutes were unanimously approved.

3. Open Time for Public Comments

No comments were provided.

4. Planning Applications/Projects

a. Property Address: 28 Walnut Avenue

A.P.N.: 073-171-03

Applicant: Bressack and Wasserman Architects **Property Owner:** John and Gabrielle Bressack Gantus

Zoning: R-1:B-10

General Plan: ML (Medium Low Density)

Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval of Demolition and Design Review applications. The project includes remodeling and a renovation of the existing single-family home, removing the office and deck in the side yard setback, replacing the various roof structures with one coherent roof design, and demolition of the carport at Walnut Avenue. New landscaping and hardscape is also being proposed throughout the property

Director Markwick presented the project, as well as the project architect, Phoebe Bressack.

Chris Solle spoke about the project and he was not supportive. Was concerned about the mass and the bulk of the home. Andrew Baskin, Hanson Bridgett LLP spoke on behalf of the owners of 15 Walnut and 10 Olive, he mentioned the email that was sent previously. He indicated that the project applicant did not change anything to the design, instead

changed the permitting strategy. There are still privacy issues for his client into their pool area. would impact his clients privacy. He suggested continuing the item so that the architect can go back to the drawing board. Mathilda Thompson spoke about the project and was supportive of the design, and supports the project.

Joey Buckingham

- Applauds the changes in the fenestration, elimination of the balcony, celebration of the front door.
- Could not come to an agreement about the bridge, thinks it adds to the mass of the project.
- Style changes are positive.
- Could support the bridge if the ADU was reduced in size and it has some character, for example all glazed.

<u>Laura Dewar</u>

- Changing the windows, removing the balcony and the front door are all positive improvements to the house.
- The storage space should be moved to the rear of the garage and follow the natural topography of the site.
- Can recommend the project

Stephen Sutro

- Primary façade looks good
- Likes the bridge, in the buildable area, it does not create bulk and mass
- Overall the home is well designed in the buildable area and supports the project.

Mark Kruttschnitt

- Agrees with all his colleagues.
- Does not like the bridge
- Storage space should be moved.
- Can support the project without the bridge.

b. Property Address: 205 Lagunitas Avenue

A.P.N.: 073-211-40

Applicant and Owner: Lagunitas Country Club

Zoning: R-1:B-A

General Plan: RC (Limited Specialized Recreational/Cultural)

Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval of Design Review to construct a platform tennis court adjacent to the existing court. The proposed design conforms to the American Platform Tennis Association standards and is largely identical to the other courts on site.

Director Markwick presented the project, there were no questions of staff.

Oliver Dibble, representing the Lagunitas Country Club presented the project. The ADR had questions about the material of the rear retaining wall.

Dellie Woodring, a member of the club had a question about the ADA component. Staff indicated that the ADA component would be taken into consideration at the time building permit.

Mark Kruttschnitt

- Looks fine, likes there are no neighbor objections to the lights
- Recommends approval

Stephen Sutro

• Recommends approval with a condition that the retaining walls match the existing or if that is cost prohibitive then plant the walls.

Laura Dewar

• Supports project, agrees with Stephens comments about the retaining walls.

c. Property Address: 101 Upper RoadA.P.N.: 073-022-13Applicant: EAG Studios

Property Owner: Jessica and Lexi Viripaeff

Zoning: R-1:B-A

General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval for Design Review, Hillside Lot permit, and a Variance. The project is requesting to construct new landscape structures at the single-family residential property. These structures and features include a new pool/spa, pool equipment, patio, firepit, outdoor kitchen, retaining wall, and an outdoor shower. Variances are requested to allow for the construction of new landscape structures within the side and rear yard setback.

Assistant Planner Lopez presented the project. The project architect presented the project over Zoom.

Astrid and Bo Dahlin owners of 11 Upper Road spoke about the project. She owns the shared driveway and is concerned about the mass and bulk of the retaining walls, and the size of the project in relation to the home. She I very concerned about the outdoor shower. She suggested that the pool and decking move closer to the house.

Mark Kruttschnitt

- Project is too separated from the house, too much of the pool and patio are in the setbacks.
- Does not fit into the topography
- Should be within the buildable envelope, project encroaches too much
- Earthtones would be better for the retaining walls.

Steven Sutro

• A pool will fit, and a Variance could work, however there are some recommendations

- Guardrails on the roof of the ADU creates a nonconformity, they are obtrusive and should be removed
- Walls are too tall on the terrace for the BBQ
- Move outdoor shower
- Remove terrace at the BBQ side
- The fountain wall is too tall, pool equipment should be moved underground
- Material should be more earth toned.

