



Agenda Item No. 15.

Staff Report

Date: May 14, 2020

To: Mayor McMillan and Council Members

From: Matthew Weintraub, Planner

Subject: Zelaya Residence, 49 Glenwood Avenue, File No. NCP19-0007

Recommendation

Town Council approval of Resolution No. 2158 approving a Nonconformity Permit and Design Review to allow for enlargement, extension, reconstruction, and structural alteration of an existing legal nonconforming single-family residence and accessory building, redevelopment of existing pool deck, driveway, vehicular parking area, and new fences and walls.

Property Information

Owner: Miguel & Briana Zelaya
Design Professional: Stewart Summers, SKS Architects
Location: 49 Glenwood Avenue
A.P. Number: 073-071-05
Zoning: Single Family Residence/Special Building Site, 1-Acre Minimum Lot Size (R-1:B-A)
General Plan: Very Low Density – 0.1-1 Unit/Acre (VL)
Flood Zone: X (Minimal risk area outside the 1% and 0.2%-annual-chance floodplains)

Project Summary

PROJECT ITEM	ALLOWED BY CODE	EXISTING	PROPOSED
Lot Area	1 Acre min.	47,400 sq. ft.	No change
Floor Area	7,110 sq. ft. (15%) max.	8,332 sq. ft. (17.6%)	7,779 sq. ft. (16.4%)
Building Coverage	7,110 sq. ft. (15%) max.	6,381 sq. ft. (13.4%)	5,810 sq. ft. (12.2%)
Impervious Surfaces	Not specified	20,127 sq. ft. (42.5%)	16,773 sq. ft. (35.4%)
Front Setback	25 feet min.	25 feet	No change

PROJECT ITEM	ALLOWED BY CODE	EXISTING	PROPOSED
North Side Setback	25 feet min.	10 feet	6 feet
South Side Setback	25 feet min.	16 feet	No change
Rear Setback	40 feet min.	0 feet	No change
Building Height	30 feet/2 stories max.	39 feet/2 stories	No change
Parking Spaces	4 (2 covered) min.	4 (2 covered)	6 (2 covered)

Project Description

The applicant is requesting approval of a proposed rear addition to the existing legal nonconforming residence, relocation/reconstruction of an existing legal nonconforming accessory structure, and redevelopment of the area around an existing pool including the removal of two existing accessory structures, new pool deck, new fencing and retaining walls, and new partial driveway and uncovered vehicular parking area at 49 Glenwood Avenue. A Nonconformity Permit is requested in order to allow for the existing residence and accessory structure which are nonconforming with regards to maximum allowed floor area and minimum required side and rear yard setbacks to be enlarged, extended, reconstructed and structurally altered, without increasing the square feet of nonconforming floor area. Design Review is requested in order to allow for additions exceeding a total of 200 square feet of new floor area, the relocation/reconstruction of an accessory structure, and grading (excavation) of more than 50 cubic yards

The proposed project includes: a net reduction in existing nonconforming floor area of 553 square feet; the removal of an existing 201-square-foot pool cabana building and an existing 235-square-foot storage building located in front of the residence; the removal of 260 square feet of existing upper floor and loft space by remodeling at the interior of the residence; the construction of a new 64-square-foot rear addition at the main level of the residence for a new laundry room under the existing second story, the reconfiguration of an existing rear upper level hipped-roof dormer containing a walk-in closet to a box dormer with a higher roof resulting in no new floor area, and a 79-square-foot conversion of existing crawlspace to new stairs and storage at the basement level, all within the existing building footprint which is legal nonconforming with respect to the minimum required side yard and rear yard setbacks; the relocation/reconstruction of an existing 102-square-foot accessory shed building in back of the residence, which is currently legal nonconforming with respect to the minimum required side yard and rear yard setbacks, the reconfiguration of the existing pool deck; the replacement and reconfiguration of the entry drive and the construction of a new four-vehicle parking pad; and the installation of new pathways.

The proposed project materials and colors would include the following:

- Composition shingle roofing, "re-sawn shake"
- Stucco siding, smooth finish, off-white
- Patina copper gutters, brown
- Metal-clad wood windows, double-glazed, clay

- Composite wood trim, light gray
- Bluestone boulder base and chimneys
- Bronze lantern fixtures

The Project Plans are included as **Attachment 2**. The applicant's Project Description is included as **Attachment 3**.

The proposed project is subject to the following permit approvals:

- **Nonconformity Permit is required pursuant to Ross Municipal Code (RMC) Section 18.52.030 (c)** because the proposed improvements would enlarge, extend, reconstruct, or structurally alter an existing residential structure and accessory building which are legal nonconforming with respect to the maximum allowed floor area, minimum required side and rear yard setbacks, and maximum allowed building height, without increasing nonconforming building height or floor area.
- **Design Review is required pursuant to Ross Municipal Code (RMC) Section 18.41.020** because the proposed improvements would involve exterior remodeling resulting in additions, extensions, and enlargements to existing buildings exceeding 200 square feet of new floor area, new fences greater than 48 inches in height in a yard adjacent to the street or right-of-way, and excavation of more than 50 cubic yards.

Background

The project site is a 47,400-square-foot lot with an irregular shape. It has frontage on and direct access to Glenwood Avenue. The property rises upward from east to west with an average slope of approximately 19%. The existing residence and improvements are legal nonconforming relative to the maximum allowed floor area and floor area ratio (FAR), maximum allowed building height, and minimum required yard setbacks. The Project History is included as **Attachment 4**.

Advisory Design Review

The Advisory Design Review (ADR) Group reviewed the project on February 25, 2020 (see **Attachment 7**). The scope of the ADR Group review entailed the proposed new building mass, rooflines, architectural elevations including exterior materials and fenestration, accessory building relocation, and landscape/hardscape renovation. At the February 25, 2020 meeting, the ADR Group Members recommended minor design revisions that included: revising the proposed new fenestration at the rear elevation to better match the existing, original front elevation; enclosing the proposed new pool equipment; adjusting the boundary between the proposed new driveway paving and off-street parking pavers; and not increasing the size of the existing rear accessory building proposed to be relocated/reconstructed. In response, the applicant revised the project design to address the comments of the ADR Group Members by: revising the proposed rear fenestration to better match the existing, original front elevation; providing a new pool equipment enclosure; adjusting the driveway paving boundary; and maintaining the size of the existing rear accessory building. The ADR Group Members recommended that the project

design was consistent with the Design Review Criteria and Standards per RMC Section 18.41.100 and the Town of Ross Design Guidelines including the following specific guidelines:

- 4.1 Design a project to integrate with and take advantage of existing topography.
 - Where grading is utilized, the design should retain water on site, enhance percolation into soils and minimize runoff onto adjacent properties.
- 4.6 Minimize the visibility of a secondary structure or ADU.
 - Locate a secondary structure or ADU to the rear of a property, where feasible.
- 4.7 Screen a garage and off-street parking at the street edge with plantings, fences or walls.
- 4.9 Select materials for the driveway and off-street parking that contribute to the overall site design.
- 4.10 Design off-street parking on the site to be a part of a coordinated site plan.
 - Consider the parking layout, parking area materials and screening when designing the front yard.
- 5.6 Design a roof to be consistent with the overall architectural design and detailing of the structure.
 - Use angles, pitches and materials that coordinate with a building's overall design.
- 5.22 Use detailing to create interest and provide a sense of scale. Appropriate techniques include:
 - Accent lines
 - Ornamentation
 - Color/material change
 - Minor wall offsets
 - Eaves and overhangs
 - Window and door framing details
 - Exterior or building lighting

The project design presented to the Town Council implements the recommendations made by the ADR Group, including the revisions recommended at the February 25, 2020 meeting.

Key Issues

Design Review

The overall purpose of Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town," low-density character and

identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development.

Consistent with the ADR Group discussion and support, staff suggests the requisite findings can be achieved. The project is in keeping with Design Review criteria and standards including those related to mass and bulk, rooflines, materials, site layout, neighborhood compatibility, and environmental sensitivity. The project's size and design are consistent with the existing residence and with the development pattern of existing homes located within the vicinity of the project site. The project would be sufficiently distanced from the adjacent neighbor's properties and would not adversely impact any light, air, and/or privacy associated with the surrounding properties due to the project design and site orientation. The project would not impact any unique environmental resources.

Nonconforming Floor Area, Building Height, and Yard Setbacks

The overall purpose of a Nonconformity Permit is to allow for the continued existence, reconstruction and modification of nonconforming residential structures. The intent is to protect those buildings that contribute to the Town's small town character; to permit floor area nonconformities to be retained on site redevelopment where the design is appropriate; and to allow other nonconformities to be maintained when reasonable and where they create the same or fewer impacts than strict conformance with Town regulations. Nonconforming structures in a residential zoning district may be enlarged, extended, reconstructed or structurally altered with a Nonconformity Permit, except that a floor area ratio variance shall be required to increase the square feet of nonconforming floor area.

Staff suggests the project is in keeping with the purpose and mandatory findings for a Nonconformity Permit related to the existing nonconforming floor area, building height, and yard setbacks. The project would result in a net decrease in nonconforming floor area of 553 square feet, and it would maintain the existing nonconforming building height of 39 feet. The residence is currently nonconforming with regard to the minimum required north side yard setback of 25 feet and rear yard setback of 40 feet. At the rear elevation of the residence, the Nonconformity Permit would allow for further minor improvements within minimum required yard setbacks, consisting of a new 64-square-foot "infill" addition at the first floor entirely under the existing second floor, and the reconfiguration of an existing dormer from hipped to boxed at the second floor, all within the existing building footprint. These proposed improvements at the back of the existing residence would maintain the existing nonconforming rear yard building setback of approximately 12 feet (10 feet at the dormer) and would comply with the minimum required north side building setback. In order to facilitate the proposed improvements at the back of the

residence, the Nonconformity Permit would also allow for the relocation/reconstruction of an existing 102-square-foot accessory shed building within minimum required yard setbacks so that it does not obstruct the proposed new additions, reconfigurations, and access ways at the back of the residence. The proposed relocation of the existing accessory building slightly to the north would maintain the existing nonconforming zero setback at the rear and it would reduce the existing nonconforming north side yard setback from approximately 10 feet to 6 feet. While the project would reduce the distance between the accessory building and the north side property line by approximately 4 feet, this new nonconforming condition would create the same or fewer impacts than the existing condition because the relocated accessory building would still be located a minimum of 130 feet from the nearest neighboring structure and a minimum of 170 feet from the nearest neighboring primary residence. This proposed relocation, retention, and reuse of the existing accessory structure also creates the same or fewer impacts than removal of the nonconforming structure in strict conformance with Town regulations. The Nonconformity Permit would also allow for the reconfiguration of the existing rear patio paving within the minimum required yard setbacks, also to facilitate the proposed improvements at the back of the residence.

Public Comment

Public Notices were mailed to property owners within 300 feet of the project site. As of the writing of the staff report, no public comments have been received.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

Alternative actions

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of minor alteration to an existing private structure involving negligible or no expansion of use. Specifically, the project is exempt under subsection (e) (1) as an addition to an existing structure that is no more than 50% of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. No exception set forth in CEQA Guidelines Section 15300.2 applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources; Subsection (b), which relates to cumulative impacts; Subsection (c), which relates to unusual circumstances; or Subsection (f), which relates to historical resources.

Attachments

1. Resolution No. 2158
2. Project Plans
3. Project Description
4. Project History
5. ADR Group Meeting Minutes from February 25, 2020 (Draft)
6. Neighborhood Outreach

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2158

A RESOLUTION OF THE TOWN OF ROSS APPROVING A NONCONFORMITY PERMIT AND DESIGN REVIEW TO ALLOW FOR A REAR ADDITION TO THE EXISTING RESIDENCE, THE RELOCATION/RECONSTRUCTION OF AN EXISTING ACCESSORY SHED BUILDING, THE REMOVAL OF TWO EXISTING POOL BUILDINGS, AND LANDSCAPE/HARDSCAPE IMPROVEMENTS AT 49 GLENWOOD AVENUE, APN 073-071-05

WHEREAS, property owners Miguel and Briana Zelaya have submitted an application requesting approval of a Nonconformity Permit and Design Review to allow for a rear addition to the existing residence, the relocation/reconstruction of an existing accessory shed building, the removal of two existing pool buildings, and landscape/hardscape improvements (herein referred to as “the project”) at 49 Glenwood Avenue, APN 073-071-05.

WHEREAS, the project was determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of minor alteration to an existing private structure involving negligible or no expansion of use. Specifically, the project is exempt under subsection (e) (1) as an addition to an existing structure that is no more than 50% of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. No exception set forth in CEQA Guidelines Section 15300.2 applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources; Subsection (b), which relates to cumulative impacts; Subsection (c), which relates to unusual circumstances; or Subsection (f), which relates to historical resources; and

WHEREAS, on May 14, 2020, the Town Council held a duly noticed public hearing to consider the project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves a Nonconformity Permit and Design Review to allow the project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 14th day of May 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Julie McMillan, Mayor

ATTEST:

Linda Lopez, Town Clerk

EXHIBIT "A"
FINDINGS
49 GLENWOOD AVENUE
APN 073-071-05

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.52.040 (f), Nonconformity Permit is approved based on the following mandatory findings:

a) The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The property owner has the burden to prove by substantial evidence the nonconforming and legal status of the structure.

Based on County Assessor data, the subject nonconforming structure was constructed in approximately 1906, which is prior to the adoption of the R-1:B-A District in 1977, which introduced the regulations regarding floor area, building height, and yard setbacks, to which the existing structure is nonconforming.

b) The town council can make the findings required to approve any required demolition permit for the structure: The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.

A demolition permit is not required pursuant to per RMC Chapter 18.50.

c) The project substantially conforms to relevant design review criteria and standards in Section 18.41.100, even if design review is not required.

As described in the Design Review findings in Section II below, the project is consistent with the Design Review criteria and standards per RMC Section 18.41.100.

d) Total floor area does not exceed the greater of: a) the total floor area of the existing conforming and/or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations. The town shall apply the definition of floor area in effect at the time of the application for a nonconformity permit.

The project would result in a net decrease to nonconforming floor area on the property from 8,332 square feet (17.6% FAR) to 7,779 square feet (16.4% FAR), such that the project would not exceed, and would be less than, the total floor area of the existing conforming and/or legal nonconforming structures.

- e) **Granting the permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.**

The project would be sufficiently distanced from the adjacent neighbor's properties and would not adversely impact any light, air, and/or privacy associated with the surrounding properties due to the project design and site orientation. The proposed buildings would be located a minimum of 130 feet from the nearest neighboring structure and a minimum of 170 feet from the nearest neighboring primary residence. The project would not impact any unique environmental resources.

- f) **The project will comply with the Flood Damage Prevention regulations in Chapter 15.36.**

The property is not located within a special flood hazard area (SFHA) which would be subject to the Flood Damage Prevention regulations in RMC Chapter 15.36, and therefore it complies.

- g) **The fire chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the fire chief.**

The Marin County Fire District has reviewed and approved the project, including with respect to adequate access and water supply for firefighting purposes.

- h) **The applicant has agreed in writing to the indemnification provision in Section 18.40.180.**

Condition of Approval No. 10 requires indemnification pursuant to RMC Section 18.40.180. At the time that the applicant submits a building permit application with authorizing signatures subject to this Resolution and attached Conditions of Approval, the applicant will have agreed in writing to being subject to the indemnification provision.

- i) **The site has adequate parking. For purposes of this section, adequate parking shall mean that the site complies with at least the minimum number of parking spaces required for the zoning district (covered or not covered). If the site does not comply with the covered parking requirement, the Town Council may require covered parking to be provided. The Town Council may consider the size of the residence and number of bedrooms and may require additional parking up to the following:**

Total site floor area (excluding covered parking)	Required off street parking
1,300 square feet to 3,300 square feet	3 spaces
Over 3,300 square feet	4 spaces

The project would increase the off-street parking capacity from four off-street parking spaces including two covered spaces, which currently meets the minimum required by the Zoning, to six off-street parking spaces including two covered spaces, which would exceed the

minimum required by the Zoning.

II. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following special conditions and findings:

- a) The project is consistent with the purpose of the Design Review chapter as outlined in Ross Municipal Code Section 18.41.010.**

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

- b) The project is in substantial compliance with the design criteria of Ross Municipal Code Section 18.41.100.**

The project provides an architectural design that is consistent with the architecture, materials, and colors of the existing residence and that is compatible with nearby residences in the vicinity of the project. The project is also compatible in mass, bulk, rooflines, and site layout to existing development patterns in the neighborhood. The project would be sufficiently distanced from the adjacent neighbor's properties and would not adversely impact any light, air, and/or privacy associated with the surrounding properties due to the project design and site orientation. The project would address health and safety through the issuance of a building permit to ensure compliance with the building, public works, and fire code regulations.

- c) The project is consistent with the Ross General Plan and zoning ordinance.**

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the zoning regulations, therefore the project is found to be consistent with the Ross General Plan and Zoning Ordinance.

EXHIBIT "B"
CONDITIONS OF APPROVAL
49 GLENWOOD AVENUE
APN 073-071-05

1. This approval authorizes a Nonconformity Permit and Design Review to allow for the enlargement, extension, reconstruction, and structural alteration of an existing legal nonconforming single-family residence and accessory building, redevelopment of existing pool deck, driveway, vehicular parking area, and new fences and walls at 49 Glenwood Avenue, APN 073-071-05.
2. The building permit shall substantially conform to the plans entitled, "Zelaya Residence, 49 Glenwood Avenue, Ross, CA 94957", consisting of 33 sheets prepared by Stewart Summers, SKS Architects and dated March 30, 2020.
3. Except as otherwise provided in these conditions, the project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the project and will not extend the permitted construction period.
5. The project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.

9. The project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
- a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
 - b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
 - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the project. Any additional costs incurred by the Town, including costs to inspect or review the project, shall be paid as incurred and prior to project final.
 - d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
 - e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
 - f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
 - g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
 - h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout

areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.

- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.

- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
- i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.

- ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
 - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or alleging any other liability or damages based upon, caused by, or related to the approval of the project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2

ZELAYA RESIDENCE

49 GLENWOOD AVE, ROSS, CA 94904 | APN#: 071-051-05

SITE # BLDG DATA

GENERAL

AP NUMBER:	071-051-05
LOT AREA:	71,888 ACRES(47,400.0 SF)
ZONING:	R-1.5-A
OCCUPANCY CLASSIFICATION:	RSU
DESCRIPTION OF USE:	DWELLING
CONSTRUCTION TYPE:	V-B
STORIES:	TWO
SPRINKLERS:	NO

FLOOR AREA

ITEM	EXISTING	PROPOSED	NET CHANGE
LOWEST FLOOR LEVEL	668.0 SF	141.0 SF	18.0 SF ADD
MAIN FLOOR AREA	2,133.0 SF	2,167.4 SF	64.4 SF ADD
UPPER FLOOR AREA	2,761.1 SF	2,836.0 SF	51.9 SF REDUCE
PORCH (INCLUDES TERRACE)	36.5 SF	35.5 SF	0.0 SF
FINISHED LOFT (NO. 43)	256.3 SF	0.0 SF	256.3 SF REDUCE
REAR YARD SHED	107.4 SF	107.4 SF	0.0 SF
GARAGE	1,062.5 SF	1,062.5 SF	0.0 SF
POOL CABANA	201.0 SF	0.0 SF	0.0 SF
PLAY RM STORAGE EQUIP	235.0 SF	0.0 SF	235.0 SF REDUCE
TOTAL BUILDING FOOTAGE	8,331.5 SF	7,178.5 SF	365.0 SF REDUCE
TOTAL FAR	13.6%	16.46%	18% REDUCE

LOT COVERAGE

ITEM	EXISTING	PROPOSED	NET CHANGE
MAIN HOUSE/STAIRS/PATIO	3,450.0 SF	3,555.4 SF	64.4 SF ADD
REAR YARD SHED	107.4 SF	107.4 SF	0.0 SF
GARAGE	1,033.0 SF	1,033.0 SF	0.0 SF
HOUSE FRONT PATIO	1,023.5 SF	1,023.5 SF	0.0 SF
POOL CABANA (4 ROOF)	399.0 SF	0.0 SF	399.0 SF REDUCE
PLAY RM STORAGE EQUIP	235.0 SF	0.0 SF	235.0 SF REDUCE
TOTAL BLDG COVERAGE	6,381.5 SF	5,801.5 SF	576.0 SF REDUCE
LOT COVERAGE	13.4%	8.2%	17% REDUCE

SHEET INDEX

A0	COVER, PROPOSED SITE PLAN, PROJECT DATA
1	TOPOGRAPHIC SURVEY
C1	CIVIL COVER SHEET
C2	CIVIL SITE PLAN
C3	CONCEPTUAL GRADING AND DRAINAGE - POOL SITE
C4	CONCEPTUAL GRADING AND DRAINAGE - MAIN HOUSE
C5	CIVIL NOTES
EG0	EXISTING PROPOSED SITE PLANS (FOR COMPARISON)
EC1	EXISTING MAIN FLOOR PLAN
EC2	EXISTING UPPER FLOOR PLAN
EC3	EXISTING LOWER FLOOR PLAN
EC31	EXISTING ATTIC & LOFT FLOOR PLANS
EC4	EXISTING ROOF PLAN
EC5	EXISTING FRONT / REAR ELEVATIONS
EC6	EXISTING SIDE ELEVATIONS
EC7	EXISTING POOL, CABANA, PLAY RM, STORAGE, EQUIP
A01	PROPOSED ENLARGED MAIN HOUSE SITE PLAN
A1	PROPOSED NEW MAIN FLOOR PLAN
A2	PROPOSED NEW UPPER FLOOR PLAN
A3	ALTERATION TO EXISTING ATTIC / LOWER FLR PLNS
A4	PROPOSED NEW ROOF PLAN
A5	PROPOSED NEW ELEVATIONS
A6	PROPOSED HOUSE & SHED ELEVATIONS
A7	PROPOSED NEW POOL AREA SITE PLAN
A8	PROPOSED NEW MATERIALS & POOL SITE & POOL EQUIPMENT VAULT
L1	LANDSCAPE SITE PLAN
L2	HARDSCAPE PLAN
L3	PLANTING PLAN WEST OF POOL
L4	PLANTING PLAN EAST OF POOL
SL	NEW SITE LIGHTING PLAN
VMP	VEGETATION MANAGEMENT PLAN
PH	RELEVANT PHOTOS

PROJECT PRINCIPLES

OWNER

BRIANA & MIGUEL ZELAYA
2605 CALIFORNIA STREET
SAN FRANCISCO, CA 94115

ARCHITECT

SKS ARCHITECTS
350 4TH STREET
SAN RAFAEL, CA 94901
(415) 387-1656
ATTN: STEWART SUTHERS

CIVIL ENGINEER

LTD ENGINEERING INC
1050 NORTHGATE DRIVE, 115
SAN RAFAEL, CA 94903
(415) 448-7492
ATTN: GLENN DEARTH

LANDSCAPE DESIGN

SAN FRANCISCO GREEN SPACES
174 22ND AVENUE
SAN FRANCISCO, CA 94911
(415) 845-3536
ATTN: BRAD GOTTA

LANDSCAPE ARCHITECT (VMP)

OLIVE STREET LANDSCAPE
P.O. BOX 3263
PETALUMA, CA 94952
(707) 260-8930
ATTN: ROO SCACCALONI

SURVEYOR

LAURENCE R. DOYLE
1308 HELENS LANE
MILL VALLEY, CA 94941
(415) 988-9585
ATTN: LARRY DOYLE

VICINITY MAP



PROJECT DESCRIPTION

- ALTERATION TO EXISTING MAIN RESIDENCE AS FOLLOWS: REMODEL KITCHEN, HALLWAY, STAIRS, & LAUNDRY AT REAR OF HOUSE ON MAIN LEVEL. ALTER SITTING RM, MASTER BEDROOM, MASTER BATH, MASTER CLOSET AT REAR OF HOUSE ON UPPER LEVEL.
- REMOVE TWO EXISTING BUILDINGS IN AREA OF SITTING POOL. CONSTRUCT NEW POOL EQUIPMENT AREA, NEW POOL DECK, & ASSOCIATED RETAINING WALLS, & STAIRS. RECONFIGURE EXISTING POOL AREA PARKING TO ADD ONE PARKING SPACE & PROVIDE SIDEWALK CIRCULATION AND POOL SECURITY FENCING.
- REWORK DRAINAGE & LANDSCAPING AT POOL SITE & ALONG NORTHERN SIDE OF SITE.

GENERAL NOTES

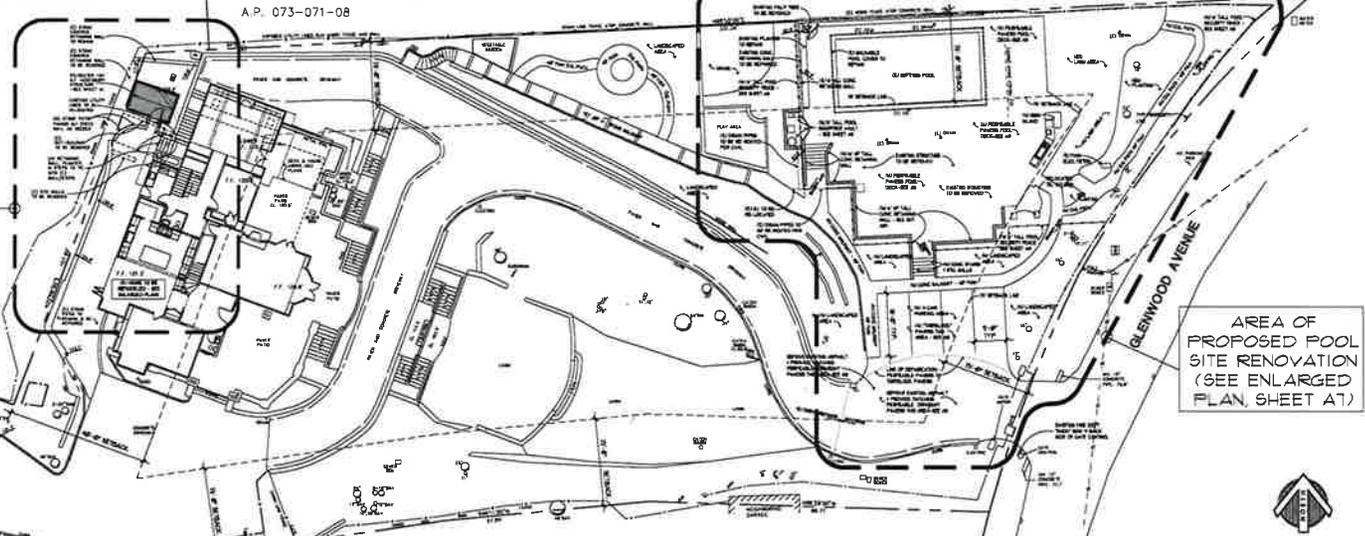
- ALL MATERIALS AND WORKMANSHIP TO CONFORM TO THESE PLANS, THE STANDARD SPECIFICATIONS OF THE CURRENT ADOPTED EDITION 2009 CALIFORNIA BUILDING CODE INCLUDING THE 2009 CBC, 2009 CFC, 2009 CFC, 2009 CFC, 2009 CFC, 2009 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEC), 2009 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), & ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS FOR RESIDENTIAL CONSTRUCTION AND SPECIFICALLY FOR THE CONSTRUCTION OF THIS STRUCTURE IN THE COUNTY OF MARIN AND THE TOWN OF ROSS, CALIFORNIA.
- ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED THE BEST STANDARDS OF THE TRADE.
- ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NOTED DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- PROTECTION OF OWNER'S PROPERTY AND ALL ADJACENT PROPERTIES, AS WELL AS THE GENERAL PUBLIC, ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MAINTAINED AT ALL TIMES.
- ALL REFERENCES TO THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS SHOWN IN THESE PLANS ARE INTENDED TO BE FOR DESIGN INTENT ONLY. SPECIALTY SUBCONTRACTORS SHALL BE RESPONSIBLE FOR FINAL DESIGN ISSUES PERTAINING TO INSTALLATION, INSPECTIONS, & PROPER OPERATION OF ALL SYSTEMS.
- ALL PAINTS, FINISHES, AND ADHESIVES, CAULKING, AND SEALANTS SHALL BE LOW VOC.
- PROVIDE PRESENT AND THROUGH DUST CONTROL AND CLEANUP.
- PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL THE APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2009 ENERGY EFFICIENT STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CFC, CFC, OR FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.
- THIS PROJECT SHALL MEET THE REQUIREMENTS OF 2019 CFC CHAPTER 7A, & 2019 CFC SECTION R501.
- ALL ROOF MATERIALS SHALL BE CLASS "A".
- ALL VEGETATION & CONSTRUCTION MATERIALS ARE TO BE MAINTAINED AWAY FROM THE RESIDENCE DURING CONSTRUCTION (DEFENSIBLE SPACE).
- AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE ENTIRE BUILDING(S) WHICH COMPLIED WITH THE REQUIREMENTS OF THE NFPA LIFE STANDARDS. A SEPARATE PERMIT IS REQUIRED.
- SPOKE & CARBON MONOXIDE DETECTORS SHALL BE INSTALLED PER CODE.
- ALL ILLUMINATED & CONTRASTING LETTERS MUST BE PLACED ADJACENT TO THE FRONT DOOR & OTHER LOCATIONS IF NOT VISIBLE FROM THE STREET.

LEGEND

	EXISTING WALLS TO REMAIN UNCHANGED		SECTION OF ELEV. NO. SHEET NO.		V.F. VERIFY IN FIELD
	NEW OR ALTERED EXISTING WALLS		KEY NOTE		C.L. CENTER LINE
	EXISTING TO BE REMOVED WALLS		NEW		D.P. DOWNPOUR
	AREA OF ADDITION SHADED		EXISTING		F.F. FINISH FLOOR
	EXISTING FENCE		RELOCATED		F.O. FACE OF
	DETAIL NO. SHEET NO.		PROPERTY LINE		G.C. GENERAL CONTRACTOR
			PLATE		VOL. VOL. IN.
			UNLESS OTHERWISE NOTED		A. ALIGN

AREA OF PROPOSED HOUSE & SITE REMODEL (SEE ENLARGED PLAN, SHEET A01.)

AREA OF PROPOSED POOL SITE RENOVATION (SEE ENLARGED PLAN, SHEET A7)



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

0' 4' 8' 16' 32' 64'



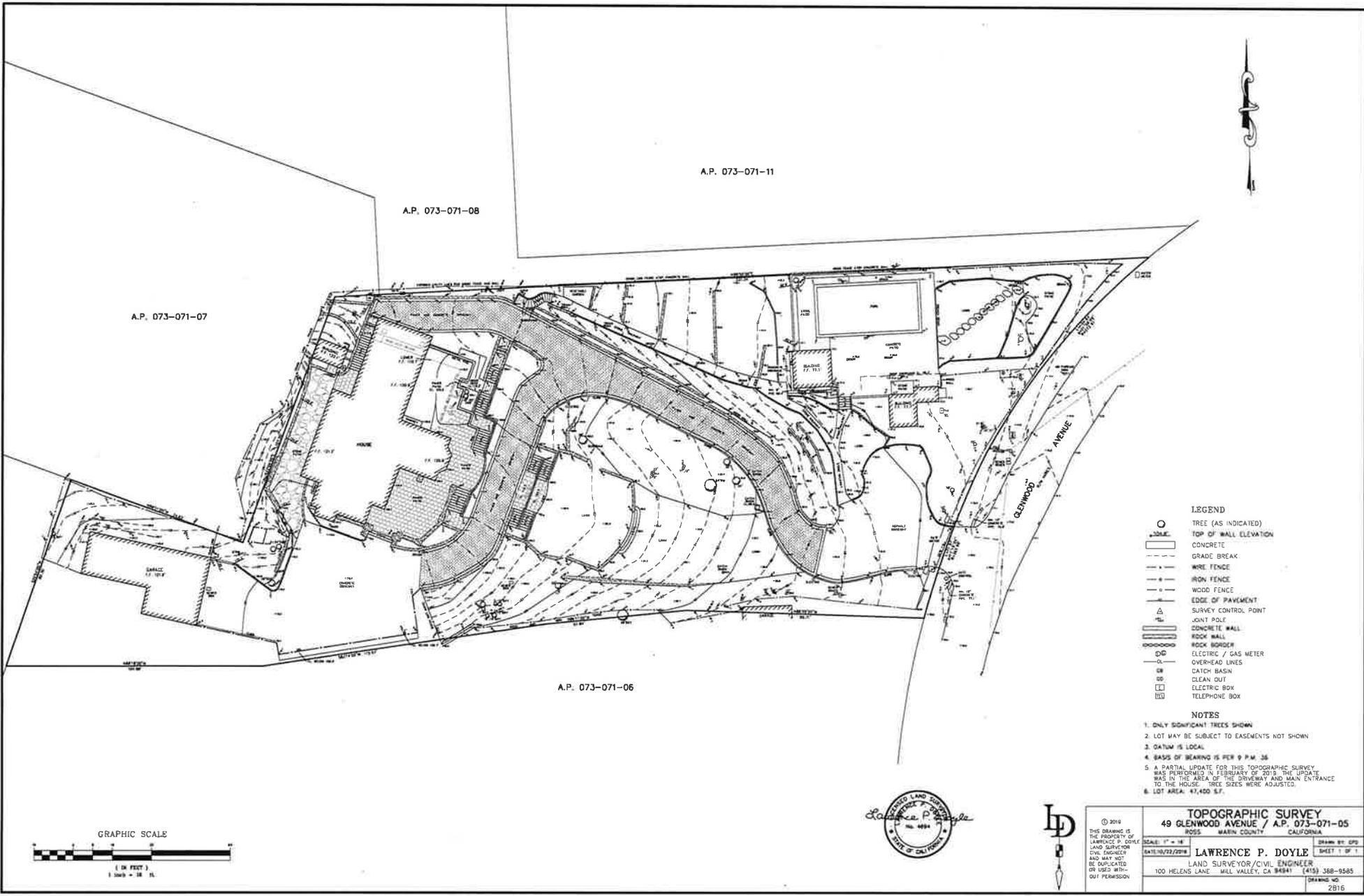
REVISIONS	DATE	BY
COMPLETION	11/17/18	SK
COMPLETION	01/13/20	SK
POST ADR	03/18/20	SK
STAFF	03/20/20	SK

Zelaya Residence
49 Glenwood Avenue
Ross, CA 94957
APN#: 071-051-05



COVER SHEET, PROPOSED SITE PLAN, & PROJECT DATA	
DATE:	08/28/19
SCALE:	AS NOTED
DRAWN:	SK
JOB NO.:	
SHEET NO.:	

A0



A.P. 073-071-11

A.P. 073-071-08

A.P. 073-071-07

A.P. 073-071-06

LEGEND

- TREE (AS INDICATED)
- TOP OF WALL ELEVATION
- ▭ CONCRETE
- - - GRADE BREAK
- · - · WIRE FENCE
- · - · IRON FENCE
- · - · WOOD FENCE
- - - EDGE OF PAVEMENT
- △ SURVEY CONTROL POINT
- ⊕ JOINT POLE
- ▭ CONCRETE WALL
- ▭ ROCK WALL
- ▭ ROCK BORDER
- ⊕⊕⊕ ELECTRIC / GAS METER
- OVERHEAD LINES
- ⊕ CATCH BASIN
- ⊕ CLEAN OUT
- ⊕ ELECTRIC BOX
- ⊕ TELEPHONE BOX

NOTES

1. ONLY SIGNIFICANT TREES SHOWN
2. LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
3. DATUM IS LOCAL
4. BASIS OF BEARING IS PER 9 P.M. 35
5. A PARTIAL UPDATE FOR THIS TOPOGRAPHIC SURVEY WAS PERFORMED IN FEBRUARY OF 2019. THE UPDATE WAS IN THE AREA OF THE DRIVEWAY AND MAIN ENTRANCE TO THE HOUSE. TREE SIZES WERE ADJUSTED.
6. LOT AREA: 47,400 S.F.

GRAPHIC SCALE

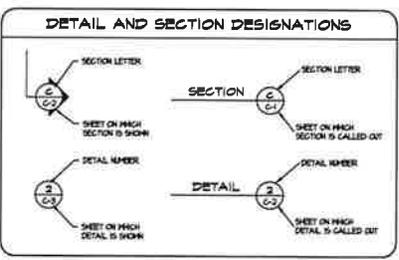


TOPOGRAPHIC SURVEY 49 GLENWOOD AVENUE / A.P. 073-071-05 ROSS WAIN COUNTY CALIFORNIA	
© 2019 THIS DRAWING IS THE PROPERTY OF LAWRENCE P. DOYLE LAND SURVEYOR AND MAY NOT BE DUPLICATED OR USED WITHOUT PERMISSION	SCALE: 1" = 10' DATE: 10/22/2019 LAWRENCE P. DOYLE LAND SURVEYOR/CIVIL ENGINEER 100 HELENS LANE WILL VALLEY, CA 94591 (415) 368-0585
DRAWN BY: EPD SHEET 1 OF 1 DRAWING NO. 2816	

C:\VAD\Kerry\Rev\Rev\1507\0010\Grading and Drainage\Design\Zelaya_Drainage and Grading\Rev 3\DWG_MZ1000 15.03.17.PLM

LEGEND

	ASPHALT PAVING (IMPERVIOUS)		PROPERTY LINE		CONC. RETAINING WALL
	CONCRETE PAVING (IMPERVIOUS)		EASEMENT LINE		SUBDRAIN (PERFORATED PIPE)
	NEM FLAGSTONE PAVING (IMPERVIOUS)		EX WOODEN RET WALL		STORM DRAIN PIPE
	NEM CONCRETE PAVERS (SEMI-PERVIOUS)		DRAINAGE DITCH BIO-SHALE		ELECTRICAL OVERHEAD LINE
	NEM HOOD DECK (PERVIOUS)		UNDISTURBED SOIL		ELECTRICAL UNDERGROUND
	PERVIOUS PAVING		COMPACTED FILL MATERIAL		COMMUNICATION OVERHEAD LINE
	PLANTED, LANDSCAPED AREA		GEOTEXTILE		COMMUNICATION UNDERGROUND
	GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)		EROSION CONTROL BLANKET		JOINT TRENCH
	EROSION CONTROL BLANKET		TURF REINFORCING MAT		SANITARY SEWER
	BUILDING ADDITION		STREAM MATTING		WATER LINE
	AREA DRAIN		RUNOFF FLOW DIRECTION		GAS LINE
	OR INLET		SHALE FLOW DIRECTION		EDGE OF ROAD
	ROOF LEADER		STORM-WATER LEVEL SPREADER		ROOF EAVE
	FIRE HYDRANT		BUBBLE-UP DRAINAGE EMITTER		EX FENCE
	JOINT POLE		POP-UP DRAINAGE EMITTER		NEM HIRE FENCE
	GAS METER, ELECTRIC METER		SUBDRAIN END CAP		NEM HOOD FENCE
	WATER METER		SUBDRAIN OR STORMWATER CLEANOUT		EXISTING GRADE ELEVATION CONTOUR
	EX TREE		SUBDRAIN OUTLET		FINISHED GRADE ELEVATION CONTOUR
	EX TREE DRIPLINE		HIDDEN FOUNDATION OR RETAINING WALL		FINISHED GRADE ELEVATION
			TREE PROTECTION FENCING		REMOVE EX TREE



UTILITY CONNECTION NOTES:

- THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:
 - WATER: MARIN MUNICIPAL WATER DISTRICT
 - SEWER: ROSS VALLEY SANITARY DISTRICT NO.1
 - ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)
 - GAS: PACIFIC GAS AND ELECTRIC (PG&E)
 - TELEPHONE: AT&T
 - CABLE: COMCAST

INDEX OF DRAWINGS

DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	SITE PLAN
C-3	CONCEPTUAL GRADING AND DRAINAGE PLAN POOL DECK
C-4	CONCEPTUAL GRADING AND DRAINAGE PLAN MAIN HOUSE
C-5	NOTES

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADU	AMERICANS WITH DISABILITIES ACT
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
ASTM	AM. SOCIETY OF TESTING MATERIALS
BM	BENCH MARK
CMF	CORRUGATED METAL PIPE
CL	CLEANOUT
COH	COMMUNICATION
COH/OH	COMMUNICATION OVERHEAD
COH/UG	COMMUNICATION UNDERGROUND
CONC	CONCRETE
CY	CUBIC YARDS
DI	DRAINAGE INLET
DIA	DRAINER
E	ELECTRICAL
EOH	ELECTRICAL OVERHEAD
EGS	ELECTRICAL UNDERGROUND
EG	EXISTING GROUND
EL. or ELEV	ELEVATION
EX	EXISTING
FD	FLOOR DRAIN
FF	FINISHED FLOOR ELEVATION
FL	FLOOR LINE
FGS	FINISHED GRADE ELEVATION
FT	FEET OF FOOT
G	NATURAL GAS
GALV	GALVANIZED
GM	GAS METER
GPM	GALLONS PER MINUTE
H	HEIGHT OF EXPOSED WALL FACE
HB	HOSE BIB
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	INVERT ELEVATION
JP	JOINT UTILITY POLE
JT	JOINT UTILITY TRENCH
LLF	LOWER LEVEL FINISHED FLOOR ELEV
LLFF	LOWER POINT FINISHED FLOOR ELEV
MAX	MAXIMUM
MI	MANHOLE
MIN	MINIMUM
MFLF	MAIN LEVEL FINISHED FLOOR ELEV
MHND	MARIN MUNICIPAL WATER DISTRICT OVERHEAD
OS	OVERHEAD
PG&E	PACIFIC GAS AND ELECTRIC
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RL	ELEV AT MH COVER OR DI GRATE
RL	ROOF LEADER
ROOM	RIGHT-OF-WAY
S	SLOPE
SGH	SCHEDULE
SM	SIMILAR
SGH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SDR	STANDARD DIMENSION RATIO
TC	TOP OF CURB ELEVATION
TI	TOP OF WALL ELEVATION
TYP	TYPICAL
UGS	UNIFORM CONSTRUCTION STANDARDS, MARIN COUNTY
ULF	UPPER LEVEL FINISHED FLOOR ELEV
VB	VALVE BOX
W	WATER
WM	WATER METER
WV	WATER VALVE

GENERAL NOTES:

- SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY LAWRENCE P. DOTY, LAND SURVEYOR/CIVIL ENGINEER, 100 HELIAS LANE, HILL VALLEY, CA (MS) 308-4585, DATED 2/20/2009. DATUM IS LOCAL, BASIS OF BEARING IS PER 4 P.M. 36.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (888) AT 811 OR 800-221-3500. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

EROSION CONTROL PLAN

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

DRAINAGE CONSTRUCTION REVIEW

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORM-WATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

RETAINING WALL AND FOUNDATION ELEVATIONS

BUILDING FOOTINGS, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION AND RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS, FOUNDATION ELEVATIONS OR THE SITE TOPOGRAPHY.