Laura Dewar

- Agree the materials need to be earth toned
- Has questions about the pool, and patio being too far into the setbacks, suggests pulling it in towards the house.
- Likes the green roof however suggests removing the guardrail
- Outdoor shower needs to be moved

Joey Buckingham

- Agrees with her colleagues
- All improvements need to be moved outside of the setbacks
- Can support the pool if it is outside of the setbacks and public space dug into the hill.
- Minimize the portion that is cantilevered over the hill
- Materials should be earth toned.
- Remove the guardrail on the green roof.

d. Property Address: 50 Wellington Avenue

A.P.N.: 072-154-09

Applicant: Imprints Landscape Architecture
Property Owner: Elizabeth and Patrick Quigney

Zoning: R-1:B-10

General Plan: ML (Medium Low Density)

Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval for Design Review, and a Variance Permit. The project is requesting to construct new landscape structures at the single-family residential property. These structures and features include a new patio, 4-foot concrete wall, auto gate, fireplace, arbor structure, and an outdoor kitchen. Variances are requested to allow for the construction of new landscape structures within the side and rear yard setback.

Assistant Planner Lopez presented the staff report. Brad Eigsti representing the property owners presented. There were no public comments.

Joey Buckingham

- beautiful project, supports as drawn.
- Findings can be made for the Variance, no impact to anyone.

Laura Dewar

These improvements are buried into the hillside, no visual impact to the neighborhood.

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- Question about the TV
- Supports the project.

Mark Kruttschnitt

- Supports the project.
- Agrees with Laura about the TV
- These improvements are built into the topography
- Can support the project.

Steven Sutro

- Supports the project as submitted
- There are existing improvements in the setbacks and these are replacing them.

e. Property Address: 1 El Camino Bueno

A.P.N.: 072-162-14
Applicant: David Bilsker
Property Owner: David Bilsker
Zoning: R-1:B-A

General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval for Design Review, and a Variance to allow for the construction of a new 8-foot stamped concrete wall along Sir Francis Drake. The new stamped stone pattern wall will replace the existing wood fence.

Assistant Planner Lopez-Vega presented the project. Property owner Bilsker also presented the project.

Mark Kruttschnitt

• Supports the project and the planting on the wall looks great

Stephen Sutro

Supports as submitted

Joey Buckingham

• Supports the project

<u>Laura Dewar</u>

Supports the project

f. Property Address: 74 Baywood Avenue

A.P.N.: 072-131-10
Applicant: Paz Studio

Property Owner: Michael and Renad Cieplinski

Zoning: R-1:B-5A

General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

The applicant requests approval for Design Review, Hillside Lot Permit, an ADU permit, and a Variance. The project includes a new front yard fence and remodeling and renovating the existing single-family home. The project proposes to construct a 1,000 SF Accessory Dwelling Unit (ADU) which requires an ADU Permit. The Variance is required to exceed the allowable floor area and lot coverage. A Variance is also required to construct of a new pool within the side yard setback. New landscaping and hardscape is also being proposed throughout the property.

Assistant Planner Lopez-Vega presented the project. Architect Colleen Paz presented on behalf of the property owners.

ADR member, Laura Dewar recused.

Mark Kruttschnitt

Supports the project

Joey Buckingham

Supports the project, beautifully designed

Stephen Sutro

- Likes the dark color
- Pool is well designed
- Fenestration on ADU are small, could be more compatible with the house
- Great Project

g. Property Address: 2 Pomeroy Road
A.P.N.: 072-023-15
Applicant: Mark Lounsbury
Property Owner: Erica and David Bell

Zoning: R-1:B-5A

General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

Project Summary: The applicant requests approval for Design Review, and a Demolition Permit. The project includes replacing old windows for new windows, the project also includes replacing the existing siding from T-11 to western red cedar shingles. A demolition permit is required to alter more than twenty-five percent of exterior wall coverings of a residence.

Project Summary: The applicant requests approval for Design Review, Hillside Lot Permit, an ADU permit, and a Variance. The project includes a new front yard fence and remodeling and renovating the existing single-family home. The project proposes to construct a 1,000 SF Accessory Dwelling Unit (ADU) which requires an ADU Permit. The Variance is required to exceed the allowable floor area and lot coverage. A Variance is also required to construct of a new pool within the side yard setback. New landscaping and hardscape is also being proposed throughout the property.

Assistant Planner Lopez Vega presented the project. Project contractor also presented, representing the property owners.

Mark Kruttschnitt

• Supports the project.

Stephen Sutro

• Looks great, supports the project

Joey Buckingham

• Great, supports the project

5. Conceptual ADR

- 6. Information and Discussion.
- 7. New Agenda Items.

Adjournment, 9:00 PM.

Next scheduled regular meeting date and time: April 18, 2023, at 7:00 PM.