ESTIMATED EARTHWORK QUANTITIES

EXCAVATION	210 CY
FILL	0 CY
EXCESS	210 CY
MAX EXCAVATION DEPTH	5 FT
MAX FILL DEPTH	0 FT
DISTURBED AREA	0.17 AC

EARTHWORK NOTES:

- QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
- LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
- SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

GREEN BUILDING STANDARDS

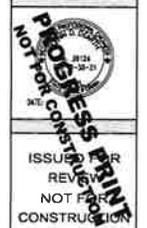
- THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORM-WATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

STORMWATER PLAN SUMMARY

	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	20,121 SF	16,173 SF
CONCRETE PAVERS (PERVIOUS)	0 SF	4,401 SF
LANDSCAPE (PERVIOUS)	21,213 SF	25,120 SF
TOTAL LOT AREA	41,400 SF	41,400 SF

- ### STORMWATER NOTES:
- IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.
 - IMPERVIOUS AREA DOES NOT INCLUDE THE POOL.
 - CONCRETE PAVERS INCLUDE POOL DECK AND PARKING STALLS.
 - NEW OR REPLACEMENT IMPERVIOUS AREA IS 381 SF.

LTD Engineering, Inc.
1050 Northgate Drive, Suite 315
San Ramon, CA 94583
Tel: 415.446.2422 Fax: 415.446.2419
ltdeng@ltdengineering.com



LTD Engineering, Inc. 1507

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ZELAYA RESIDENCE REMODEL
APN 07-071-05
48 GLENWOOD AVENUE
ROSS, CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION
1	1/15/20	ISSUED FOR REVIEW
2	1/17/20	REVISED FOR TOWN COMMENTS
3	1/18/20	REVISED SITE PLAN
4	1/19/20	REVISED SITE PLAN

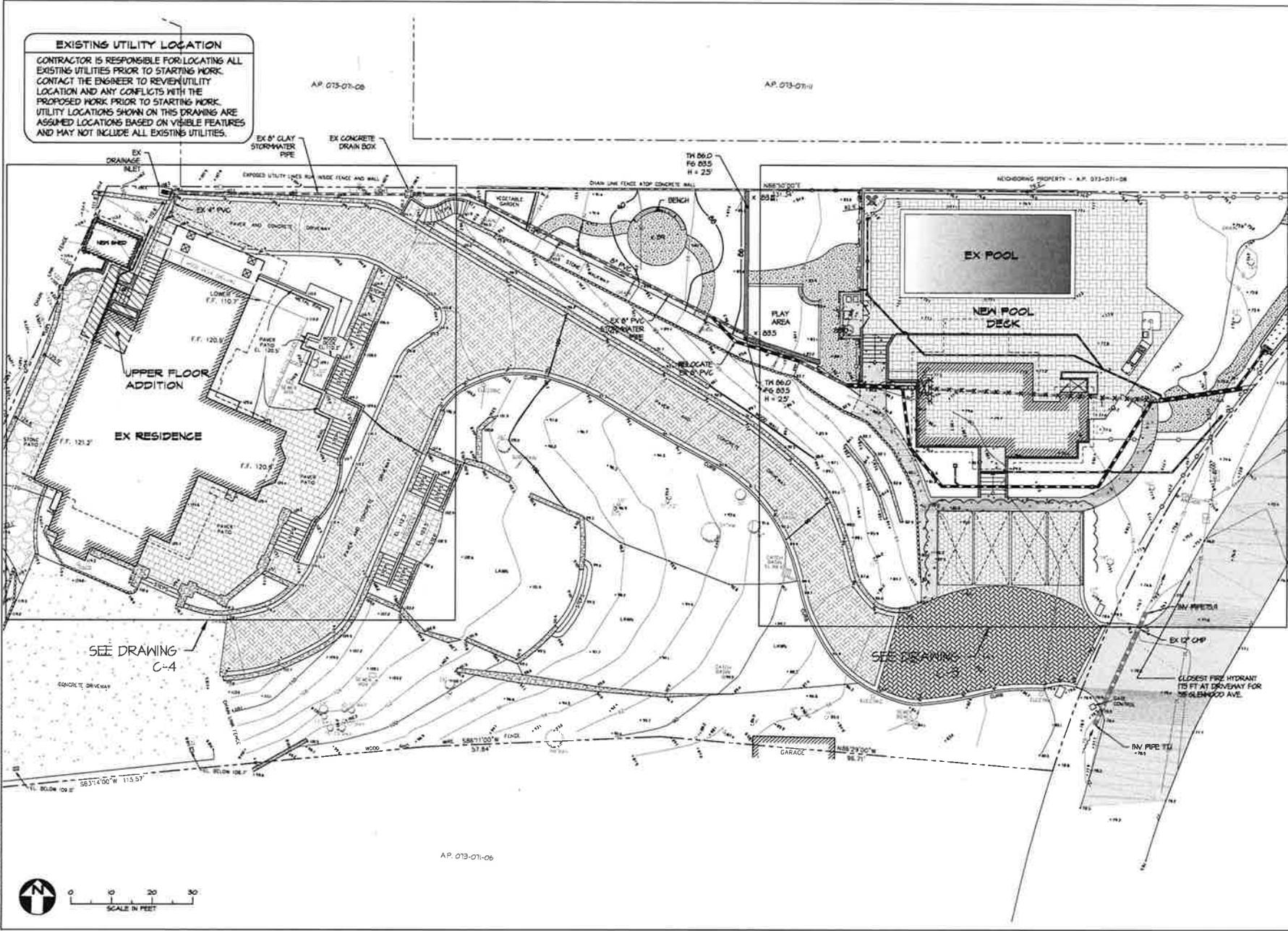
DESIGNED BY: S. DEARTH
DRAWN BY: E. MATTHEWS
APPROVED BY: [Signature]
SCALE: P = 1/8" = 1'-0"
DATE: PROJECT NO.: 1507002 SHEET NO.: 361002

COVER SHEET

REVISION: **3**
SHEET NO.: **1 of 5**
DRAWING: **C-1**

EXISTING UTILITY LOCATION

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTACT THE ENGINEER TO REVIEW UTILITY LOCATION AND ANY CONFLICTS WITH THE PROPOSED WORK PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSUMED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.



LTD Engineering, Inc.
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San Rafael, CA 94903
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ZELAYA RESIDENCE
REMODEL
APN 073-071-05
49 GLENWOOD AVENUE
ROSS, CALIFORNIA

REVISION	
NO.	DATE / DESCRIPTION
1	05/20/2020 - ISSUED FOR REVIEW
2	07/14/2020 - REVISED PER TOWN COMMENTS
3	08/20/2020 - REVISED SITE PLAN
4	09/02/2020 - REVISED SITE PLAN

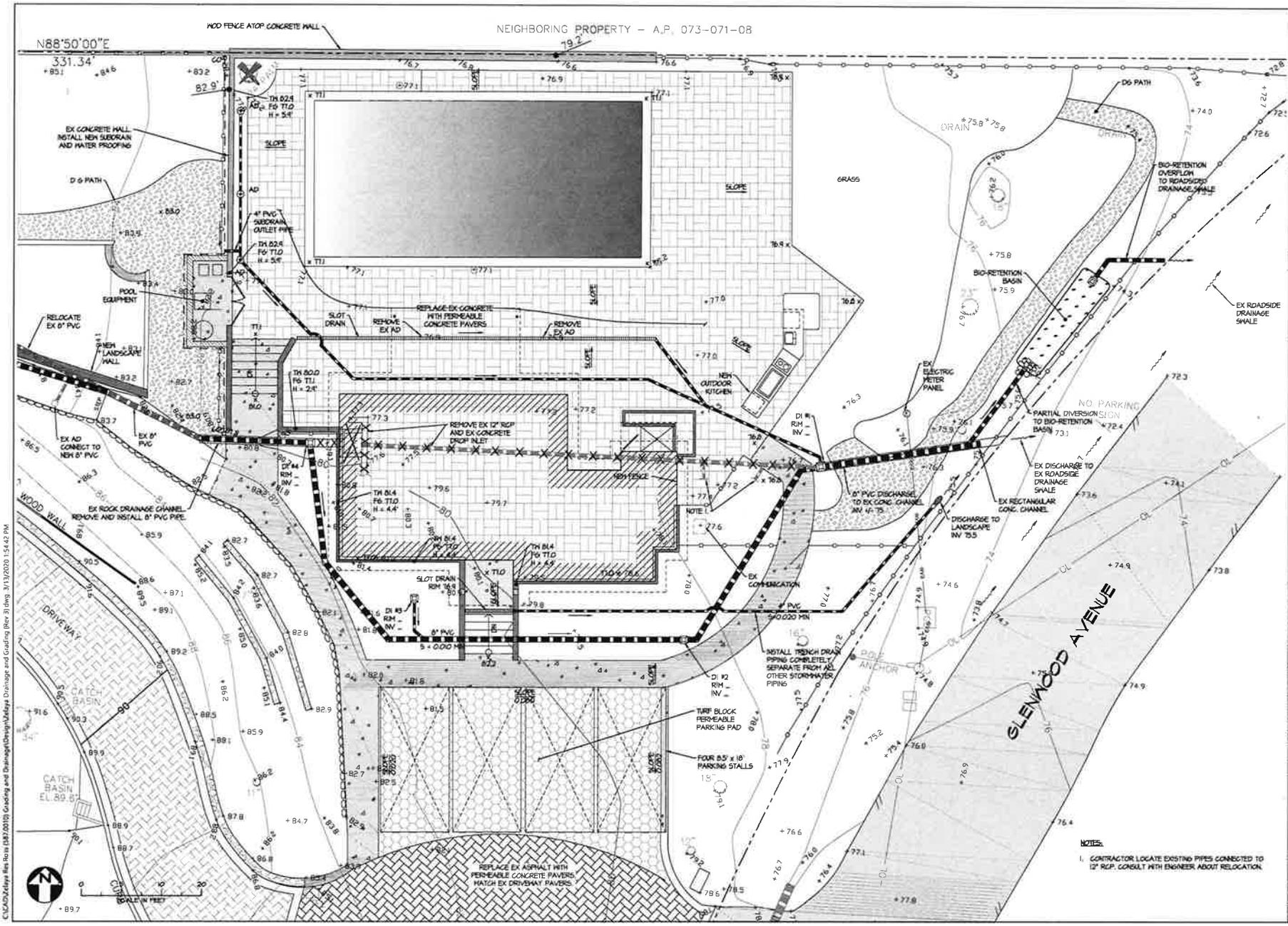
DESIGNED BY: S. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:
SCALE: 1" = 10'-0"
DATE: PROJECT NO.:
WORKSHEET: 261000

SITE PLAN

REVISION: 3
SHEET NO.: 2 OF 5
DRAWING: C-2

C:\CAD\Zelaya Res Remodel\0512018\Grading and Drainage\Design\Zelaya_Remodel\Grading (Rev. 3)dwg 3/13/2020 1:54:39 PM





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LTD Engineering, Inc.
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 gden@LTDEngineering.com

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ZELAYA RESIDENCE
 NEWMOBIL
 APN 073-071-05
 40 GLENWOOD AVENUE
 ROSS, CALIFORNIA

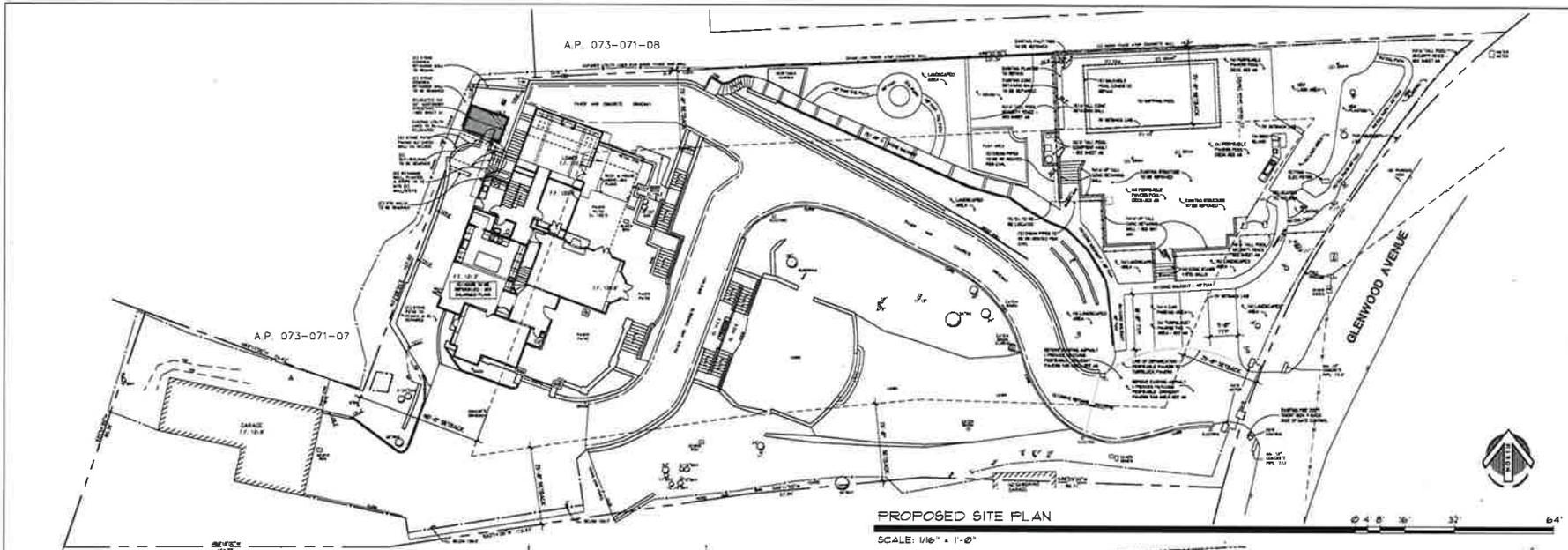
REVISIONS	
NO.	DATE DESCRIPTION
1	1/3/20 ISSUED FOR REVIEW
2	1/17/20 REVISED PER TOWN COMMENTS
3	1/30/20 REVISED SITE PLAN
4	1/30/20 REVISED SITE PLAN

DESIGNED BY: G. DEWITT
 DRAWN BY: E. HAYDEN
 APPROVED BY:
 SCALE: 1" = 8'-0"
 DATE: PROJECT NO.:
 1/19/2020 161000

CONCEPTUAL GRADING AND DRAINAGE PLAN
POOL DECK

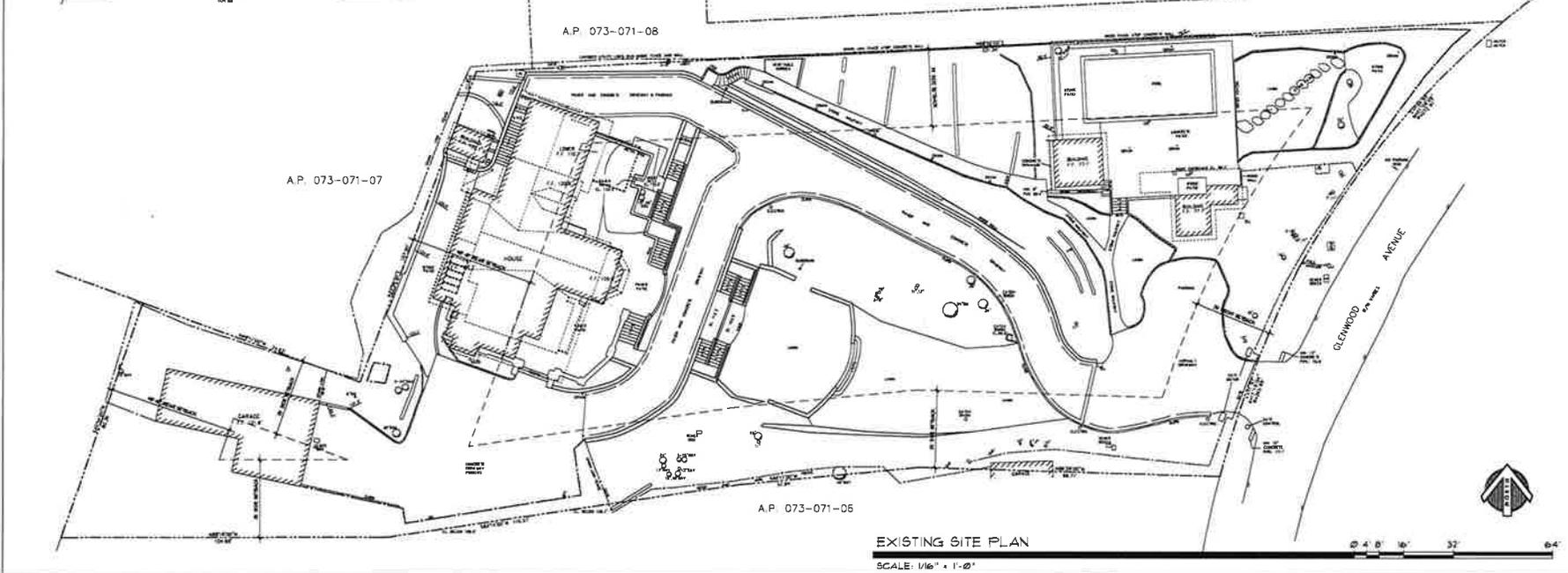
REVISION: **3**
 SHEET NO.: **3 OF 5**
 DRAWN: **C-3**

NOTES:
 1. CONTRACTOR LOCATE EXISTING PIPES CONNECTED TO 12" RCP. CONSULT WITH ENGINEER ABOUT RELOCATION.



PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"



EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"



REVISIONS	DATE	BY
COMPLETE SET	11/11/18	SJK
COMPLETE SET	01/12/20	SJK
POST ADR	03/18/20	SJK
STAMP	03/26/20	SJK

Zelaya Residence
 49 Glenwood Avenue
 Ross, CA 94957
 APN#: 073-071-05



EXISTING & PROPOSED SITE PLANS (FOR REFERENCE & COMPARISON)

DATE: 08/28/18
 SCALE: AS NOTED
 DRAWN: SJK
 JOB NO:
 SHEET NO:

ECO

DESIGN REVIEW NOTES

STORMWATER DRAINAGE PLAN

1. THE CONCEPTUAL STORMWATER DRAINAGE PLAN IS DESIGNED TO COMPLY WITH THE TOWN OF ROSS REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT AND CONTROL OF STORMWATER RUNOFF TO MINIMIZE OFF-SITE IMPACTS AND IMPROVE STORMWATER QUALITY.
2. THE EXISTING DEVELOPMENT ON THE SITE TOTALS 20,121 SQUARE FEET (50 FT) OF IMPERVIOUS AREA. THIS INCLUDES ROOF AREA, IMPERVIOUS PATIOS, IMPERVIOUS WALKWAYS AND THE DRIVEWAY. THE TOTAL LOT AREA IS 41,400 SQ FT. THE EXISTING IMPERVIOUS AREA AMOUNTS TO 42 PERCENT OF THE TOTAL LOT AREA.
3. THE PROPOSED REMODEL/ADU/LANDSCAPE PLAN CREATES OR REPLACES 381 SQ FT OF IMPERVIOUS AREA. THIS AREA IS LESS THAN THE 2500 SQ FT THRESHOLD FOR RESIDENTIAL STORMWATER PROJECTS, AND THEREFORE, THE PROPOSED PLAN IS NOT SUBJECT TO REQUIREMENTS OF THE BASHAA POST-CONSTRUCTION MANUAL FOR STORMWATER TREATMENT AND CONTROL.
4. THE PROPOSED DEVELOPMENT PLAN MINIMIZES THE USE OF IMPERVIOUS HARDSCAPE. PERVIOUS PAVING WILL BE USED TO REPLACE THE EXISTING POOL DECK AND PART OF THE EXISTING ASPHALT. TURF BLOCK WILL BE USED TO CREATE THE NEW PARKING AREA.
5. THE PROPOSED DEVELOPMENT PLAN REMOVES 3,354 SQ FT OF EXISTING IMPERVIOUS AREA, GIVING A TOTAL OF 16,713 SQ FT OF IMPERVIOUS AREA. THE PROPOSED TOTAL IMPERVIOUS AREA AMOUNTS TO 30 PERCENT OF THE LOT AREA.
6. THE DECREASE IN IMPERVIOUS AREA WILL REDUCE THE STORMWATER RUNOFF FROM THE SITE.
7. AREA DRAINS IN LANDSCAPE AND HARDSCAPE AREAS ARE LIMITED TO LOCATIONS WHERE THEY ARE NECESSARY TO PREVENT WATER POONING THAT COULD DAMAGE THE HOUSE. RUNOFF FROM MOST OF THE HARDSCAPE AREAS WILL BE ALLOWED TO SHEET FLOW TOWARD LANDSCAPED AREAS WHERE IT CAN INFILTRATE OR SLOWLY RUNOFF TOWARD THE STREET DRAINAGE SYSTEM.
8. A FOUNDATION DRAINAGE AND RETAINING WALL BACK DRAINAGE SYSTEM WILL BE CONSTRUCTED USING PERFORATED PVC PIPE. THE SYSTEM WILL OUTLET TO THE GROUND SURFACE AT A SUITABLE LOCATION. PERMANENT EROSION CONTROL WILL BE INSTALLED AT THE OUTLET LOCATION.

EXCAVATION & GRADING PLAN

1. SITE GRADING WILL BE COMPLETED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT AND THE APPROVED SITE GRADING PLAN. SITE GRADINGS WILL BE LIMITED TO EXCAVATION WITHIN THE FOOTPRINT OF THE ADU AND ADJACENT LANDSCAPE AREAS TO THE SOUTH AND WEST.
2. EXCESS EXCAVATED MATERIAL WILL BE LEGALLY DISPOSED OF AT AN OFF-SITE LOCATION TO BE DETERMINED BY THE CONSTRUCTION CONTRACTOR.

EROSION CONTROL

1. EROSION CONTROL MEASURES WILL BE INCORPORATED INTO THE PROJECT DURING CONSTRUCTION AND IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR. STRAM MATTLIES WILL BE PLACED AROUND THE DOWN-SLOPE PERIMETER OF THE DISTURBED AREA. EXCAVATED AREAS AND SOIL STOCKPILES WILL BE COVERED WITH PLASTIC TARPES TO MINIMIZE EROSION. AREAS DISTURBED DURING CONSTRUCTION WILL BE RESTORED BY SEEDING AND INSTALLATION OF EROSION CONTROL BLANKET AND STRAM MATTLIES.
2. PERMANENT EROSION CONTROL WILL BE PROVIDED BY LANDSCAPING THE ENTIRE DISTURBED AREA AT THE COMPLETION OF THE WORK IN ACCORDANCE WITH THE LANDSCAPING PLANS.

STORMWATER POLLUTION PREVENTION

1. SPECIFICATIONS WILL BE INCLUDED ON THE PROJECT DRAWINGS OUTLINING CONSTRUCTION PRACTICES THAT MUST BE FOLLOWED TO PREVENT STORMWATER POLLUTION. CONSTRUCTION WORKERS WILL BE ADVISED OF REQUIRED CONSTRUCTION MEASURES FOR AVOIDING STORMWATER POLLUTION. THESE MEASURES WILL INCLUDE PROCEDURES FOR MATERIAL STORAGE, USE AND DISPOSAL OF HAZARDOUS MATERIALS (PAINT, SOLVENTS, ADHESIVES, ETC.), WASTE DISPOSAL PROCEDURES, CONCRETE WASHOUT REQUIREMENTS AND OTHER CONSTRUCTION PRACTICES.

UTILITY PLAN

1. ALL UTILITY SERVICES WILL BE PROVIDED BY EXTENSION FROM THE EXISTING HOUSE AND POOL HOUSE. NO NEW CONNECTIONS TO SERVICE MAINS ARE PLANNED.

RETAINING WALL CONSTRUCTION NOTES

1. ALL RETAINING WALLS WILL BE REINFORCED CONCRETE CONSTRUCTION SUPPORTED BY SPREAD FOOTINGS OR DRILLED PIERS AS DETERMINED BY THE PROJECT GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER.

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 REMODEL
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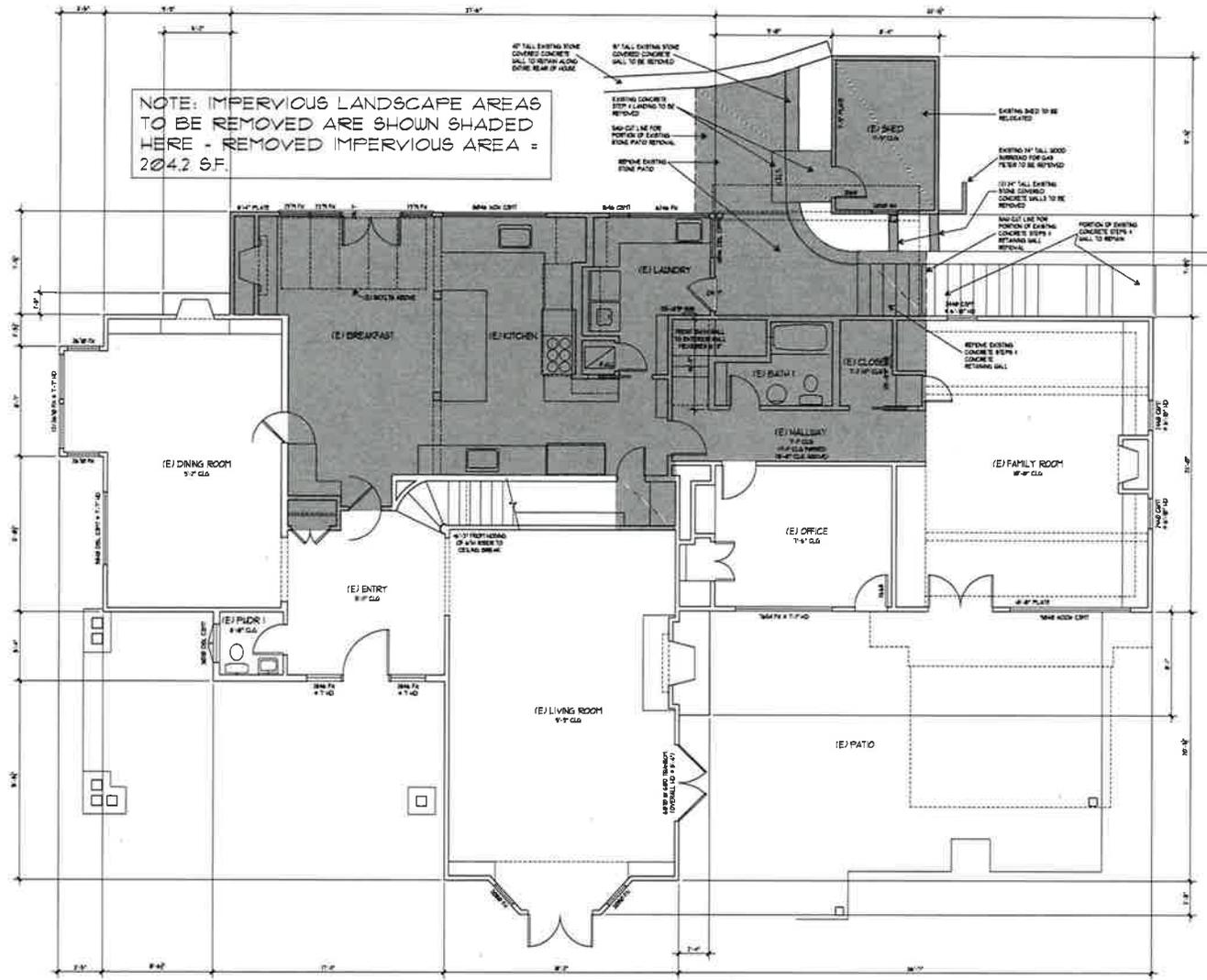
REVISIONS

NO.	DATE	DESCRIPTION
▲ 1	1/13/20	ISSUED FOR REVIEW
▲ 2	1/17/20	NO CHANGES
▲ 3	1/17/20	NO CHANGES
▲ 4	1/17/20	NO CHANGES
▲ 5		

DESIGNED BY: G. DEARTH
 DRAWN BY: E. HAYDEN
 APPROVED BY:
 SCALE: AS SHOWN
 DATE: 1/13/2020 PROJECT NO.: 201024

NOTES

REVISION: **3**
 SHEET NO.: **5** of **5**
 DRAWER: **C-5**



NOTE: IMPERVIOUS LANDSCAPE AREAS TO BE REMOVED ARE SHOWN SHADED HERE - REMOVED IMPERVIOUS AREA = 2042 SF.

NOTE: BLDG AREAS TO BE REMOVED FOR NEW CONSTRUCTION ARE SHOWN SHADED ON THIS DRAWING - REMOVED AREA = 1,050.82 SF.

EXISTING MAIN LEVEL FLOOR & DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	DATE	BY
△ COMPLETE	11/11/18	SK
△ COMPLETE	01/13/20	SK
△ POST ADR	03/18/20	SK
△ STAFF	03/26/20	SKS

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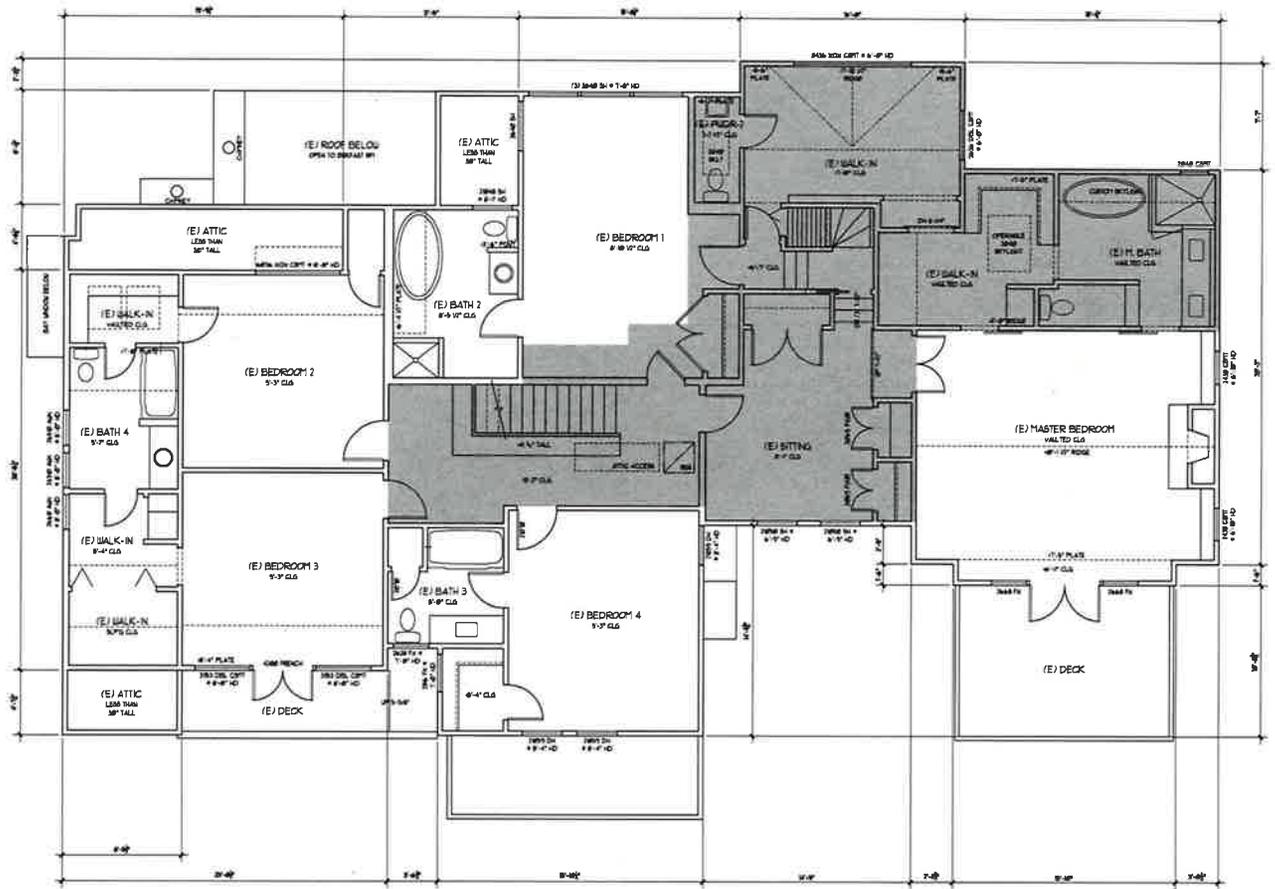


EXISTING MAIN FLOOR & DEMOLITION PLAN

DATE:	08/28/18
SCALE:	AS NOTED
DRAWN:	SKS
JOB NO.:	
SHEET NO.:	

EC1

NOTE: BLDG AREAS TO BE REMOVED FOR NEW CONSTRUCTION ARE SHOWN SHADED ON THIS DRAWING - REMOVED AREA = 1,030 S.F.



EXISTING SECOND LEVEL FLOOR & DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

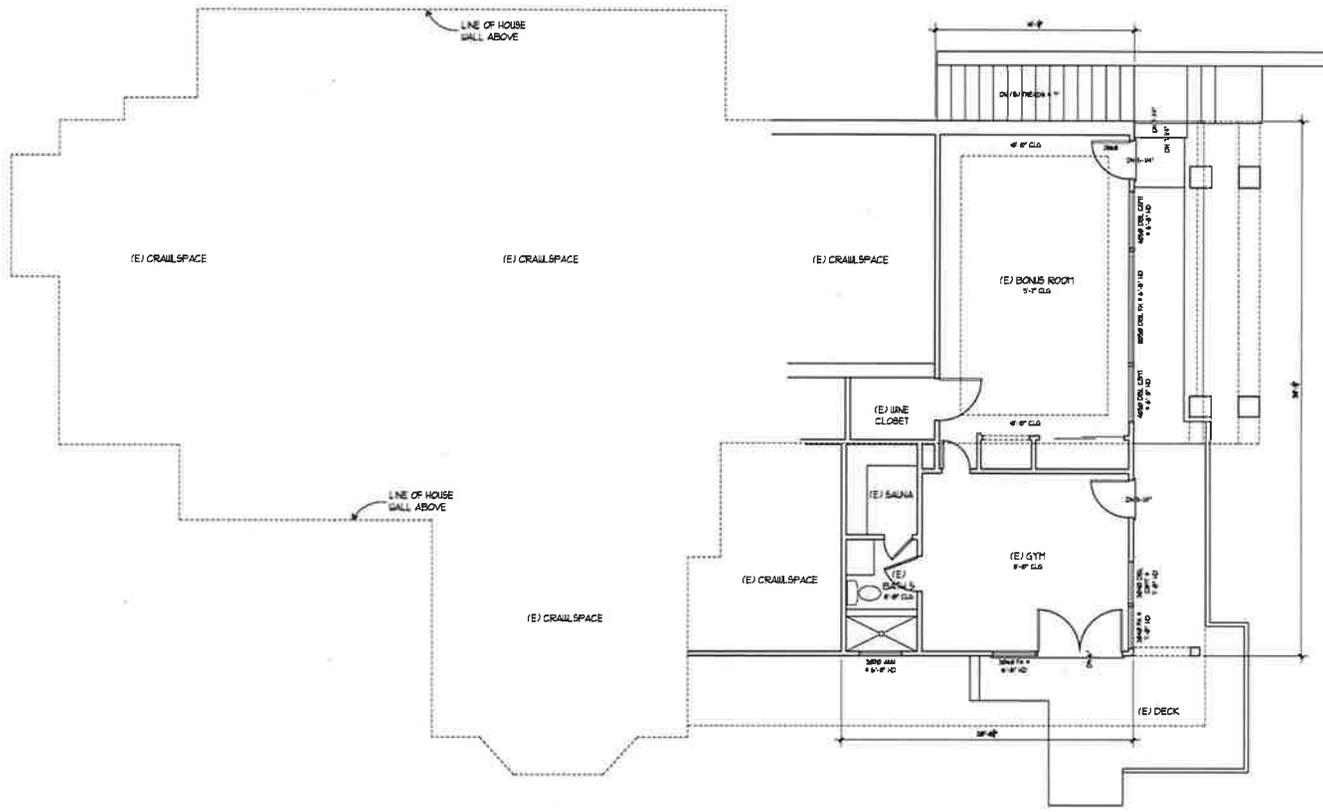


REVISIONS	DATE	BY
△ COMPLETED	11/11/18	SM
△ COMPLETED	01/13/20	SM
△ PERM APP	03/16/20	SM

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EXISTING SECOND LEVEL FLOOR PLAN	
DATE:	08/26/18
SCALE:	AS NOTED
DRAWN:	SKS
JOB NO.:	
SHEET NO.:	EC2



EXISTING LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISIONS	DATE	BY
1	11/11/18	SK
2	01/13/20	SK
3	03/18/20	SK

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 APN#: 073-071-05

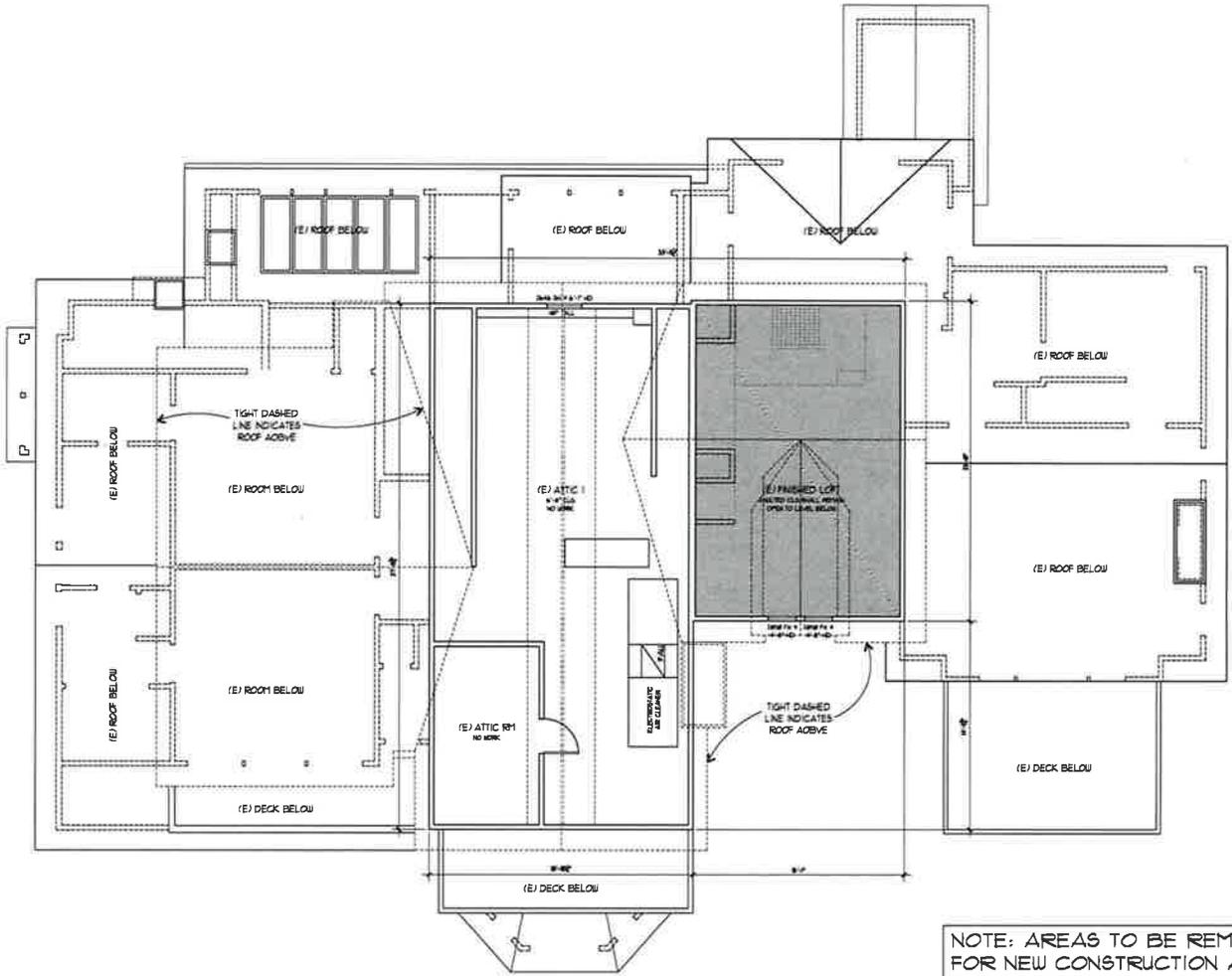


EXISTING LOWER FLOOR PLAN

DATE:	08/18/18
SCALE:	AS NOTED
DRAWN:	SKS
JOB NO.:	
SHEET NO.:	

EC3

REVISION	DATE	BY
△ COMPLETED	11/11/18	SK
△ COMPLETED	07/12/20	SK
△ POST A/E	03/16/20	SK



NOTE: AREAS TO BE REMOVED FOR NEW CONSTRUCTION ARE SHOWN SHADED ON THIS DRAWING - REMOVED AREA = 326.6 SF.

EXISTING ATTIC & LOFT FLOOR & DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



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 APN#: 073-071-05



EXISTING ATTIC/LOFT DEMOLITION FLOOR PLANS

DATE: 03/16/20
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.:
 SHEET NO.:

EC3.1



EXISTING FRONT (EAST) ELEVATION

SCALE: 1/4" = 1'-0"

0' 2' 4' 8' 16'



EXISTING EXTERIOR ELEVATION NOTES

1. SLOPED ROOF - CLASS "A" ASPHALT COMPOSITION SHINGLES
2. FLAT ROOFS - CLASS "A" BITUMEN TORCH-DOWN ROOFING W/ GRAVEL BALLAST
3. SIDING - 3-COAT STUCCO WITH INTEGRAL COLOR
4. GUTTERS - 5" x 1" MIXED PATINA COPPER FASCIA GUTTERS
5. WINDOWS - MARVIN PAINTED WOOD DOUBLE GLAZED
6. WINDOW TRIM - 1x6 PAINTED CEDAR WOOD
7. FASCIA, RAKE TRIM, DOOR, & MISC TRIM - 1x4 AND 2x PAINTED CEDAR WOOD
8. STONE WALLS AND CHIMNEY - REAL BLUE-STONE BOLDERS
9. ORNAMENTAL METAL RAILINGS - WELDED STEEL
10. ORNAMENTAL WOOD RAILINGS - 2x CEDAR WOOD
11. WOOD FRAMED DECORATIVE POST/COLUMN W/ WOOD CAP & BASE TRIM
12. WOOD ENTRY DOOR WITH GLASS LITES
13. TYPICAL EXTERIOR LIGHT FIXTURE

EXISTING REAR (WEST) ELEVATION

SCALE: 1/4" = 1'-0"

0' 2' 4' 8' 16'



REVISIONS	DATE	BY
△ COMPLETION	11/11/18	SM
△ COMPLETION	01/13/20	SM
△ POST ADR	03/16/20	SM

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EXISTING ELEVATIONS

DATE:	08/28/19
SCALE:	AS NOTED
DRAWN:	SKS
JOB NO.:	
SHEET NO.:	

EC5



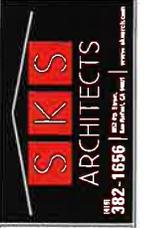
EXISTING RIGHT SIDE (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING LEFT SIDE (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING EXTERIOR ELEVATION NOTES

1. SLOPED ROOF - CLASS "A" ASPHALT COMPOSITION SHINGLES
2. FLAT ROOFS - CLASS "A" BITUMEN TORCH-DOWN ROOFING W/ GRAVEL BALLAST
3. SIDING - 3-COAT STUCCO WITH INTEGRAL COLOR
4. GUTTERS - 3" x 3" PRXSDJ/PATINA COPPER FASCIA GUTTERS
5. WINDOWS - HARBIN PAINTED WOOD, DOUBLE GLAZED
6. WINDOW TRIM - 1/2" PAINTED CEDAR WOOD
7. FASCIA, RAKE TRIM, DOOR, 1" HIC TRIM - 1x AND 2x PAINTED CEDAR WOOD
8. STONE WALLS AND CHIMNEY - REAL BLUE-STONE BOLDERS
9. ORNAMENTAL METAL RAILINGS - WELDED STEEL
10. ORNAMENTAL WOOD RAILINGS - 2x CEDAR WOOD
11. WOOD FRAMED DECORATIVE POST/COLUMN W/ WOOD CAP & BASE TRIM
12. WOOD ENTRY DOOR WITH GLASS LITES
13. TYPICAL EXTERIOR LIGHT FIXTURE



REVISIONS	DATE	BY
COMPLETION	11/11/19	SM
COMPLETION	01/11/20	SM
POST A/C	02/16/20	SM

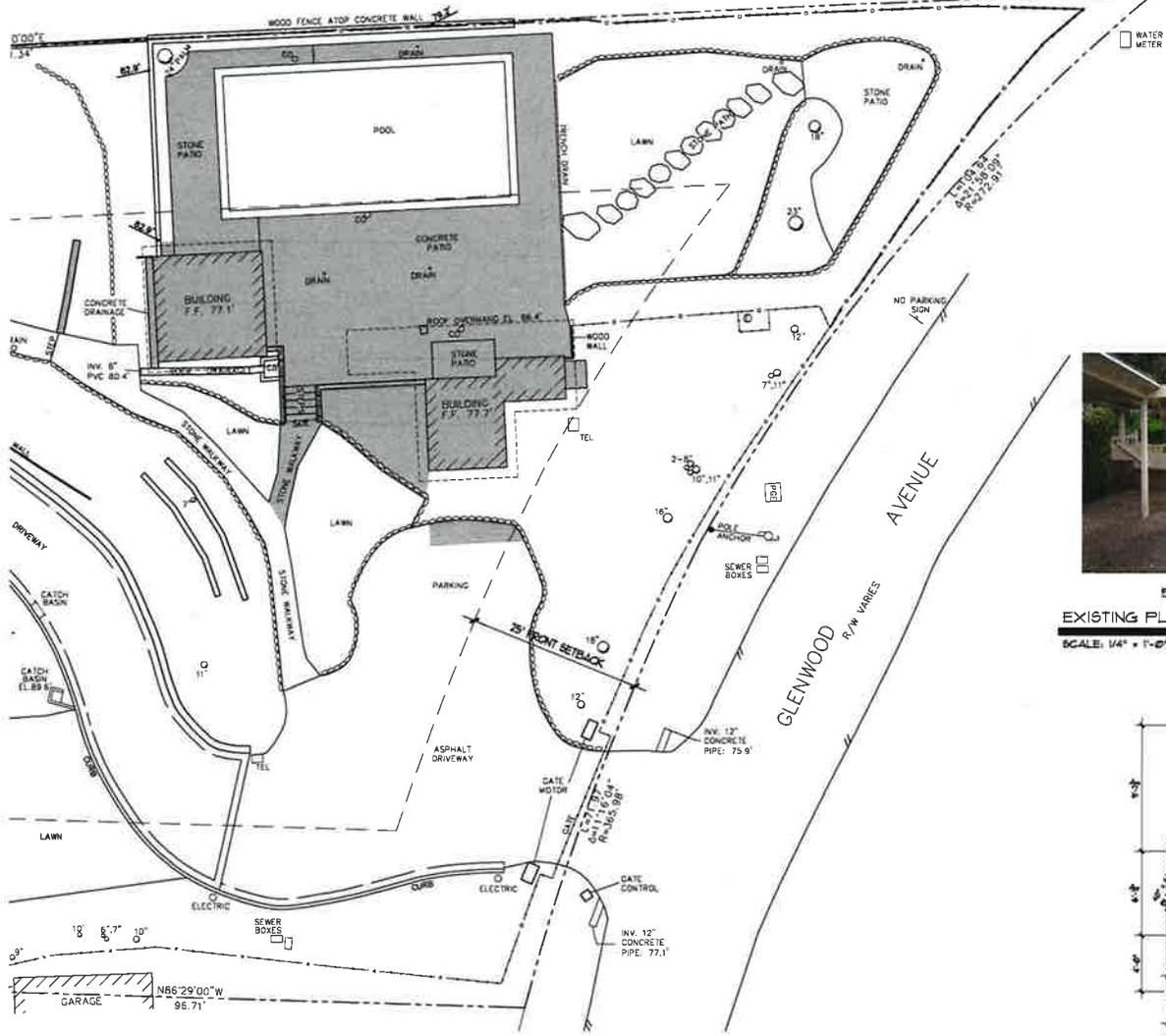
Zelaya Residence
49 Glenwood Avenue
Ross, CA 94957
APN#: 073-071-05



EXISTING ELEVATIONS

DATE:	08/28/19
SCALE:	AS NOTED
DRAWN:	SKS
JOB NO.:	
SHEET NO.:	

EC6

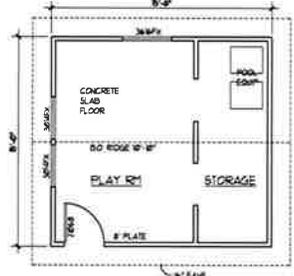


NOTE: IMPERVIOUS LANDSCAPE AREAS TO BE REMOVED ARE SHOWN SHADED HERE - REMOVED IMPERVIOUS AREA = 2,810.2 SF.

NOTE: BLDG AREAS TO BE REMOVED FOR NEW CONSTRUCTION ARE SHOWN SHADED ON THIS DRAWING - AREA REMOVED = 436 SF.

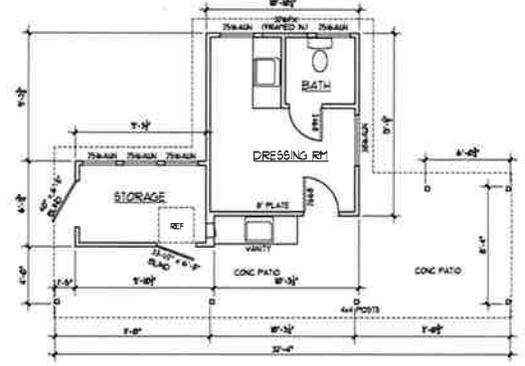


PHOTO OF ELEVATION



FLOOR PLAN

EXISTING PLAY RM, STORAGE, EQUIP RM @ 1/4" = 1'-0"



EXISTING SWIMMING POOL CABANA PLAN @ 1/4" = 1'-0"

EXISTING SWIMMING POOL CABANA PLAN @ 1/4" = 1'-0"



REVISION	DATE	BY
COMPLETION	11/17/18	SKS
COMPLETION	01/13/20	SKS
POST ADR	03/18/20	SKS

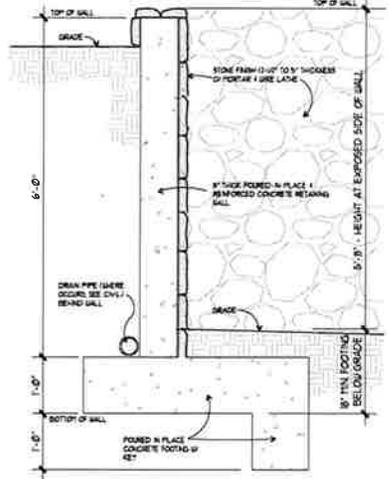
Zelaya Residence
 49 Glenwood Avenue
 Ross, CA 94957
 APN#: 073-071-05



EXISTING POOL SITE PLAN,
 CABANA, PLAY, STORAGE,
 EQUIP BLDG & DEMO PLANS
 PREPARED BY SKS ARCHITECTS
 DATE: 08/24/18
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.:
 SHEET NO.:
EC7

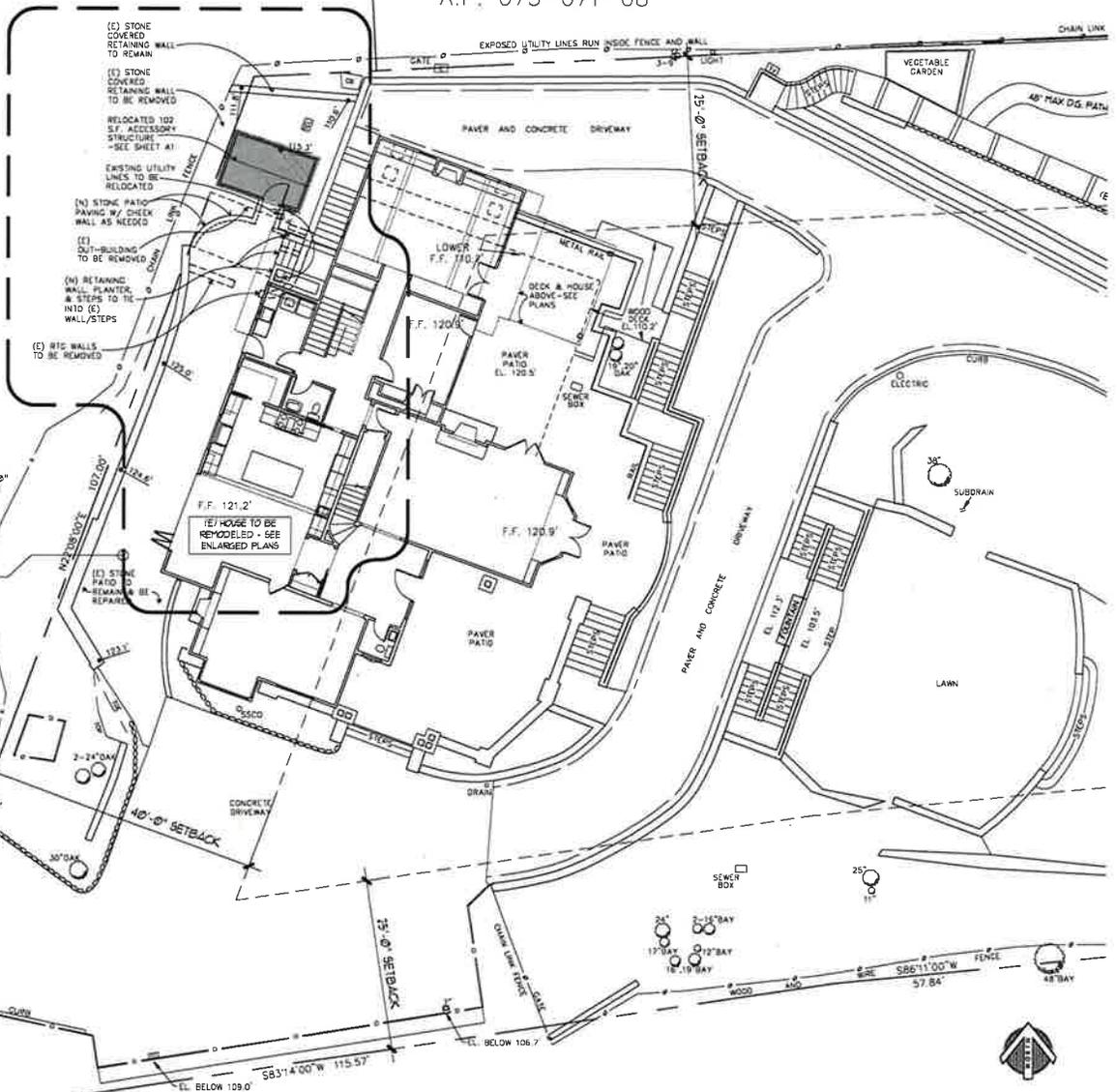
REVISIONS	DATE	BY
APPROVED	11/11/18	SKS
COMPLETED	01/13/20	SKS
POST ADR	03/16/20	SKS
DRAW	03/30/20	SKS

A.P. 073-071-08



AREA OF PROPOSED HOUSE & SITE ALTERATION @ MAIN FLOOR

A.P. 073-071-07



SITE PLAN

SCALE: 1/8" = 1'-0"

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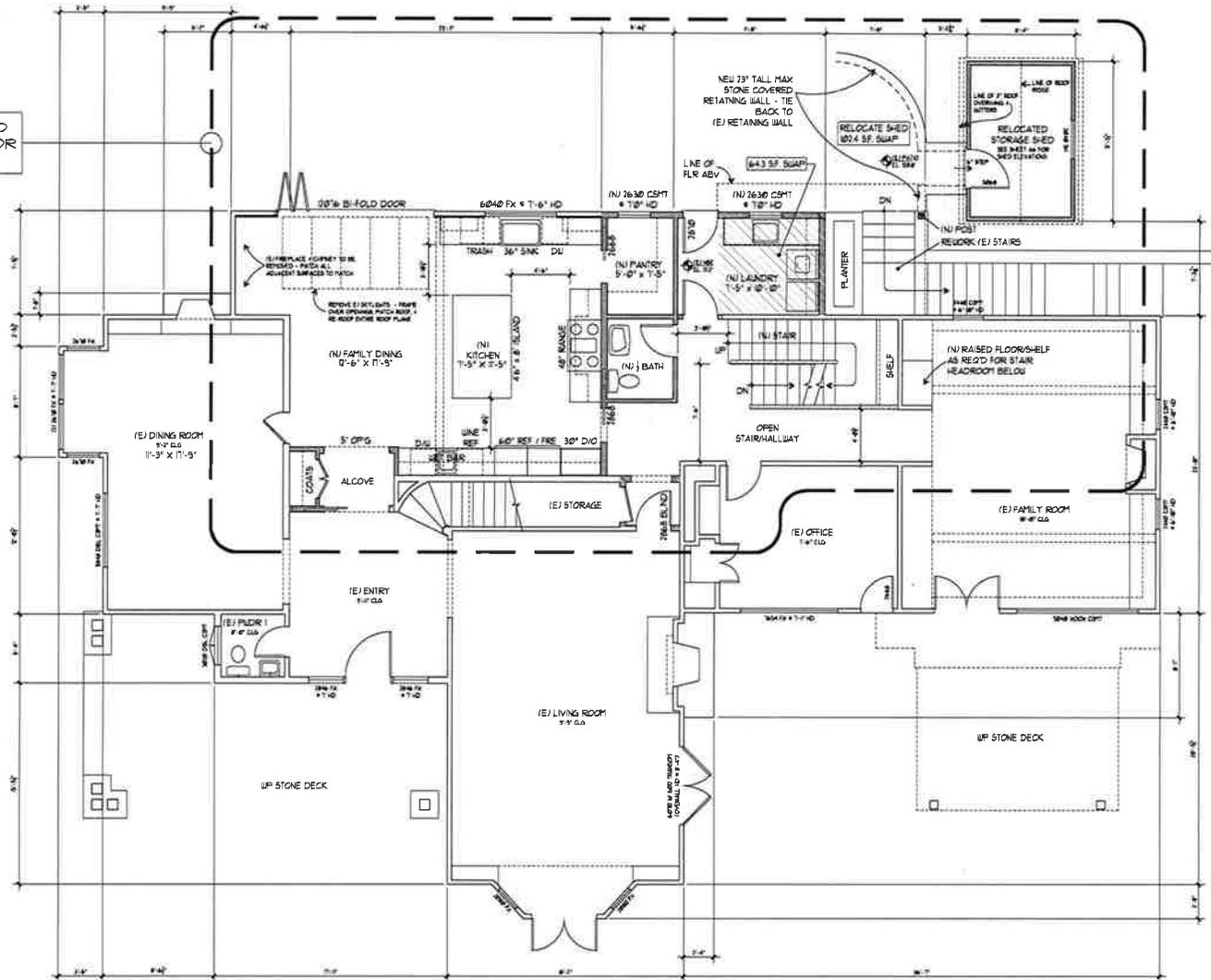


ENLARGED SITE PLAN AT MAIN HOUSE ALTERATION

DATE	08/28/18
SCALE	AS NOTED
DRAWN	SKS
JOB NO.	
SHEET NO.	

A0.1

AREA OF PROPOSED
REMODEL THIS FLOOR
LEVEL



PROPOSED NEW MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALLS TO REMAIN LIGN.
	NEW OR ALTERED EXISTING WALLS
	EXISTING TO BE REMOVED LIGN.



REVISIONS	DATE	BY
COMPLETE DESIGN	11/11/18	SK
COMPLETE PERMITS	01/11/20	SK
POST ADR	02/18/20	SK
STAFF	03/30/20	SKS

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APN#: 073-071-05

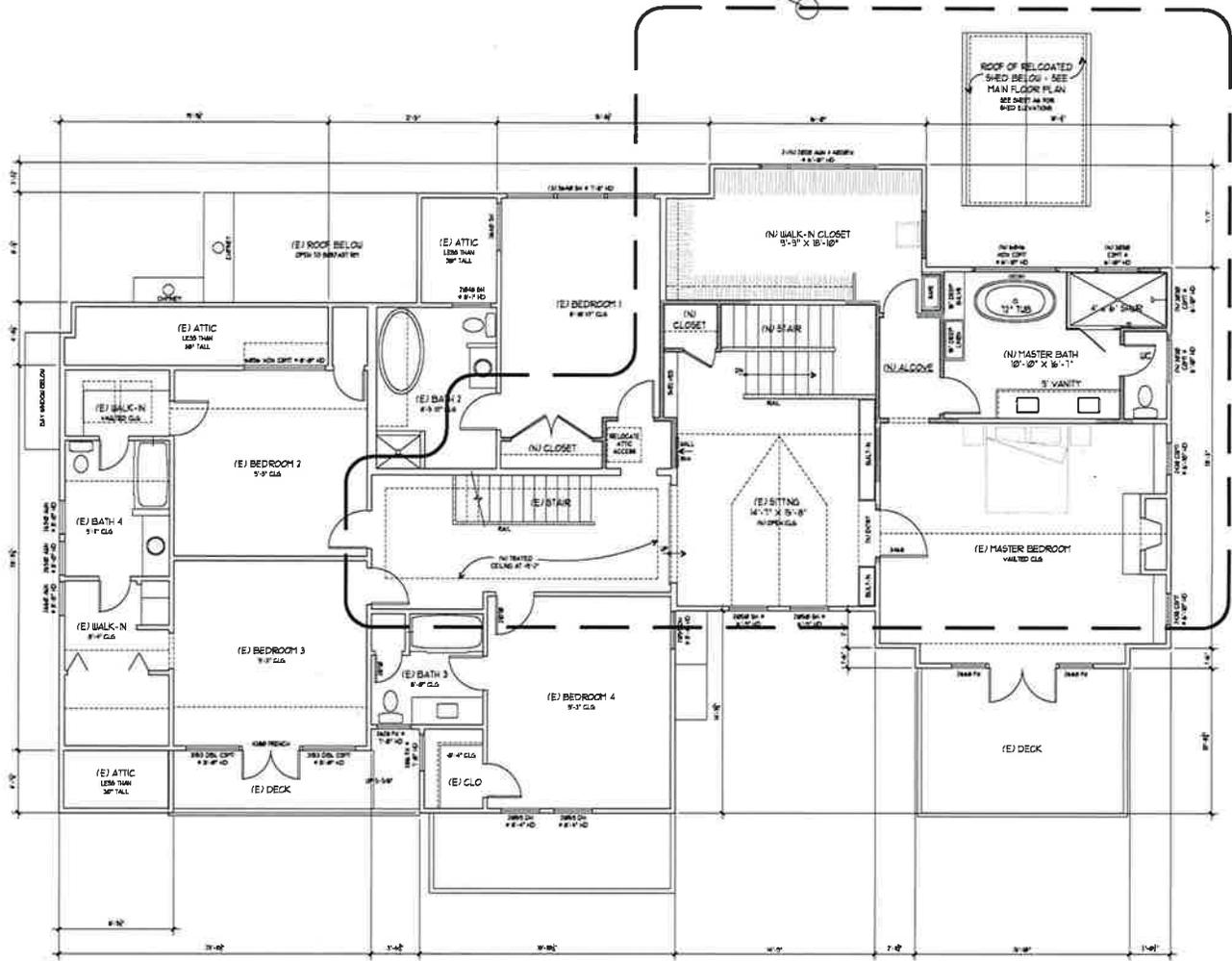


PROPOSED NEW MAIN
LEVEL FLOOR PLAN

DATE: 08/28/18
SCALE: AS NOTED
DRAWN: SKS
JOB NO:
SHEET NO:

A1

AREA OF PROPOSED REMODEL THIS FLOOR LEVEL



PROPOSED NEW UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALLS TO REMAIN U.O.N.
	NEW OR ALTERED EXISTING WALLS
	EXISTING TO BE REMOVED U.O.N.



REVISION	DATE	BY
COMPLETE RELEASE	11/11/18	SKS
COMPLETE RELEASE	01/12/20	SKS
POST ADR	03/16/20	SKS
STAFF	03/30/20	SKS

Zelaya Residence
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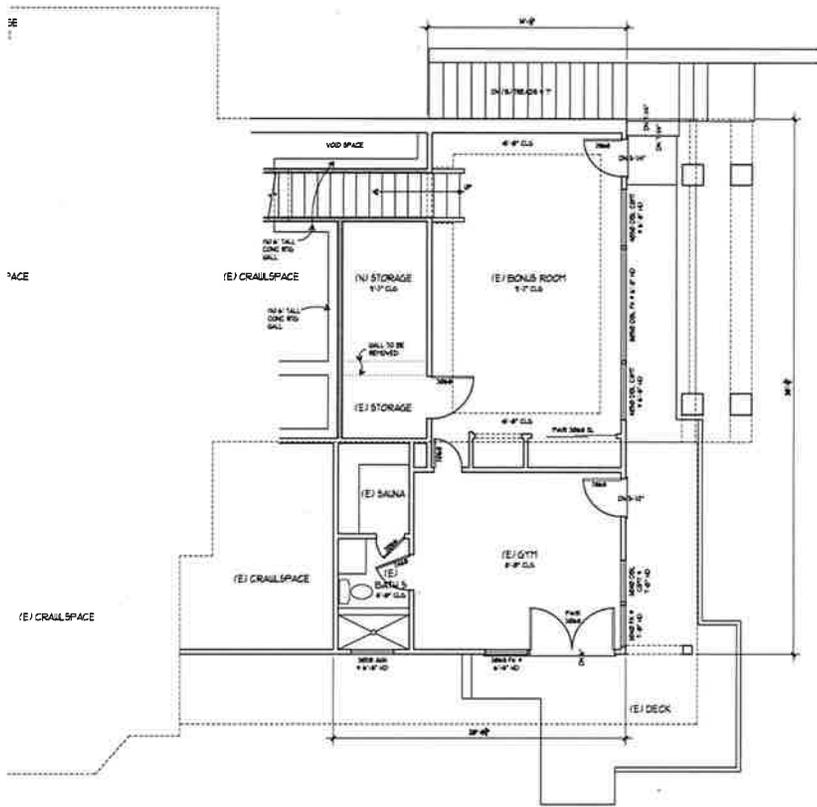
PROPOSED NEW UPPER LEVEL FLOOR PLAN

DATE:	08/28/18
SCALE:	AS NOTED
DRAWN:	SKS
JOB NO.:	
SHEET NO.:	

A2

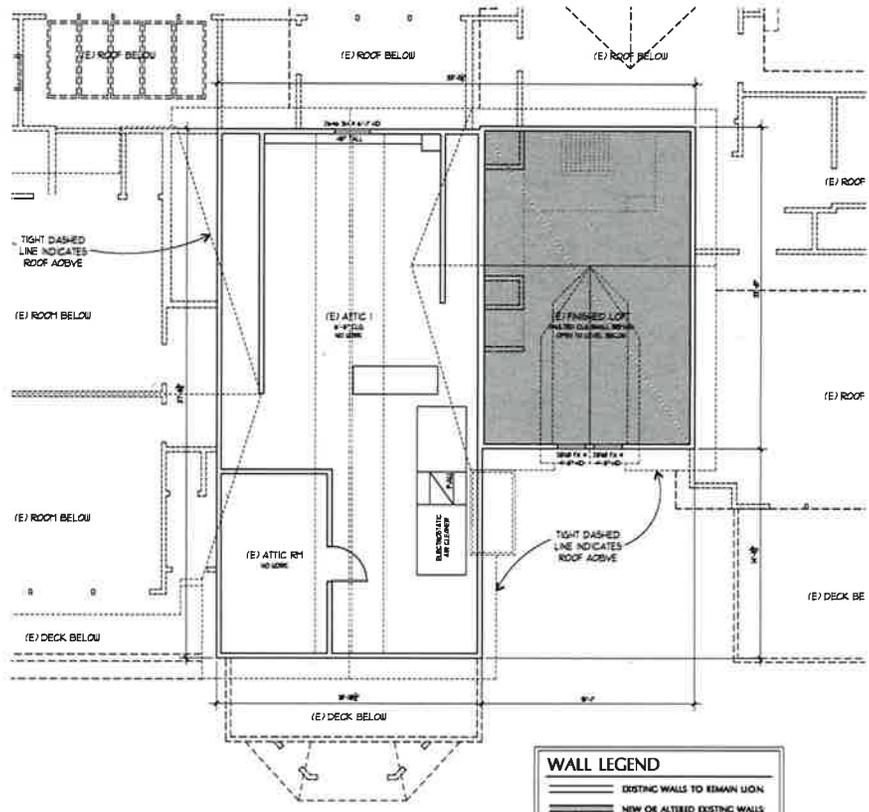
ADD STAIRWAY & STORAGE
TO BASEMENT FLOOR LEVEL

FLOOR AREA AT ATTIC 2
TO BE REMOVED



ALTERED BASEMENT LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



ALTERED ATTIC LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALLS TO REMAIN UNCH.
	NEW OR ALTERED EXISTING WALLS
	EXISTING TO BE REMOVED UNCH.



REVISIONS	DATE	BY
COMPLETED	11/11/16	SM
COMPLETED	01/13/20	SM
POST ADR	02/16/20	SM

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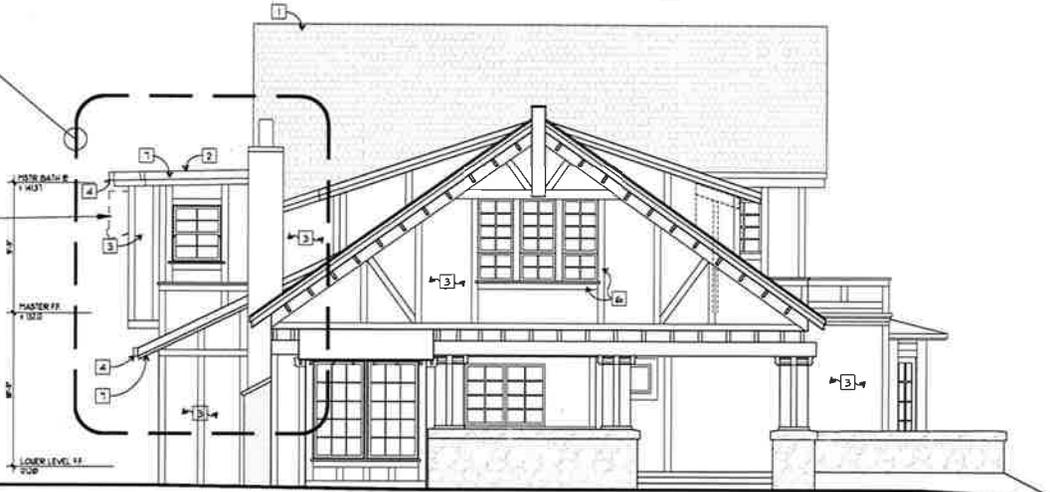
ALTERATION TO EXISTING
BASEMENT & ATTIC LEVEL
FLOOR PLANS

DATE: 02/22/19
SCALE: AS NOTED
DRAWN: SCS
JOB NO.
SHEET NO.

A3

AREA OF PROPOSED REMODEL THIS ELEVATION

LINE OF EXISTING ROOF TO BE REMOVED



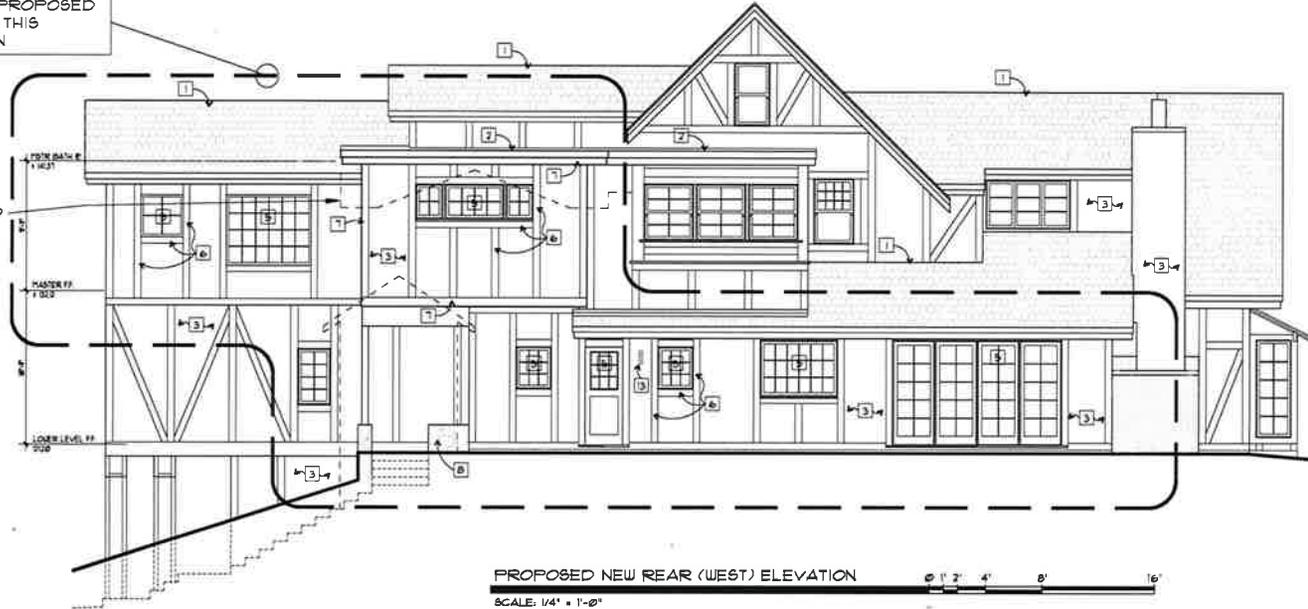
NEW & EXISTING EXTERIOR ELEVATION NOTES

1. EXISTING SLOPED ROOF - CLASS "A" ASPHALT COMPOSITION SHINGLES - SEE COLOR SAMPLE SHEET AB
2. NEW & EXISTING FLAT ROOFS - CLASS "A" BITUMEN TORCH-DOWN ROOFING W/ GRAVEL BALLAST
3. NEW SIDING - 3/8" STUCCO WITH INTEGRAL COLOR - SEE COLOR SAMPLE SHEET AB
4. NEW GUTTERS - 5" x 1" (SKED) PATINA COPPER FASCIA GUTTERS - SEE COLOR SAMPLE SHEET AB
5. NEW WINDOWS - KARVIN WOOD W/ METAL CLADDING, DOUBLE GLAZED - SEE COLOR SAMPLE SHEET AB
6. NEW WINDOW TRIM - 1/2" HANDIE COMPOSITE TRIM - SEE COLOR SAMPLE SHEET AB
7. NEW FASCIA, RAKE TRIM, DOOR & MISC TRIM - 1/2" AND 3/4" (ARTISAN) PAINTED HANDIE COMPOSITE TRIM - SEE COLOR SAMPLE SHEET AB
8. NEW STONE WALLS AND CHIMNEY - REAL BLUE-STONE BOULDERS - SEE COLOR SAMPLE SHEET AB
9. EXISTING ORNAMENTAL METAL RAILINGS - WELDED STEEL - SEE COLOR SAMPLE SHEET AB
10. EXISTING ORNAMENTAL WOOD RAILINGS - 2x CEDAR WOOD - SEE COLOR SAMPLE SHEET AB
11. EXISTING WOOD FRAMED DECORATIVE POST/COLUMN W/ WOOD CAP & BASE TRIM - SEE COLOR SAMPLE SHEET AB
12. EXISTING WOOD ENTRY DOOR WITH GLASS LITES
13. NEW TYPICAL EXTERIOR LIGHT FIXTURE - SEE SAMPLE THIS SHEET AB

PROPOSED NEW LEFT SIDE (SOUTH) ELEVATION @ 1' 2' 4' 8' 16'
SCALE: 1/4" = 1'-0"

AREA OF PROPOSED REMODEL THIS ELEVATION

LINE OF EXISTING ROOF TO BE REMOVED



PROPOSED NEW REAR (WEST) ELEVATION @ 1' 2' 4' 8' 16'
SCALE: 1/4" = 1'-0"



REVISIONS	DATE	BY
COMPLETION	11/17/18	SM
COMPLETION	01/13/20	SM
POST ADR	03/16/20	SM

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APN#: 073-077-05



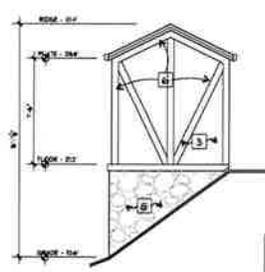
PROPOSED NEW ALTERED ELEVATIONS

DATE:	08/29/18
SCALE:	AS NOTED
DRAWN:	SM
CHECKED:	SM
JOB NO.:	
SHEET NO.:	

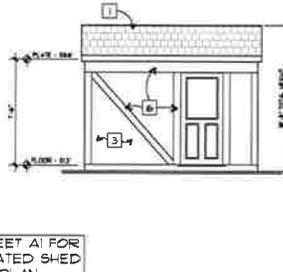
A5

NEW 4 EXISTING EXTERIOR ELEVATION NOTES

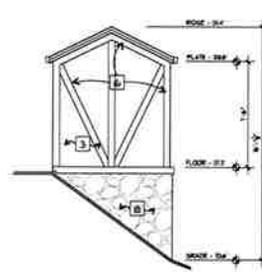
1. EXISTING SLOPED ROOF - CLASS "A" ASPHALT COMPOSITION SHINGLES - SEE COLOR SAMPLE THIS SHEET
2. NEW 4 EXISTING FLAT ROOFS - CLASS "A" BITUMEN TORCH-DOWN ROOFING w/ GRAVEL BALLAST
3. NEW SIDING - 3-COAT STUCCO WITH INTEGRAL COLOR - SEE COLOR SAMPLE THIS SHEET
4. NEW GUTTERS - 5" x 1" MIXED PATINA COPPER FASCIA GUTTERS - SEE COLOR SAMPLE THIS SHEET
5. NEW WINDOWS - MARVIN WOOD w/ METAL CLADDING DOUBLE GLAZED - SEE COLOR SAMPLE THIS SHEET
6. NEW WINDOW TRIM - 1/2" HARDIE COMPOSITE TRIM - SEE COLOR SAMPLE THIS SHEET
7. NEW FASCIA RAKE TRIM, DOOR, 4 MISC TRIM - 1/2" AND 2x (ARTISAN) PAINTED HARDIE COMPOSITE TRIM - SEE COLOR SAMPLE THIS SHEET
8. NEW STONE WALLS AND CHIMNEY - REAL BLUE-STONE BOULDERS - SEE COLOR SAMPLE THIS SHEET
9. EXISTING ORNAMENTAL METAL RAILINGS - WELDED STEEL - SEE COLOR SAMPLE THIS SHEET
10. EXISTING ORNAMENTAL WOOD RAILINGS - 2x CEDAR WOOD - SEE COLOR SAMPLE THIS SHEET
11. EXISTING WOOD FRAMED DECORATIVE POST/COLUMN w/ WOOD CAP 4 BASE TRIM - SEE COLOR SAMPLES THIS SHEET
12. EXISTING WOOD ENTRY DOOR WITH GLASS LITES THIS SHEET
13. NEW TYPICAL EXTERIOR LIGHT FIXTURE - SEE SAMPLE THIS SHEET



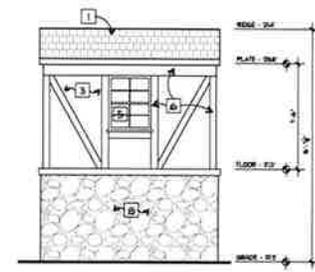
WEST



SOUTH



EAST



NORTH

SEE SHEET A1 FOR RELOCATED SHED FLOOR PLAN

PROPOSED RELOCATED REAR YARD SHED ELEVATIONS
SCALE: 1/4" = 1'-0"



1. ROOFING CERTANTEED OR SIM CLASS "A" COMPO SHINGLE PROFILE: "LANDMARK" COLOR: "REBAIN SHAKE"



3. STUCCO SIDING: 3-COAT SYSTEM LA HABRA PRODUCTS PROFILE: "SMOOTH FINISH" COLOR: "OFF-WHITE"



4. GUTTERS 5" x 1" PATINA COPPER PROFILE: FASCIA STYLE COLOR: "PINK-PAINTED BRONZ"



5. WINDOWS MARVIN WOOD CLAD COLOR: "CLAY"



7. FASCIA RAKE TRIM DOOR, 4 MISC TRIM PROFILE: HARDIE "ARTISAN" COLOR: "LIGHT GRAY"



8. STONE WALLS 4 CHIMNEYS BLUE STONE BOULDERS

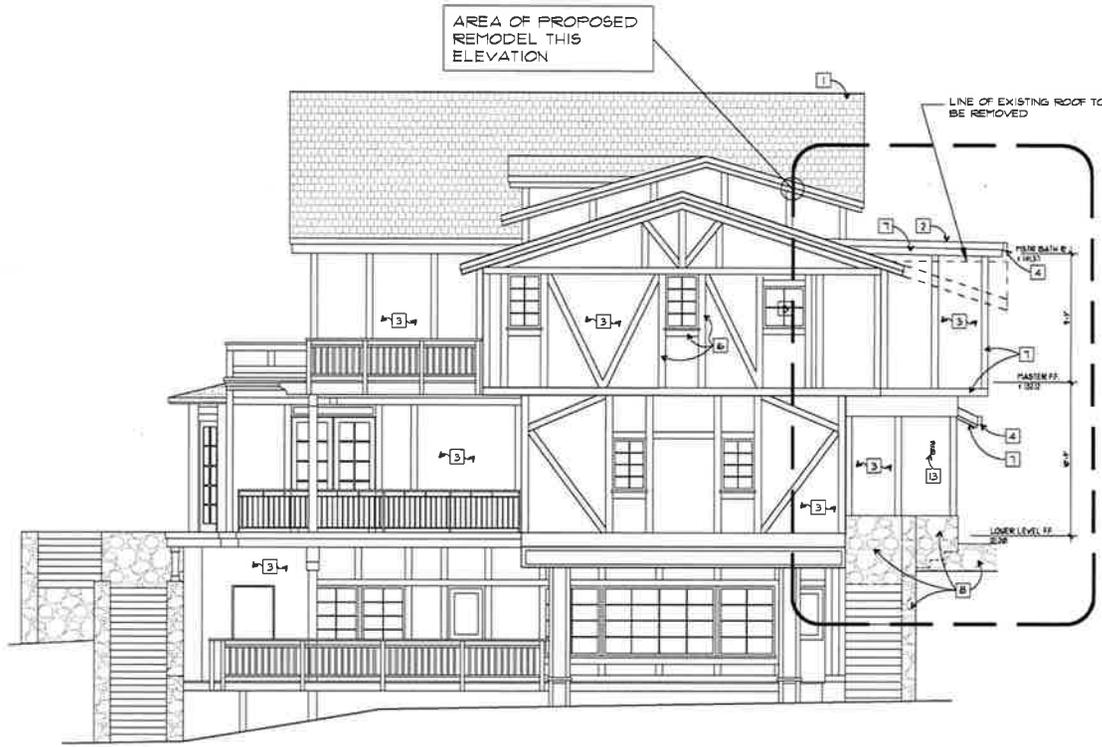


11. EXISTING DECORATIVE POST PROFILE: ARTS & CRAFTS COLOR: "LIGHT GRAY" (LIKE TRIM)



13. TYPICAL EXTERIOR LIGHT FIXTURE PROFILE: KICHLER TRADITIONAL COLOR: "BRONZE"

EXISTING & PROPOSED EXTERIOR MATERIALS



PROPOSED NEW RIGHT SIDE (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



REVISIONS	DATE	BY
1	11/15/18	SA
2	01/12/19	SA
3	03/16/19	SA
4	03/20/19	SA

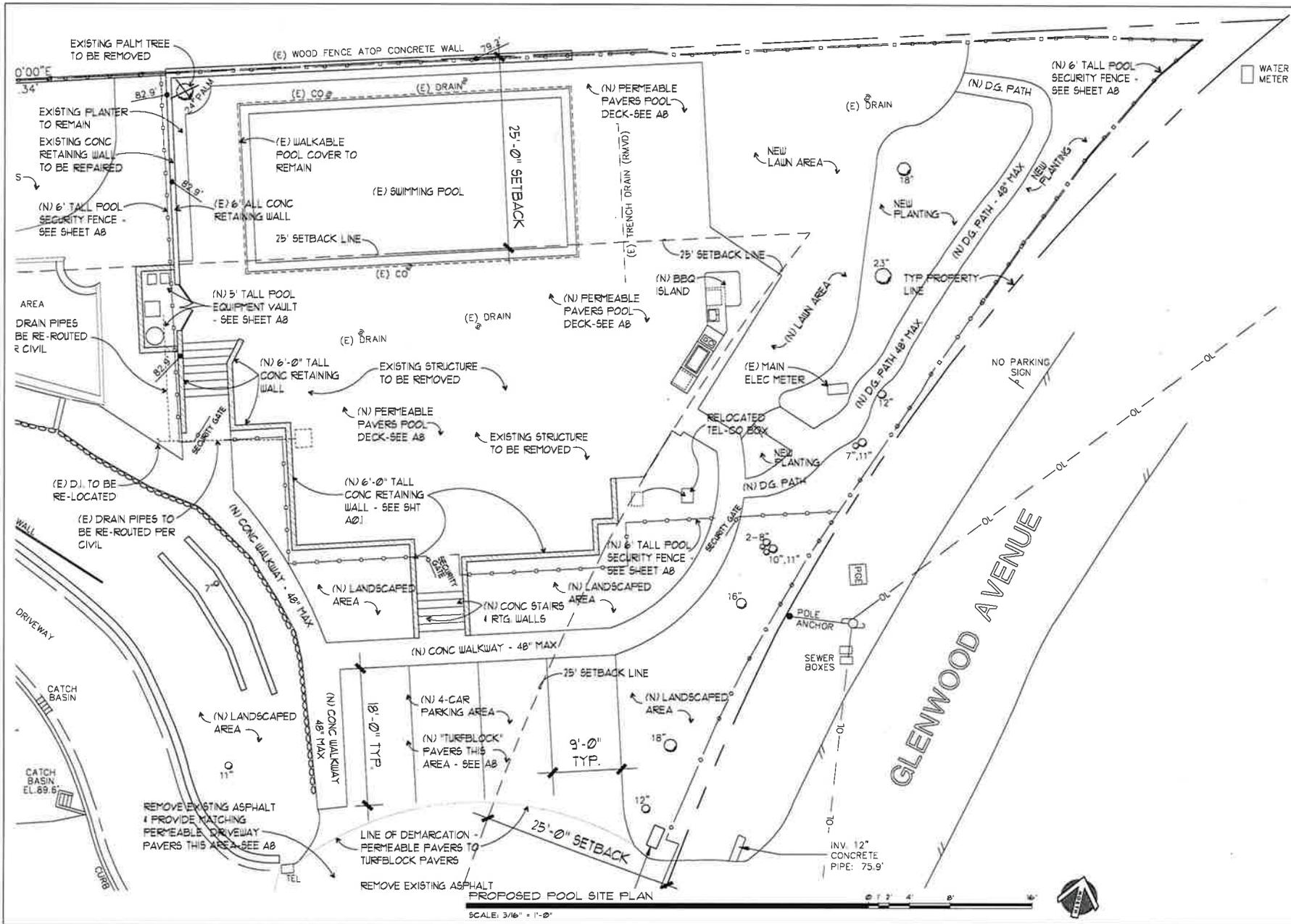
Zelaya Residence
49 Clemwood Avenue
Ross, CA 94957
APN#: 073-071-05



PROPOSED NEW ALTERED ELEVATIONS

DATE: 08/28/18
SCALE: AS NOTED
SHEET: 543
JOB NO.
SHEET NO.

A6



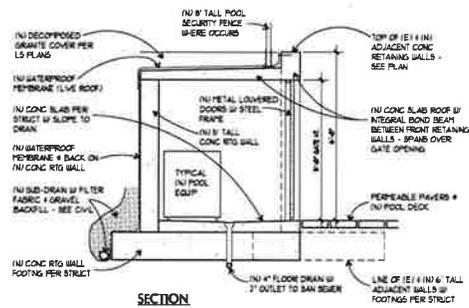
REVISIONS	DATE	BY
COMPLETE	11/21/18	SK
POST ADM	02/18/20	SK
STAMP	02/30/20	SKS

Zelaya Residence
 49 Glenwood Avenue
 Ross, CA 94957
 APN#: 073-071-05



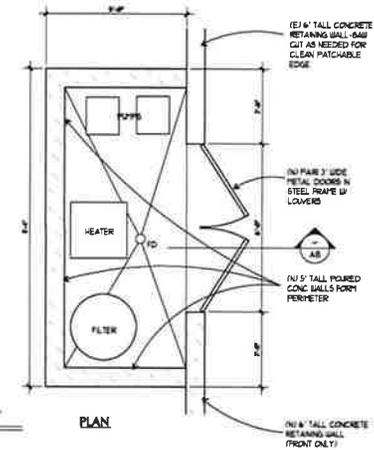
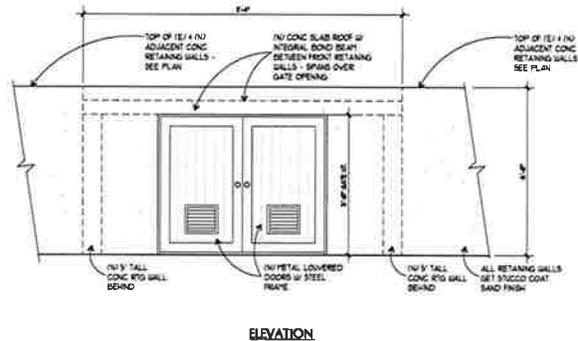
PROPOSED POOL SITE PLAN	
DATE:	08/28/18
SCALE:	AS NOTED
DRAWN:	SKS
JOB NO:	
SHEET NO:	

A7



PROPOSED POOL EQUIPMENT VAULT

SCALE: 3/4" = 1'-0"



RETAINING WALLS (MATCH EXISTING)

SCALE: None

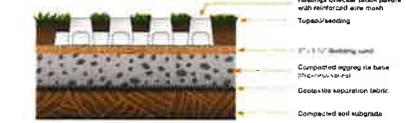
CUT HANDCAPS PERMEABLE POOL DECK PAVERS
STYLE: ROMAN COBBLE
COLOR: HICKORY (STD FINISH)



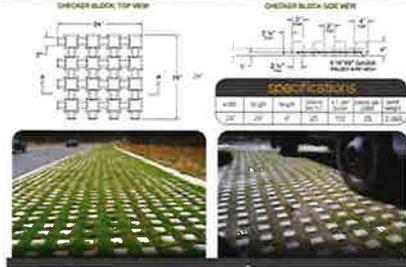
PERMEABLE POOL DECK PAVERS

SCALE: None

The unique waffle-like configuration of this pervious castellated product provides significant grass coverage when properly filled with topsoil.



Each 4 square foot unit is 4" thick, and provides a 75% grass to concrete ratio (ratio measured by each 4 x 4' section), ensuring a green turf that can support significant vehicular loads.



TURF-BLOCK "CHECKER-BLOCK" CUT SHEET

SCALE: None



POOL FENCE ELEVATION

SCALE: None

* ALL STEEL FENCE PARTS TO BE PAINTED BLACK



REVISIONS	DATE	BY
COMPLETION	11/11/18	SM
COMPLETION	01/11/20	SM
POST ADR	03/18/20	SM

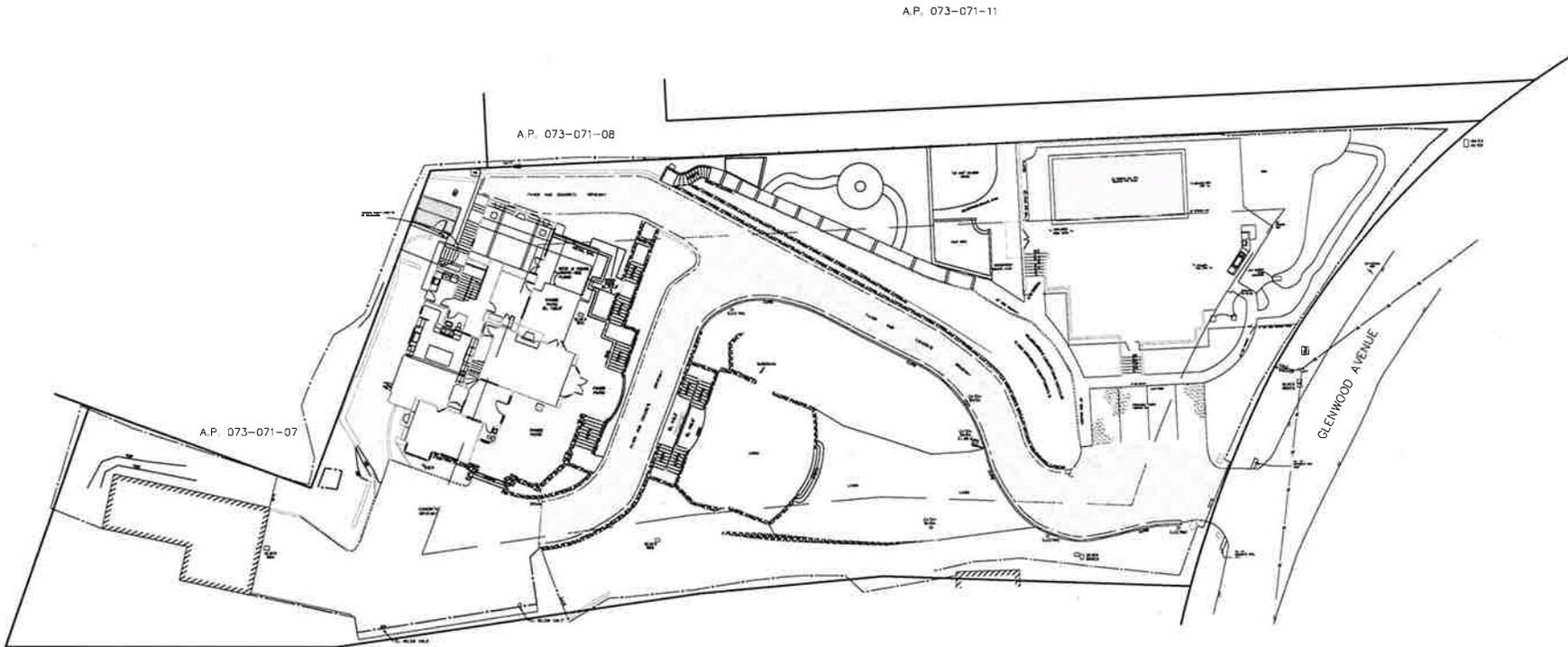
Zelaya Residence
49 Glenwood Avenue
Ross, CA 94957
APN#: 073-071405



PROPOSED POOL & PARKING AREA MATERIALS & POOL EQUIP VAULT

DATE: 08/28/18
SCALE: AS NOTED
JOB NO.: 305
SHEET NO.:

A8



GRAPHIC SCALE



1/16"=1'-0"



REVISION	BY
4/15/18	WT
6/24/18	WT
8/7/18	WT
10/26/18	WT
12/14/18	WT
3/13/2020	WT

PROJECT:
LANDSCAPING
46 GLENWOOD AVE.
ROSS, CALIFORNIA
AP 073-071-05



LAST DATE
MODIFIED: 3/13/2020

OWNER:
ZELA YA
46 GLENWOOD AVE.
ROSS, CALIFORNIA

DATE: 3/13/2020

SCALE: AS SHOWN

DESIGNER: WT

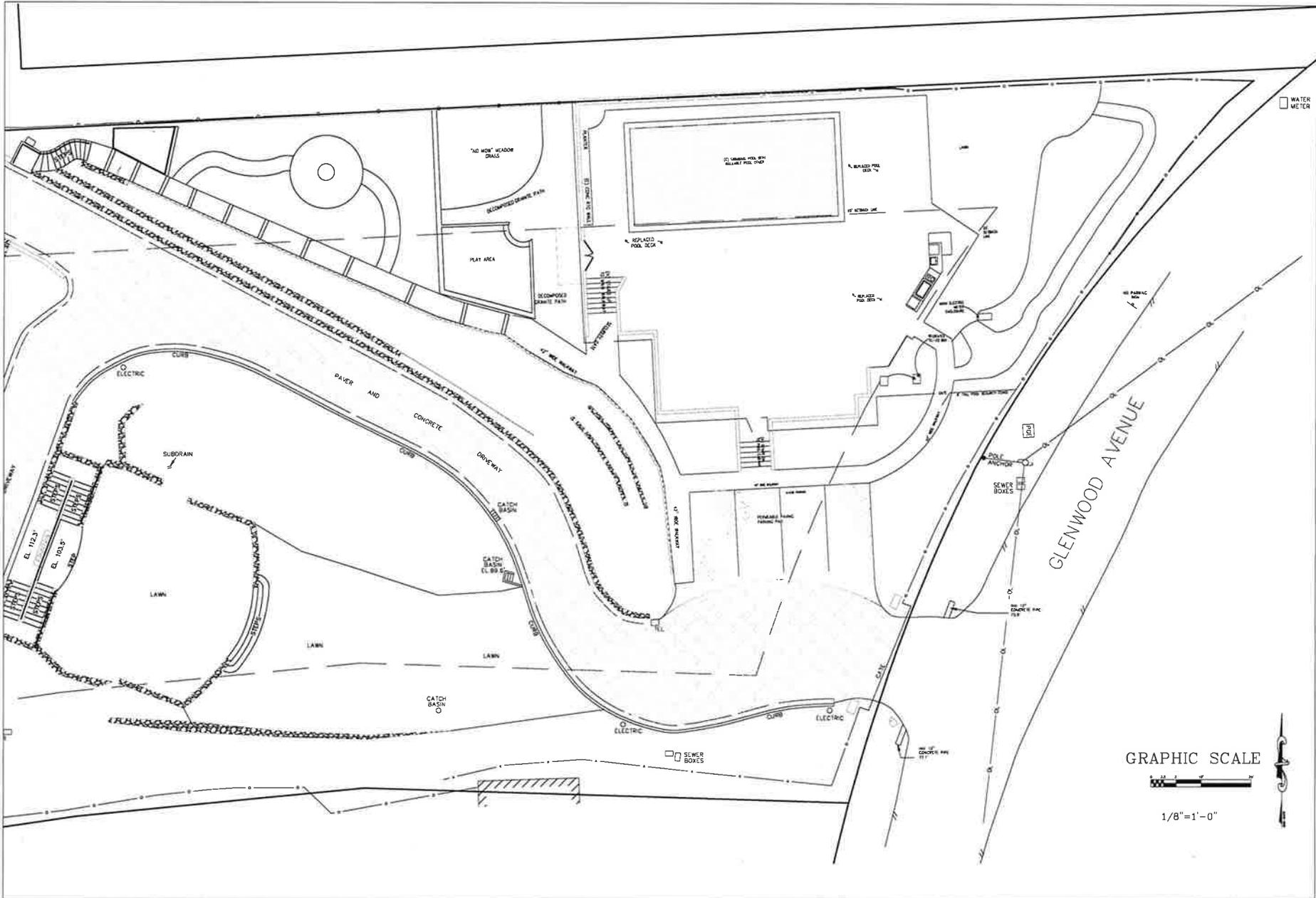
JOB:

PROJECT:

NO. OF SHEETS:

OF SHEETS:

SITE PLAN



GRAPHIC SCALE

1/8" = 1'-0"

REVISIONS	BY
4/15/19	WT
8/29/19	WT
8/17/19	WT
10/30/19	WT
12/18/19	WT
3/13/2020	WT

PROJECT:
LANDSCAPING
48 GLENWOOD AVE
ROSS, CALIFORNIA
AP 073-071-05

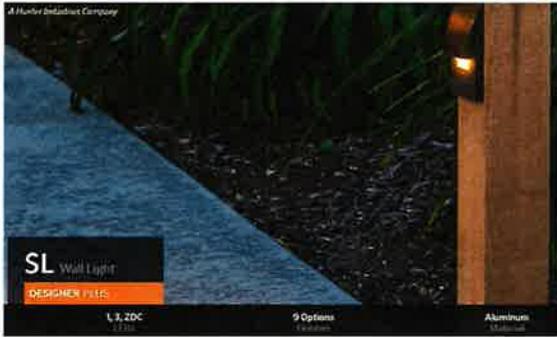


LAST DATE
MODIFIED: 3/13/2020

OWNER:
ZELA YA
48 GLENWOOD AVE.
ROSS, CALIFORNIA

DATE: 3/13/2020
SCALE: AS NOTED
DRAWN: WT
JOB:
SHEET:
L-2
OF 4 SHEETS

HARDSCAPE PLAN



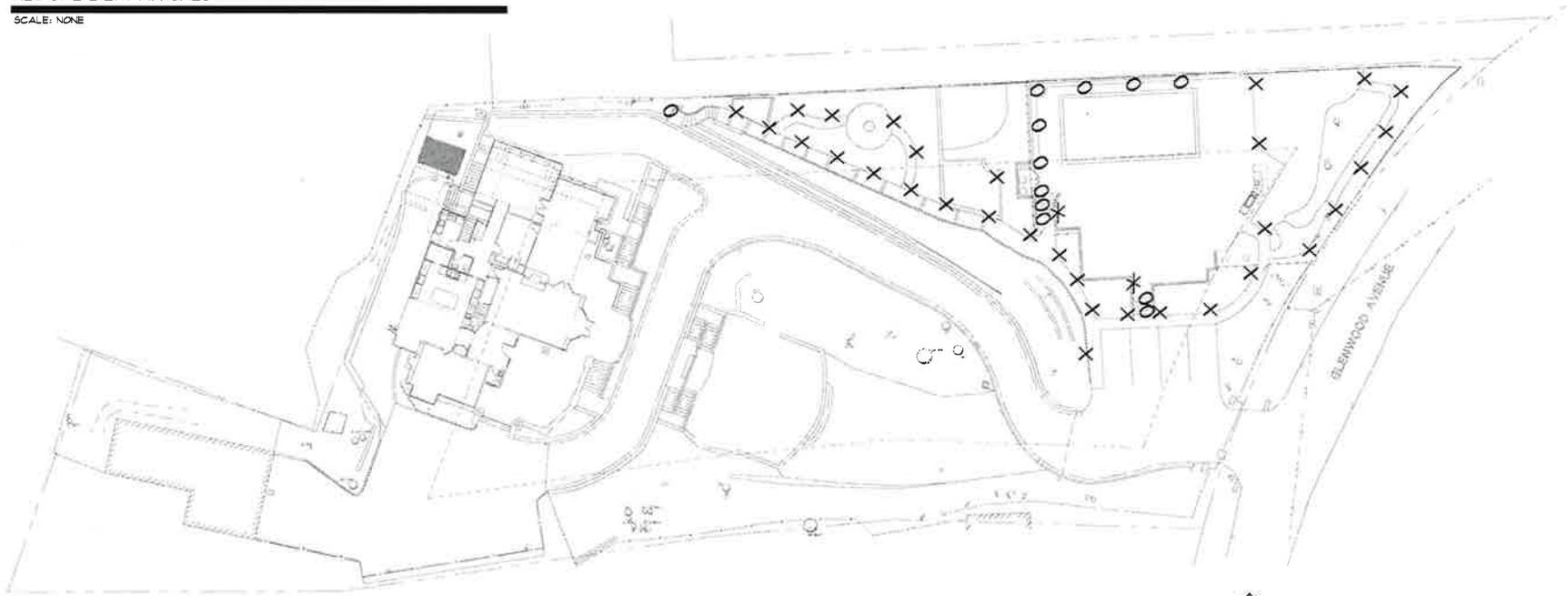
○ = WALL & STEP LIGHT

✕ = PATH LIGHT (10' SPACING)

* = DOWN LIGHT

NEW SITE LIGHT FIXTURES

SCALE: NONE



NEW SITE LIGHTING PLAN

SCALE: 1/16" = 1'-0"

0' 4' 8' 16' 32' 64'



REVISIONS	DATE	BY

Alteration, Addition, New Shed, & New ADU for the
Zelaya Residence
 49 Glenwood Avenue
 Ross, CA 94957
 APN#: 073-071-05



NEW SITE LIGHTING PLAN

DATE:	April
SCALE:	1/16" = 1'-0"
DRAWN BY:	SAS
JOB NO.:	
SHEET NO.:	

SL



VIEW FROM DRIVEWAY ENTRY TO FRONT PORCH



CLOSE-UP OF EXISTING PATIO, SIDING & TRIM COLOR



VIEW OF FRONT EXISTING STONE RETAINING WALLS



EXISTING ROOF, SIDING, & TRIM MATERIALS



VIEW OF EXISTING REAR STAIR & SHED AREA



VIEW OF EXISTING POOL AREA FROM DRIVEWAY



EXISTING POOL CABANA



EXISTING POOL & CONCRETE POOL DECK



EXISTING PLAY RM, STORAGE, CHANGING, EQUIP BLDG



REVISIONS	DATE	BY
△ COMPLETION	11/11/18	SM
△ COMPLETION	01/13/20	SM
△ PORT ADR	02/18/20	SM

Zelaya Residence
 49 Glenwood Avenue
 Ross, CA 94957
 APN#: 073-074-05



RELEVANT PHOTOS

DATE: 08/29/18
 SCALE: AS NOTED
 DRAWING: SPS
 JOB NO.:
 SHEET NO.:

PH



1

ROOFING: CERTAINTEED OR SIM.
CLASS "A COMPO SHINGLE
PROFILE: "LANDMARK"
COLOR: "RESAWN SHAKE"



2

STUCCO SIDING: 3-COAT SYSTEM
LA HABRA PRODUCTS
PROFILE: "SMOOTH FINISH"
COLOR: "OFF-WHITE"



3

GUTTERS: 5" x 7" PATINA COPPER
PROFILE: "FASCIA STYLE"
COLOR: "PRE-PAINTED BROWN"



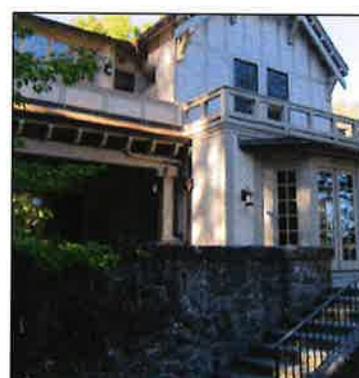
4

WINDOWS: MARVIN WOOD CLAD
COLOR: "CLAY"



5

FASCIA, RAKE TRIM, DOOR, &
MISC TRIM:
PROFILE: HARDIE "ARTISAN"
COLOR: "LIGHT GRAY"



6

STONE WALLS & CHIMNEYS:
BLUE STONE BOULDERS

COLOR BOARD - MAIN RESIDENCE ALTERATION

Zelaya Residence - November 11, 2019
49 Glenwood Ave, Ross, CA

SKS Architects
1852 4th St., San Rafael, CA

ATTACHMENT 3



September 9, 2019

Town of Ross
Planning Department
31 Sir Francis Drake Boulevard
Ross, CA 94957

Re: **Zelaya Residence**
49 Glenwood Avenue
Ross, CA 94904
AP# 073-071-05

RECEIVED
Planning Department

SEP 11 2019

Town of Ross

Project Description

1. Alteration to existing main residence as follows: remodel kitchen, hallway, stairs, & laundry at rear of house on main level. Alter sitting room, master bedroom, master bath, and master closet at rear of house on upper level. Minor roof change at a rear dormer. The existing dormers roof will be raised approximately 18 inches and incorporate an extension of the existing flat roof at the rear of the house.
2. Remove two existing buildings in area of swimming pool. Construct new pool cabana/adu per plans; install new pool equipment, new pool deck, & associated retaining walls, & stairs. Reconfigure existing pool area parking to add one parking space & provide sidewalk circulation and pool security fencing.



Stewart K. Summers, Architect
SKS Architects

ATTACHMENT 4

6/10/82



- 2. No. 635 Mr. and Mrs. John Scully, 49 Glenwood Ave.
 (73-071-05) Acre Zone
 Request to add 8' x 14' to breakfast room. Non-conforming house 26' from rear property line (40' required) 16' from side property line (25' required)
- | | |
|--------------------------|----------------|
| Lot Area | 43,560 sq. ft. |
| Present lot coverage | 9% |
| Proposed " " | 9 1/8% |
| Present floor area ratio | 13% |
| Proposed " " " | 13 1/8% |

(15% allowed)

It was explained that the extensive damage discovered during repair of the outdoor fireplace would best be solved by enclosing the area and increasing the size of the breakfast room. The addition is not visible to any neighbor. On motion by Mr. Chase, seconded by Mr. Poore, the variance was unanimously granted.

- 3. No. 636 Thomas W. Kemp, 18 Redwood Drive (73-272-04)
 7,500 sq. ft. zone
 Request to add hallway on rear of house and complete trellis at entrance to front driveway, requiring encroachment permit.
- | | |
|--------------------------|---------------|
| Lot Area | 4,200 sq. ft. |
| Present lot coverage | 34% |
| Proposed " " | 41.9% |
| Present floor area ratio | 34% |
| Proposed " " " | 38.5% |

(20% allowed)

Mr. Kemp explained the variance for the hallway was granted in April 1980 but not completed. The height of the trellis is 8', the posts are 1'6" into the street. The height is necessary to permit access to the house by emergency vehicles. The trellis will be part of the fence. Mr. Poore moved granting the variance and the issuance of an encroachment permit for post which should not exceed 24" into the roadway. Mr. Chase seconded the motion, which was unanimously passed.

- 4. No. 637 Mr. and Mrs. Larry P. Weingarth, 55 Bridge Road (73-261-22) 10,000 sq. ft. zone
 Request to add 153 sq. ft. to living room 11' from front property line (25' required). Non-conforming house 9'8" from sideline, 7'6" from sideline (15' required) 19'6" from front.
- | | |
|--------------------------|---------------|
| Lot Area | 9,360 sq. ft. |
| Present lot coverage | 18% |
| Proposed " " | 20% |
| Present floor area ratio | 25% |
| Proposed " " " | 26% |
- (20% allowed)

2/7/84

-2-

He also made the procedure for obtaining the use permit comply exactly with the Town's procedures under the present Use Permit Chapter, adding a requirement that the owner should continue to live on the premises.

Mr. Lunding recommended reference to illegal second units be deleted because those units will have to comply with the same requirements as anyone who will convert part of his existing structure into a second unit.

Mr. Stafford and Mr. Brekhus indicated they probably will not vote for a second unit ordinance. Mr. Stafford asked the audience to consider three questions:

1. Do you want a second unit on your property?
2. Do you want one on your neighbor's property?
3. Do you want your mother-in-law living in your backyard?

Within a couple of weeks, the redrafted ordinance will be available in the Clerk's office for property owners to read.

Setting Hearing before the Ross Town Council sitting as a Planning Commission to Hear a Proposed Amendment to the Zoning Ordinance.

The Council unanimously set March 8, 1984 at 8:00 P.M. for a hearing on a proposed amendment which will incorporate provisions of the State law and provide a procedure for the establishment of second units within the Town.

7. Use Permit to Build in Hazard Zone No. 3.
Scot Hunter, 97 Chestnut Ave. (73-291-09) 10,000 sq. ft. zone

Request to add bedroom to existing house.
At the applicant's request, the application was continued to the March meeting.

8. Variances.

1. No. 691 Irene and John Scully, 49 Glenwood Ave. (73-071-05) Acre Zone

Request to add 4' wide section to north side of existing house, for a total of 92 sq. ft., 17' from north side property line, 24' from rear property line.

Lot Area	43,560 sq. ft.
Present lot coverage	9.125%
Proposed " "	9.250%
Present floor area ratio	13.5 %
Proposed " " "	14.6 %
	(15% allowed)

-3-

Mr. Scully explained his desire to construct a family room over an unused existing deck. He agreed to tie a fire alarm system into his existing burglar alarm, as recommended by the Public Safety Dept. On motion by Mr. Chase, seconded by Mr. Poore, the variance was unanimously granted.

2. No. 692 Robert and Gail Cooney, 35 Laurel Grove Ave. (72-181-05) Acre Zone
Request to allow dining room and kitchen additions of 257 sq. ft., 16' from side yard property line and 270 sq. ft. deck and hot tub 8' from side property line.

Lot Area	30,938 sq. ft.
Present lot coverage	12%
Proposed " "	13%
Present floor area ratio	11%
Proposed " " "	13%

(15% allowed)

Architect Elita Schujman explained the applicants are able to enjoy only about $\frac{1}{4}$ of their property because of the steep terrain. Landscaping is planned on the northeast side of the deck. The kitchen bay will afford better circulation. The hot tub will be installed underneath the deck. Mr. Poore moved approval of the requests. Mr. Chase seconded the motion and added a condition that landscaping be included on the downhill side. Mr. Poore amended his motion to include landscaping and also a request by Mr. Lunding to separate the hot tub and deck and provide sound insulation for the equipment. Mr. Chase seconded the amended motion, which was unanimously passed.

3. No. 693 Mr. and Mrs. John R. Farmer, 160 Laurel Grove Avenue (72-211-05) Acre Zone
Request to add 255 sq. ft. to existing non-conforming house.

Lot Area	29,000 sq. ft.
Present lot coverage	8.5%
Proposed " "	9 %
Present floor area ratio	16 %
Proposed " " "	17.5%

(15% allowed)

The architect explained plans have been dropped to convert the garage into a playroom. The 255 sq. ft. addition will make the house more responsive to the needs of the applicants. On motion by Mr. Poore, seconded by Mr. Stafford, the variance was unanimously granted. The applicants elected not to provide a 24-hour monitored fire alarm or sprinkler system.

Mr. Wiener return for the January meeting after the Town Engineer and the Council had studied the soils report.

14. Lot Line Adjustment.

Navid Napier, 652 Goodhill Road, Kentfield, (AP 74-271-27) Acre Zone. Request is to allow lot line adjustment transfer of one acre from lands of Busalacchi to lands of Napier with the intent of maintaining the added acre as green space. Proposed change to result in lot size of 2 acres for the Napier property, and the Busalacchi property would decrease to approximately 2.7 acres.

There being no comments from the audience, Councilman Dirkes moved approval of the application with the condition that the parcels be merged and that this be recorded simultaneously within 90 days, or be reviewed at the March meeting. This was seconded by Councilwoman Flemming and passed unanimously.

15. VARIANCES

a. Lorraine and Robert Berry, 4 Ames Ave. (AP 73-181-05) 20,000 sq. ft. zone. Request is to allow construction of a garage and a new entry; proposed garage to be 14 ft. from front property line (25 ft. required). Non-conforming house with 9 ft. on side yard (20 ft. required); 8 ft. from rear (40 ft. required). Total addition of 649 sq. ft.

Lot Area	17,938 sq. ft.
Present Lot Coverage	24%
Proposed Lot Coverage	28%
Present Floor Area Ratio	18.5%
Proposed Floor Area Ratio	22%
(15% allowed)	

VARIANCE NO. 804. William T. Bullard, Jr., Attorney for Mr. & Mrs. Berry, presented the plans. He stated that the new construction would not cause a traffic hazard and would present no visual impact. He also said that this client would be taping this portion of the meeting.

Mrs. Berry's Architect addressed the Council and said that the area indicated on the plans for the garage was the only logical place to put the garage.

Councilman Brekhus said he was not in favor of structures in front yards and that there was an existing garage which had been turned into living space.

After some discussion, Councilman Dirkes moved approval of the variance request with the condition that the applicant make maximum use of the off-street parking to minimize the the parking on the street, and that the Council reserve the right to request additional landscaping, if needed. This was seconded by Councilman Poore, but failed to pass with 2 ayes and 3 naves.

Mrs. Robert Berry asked the Council if they would consider allowing her to build the new entry only. Since all neighbors had received notices, Councilman Dirkes moved approval of construction of the new entry, this was seconded by Councilman Poore and passed with four affirmative votes, Councilman Brekhus dissenting.

Town Attorney Roth was requested to present proposed findings re denial of the variance request at the next meeting.

b. VARIANCE NO. 805. John Scully, 49 Glenwood Ave. (AP 73-071-05) Acre Zone. Request is to allow addition of a new master bedroom suite over an existing family room, creating a 3rd storey and exceeding the height limits of 30 ft. Non conforming house 22 ft. from rear property line (40 ft. required) 17 ft. from side yard (25 ft. required).

Lot Area	43,560 sq. ft.
Present Lot Coverage	13.0%
Proposed lot Coverage	13.3%
Present Floor Area Ratio	14.6%
Proposed Floor Area Ratio	15.6%
(15% allowed)	

There being no comments from the audience, Councilman Poore moved approval, subject to drainage approval by the Town Engineer, and the Council has the right to request further landscaping, if needed. This was seconded by Councilman Dirkes and passed with three affirmative votes, Mayor Julien and Councilwoman Flemming dissenting. Councilman Dirkes said he voted for the application because it was an addition to an existing third storey, and not the addition of a new third storey.

school for years. He was most satisfied with their cooperation and he felt this was a good plan for the neighborhood.

Mr. Gallagher said he felt the school had been magnificent in negotiating with him.

Mr. Peter Lillevand said he is on the Board for the School and it is their intention to cooperate with the neighbors and be in full compliance with the law.

Ms. Lisa Sullivan, architect, said that she planned to meet with Mr. Wilsey next week.

The matter was continued to the next meeting.

- 17. Discussion/Procedure for Continuing Planning Applications.
This matter was continued.

- 18. VARIANCES & USE PERMITS.



- a. Irene and John Scully. 49 Glenwood Avenue, AP 73-071-05, Single Family Residence, One Acre Minimum (R-1:B-A) Request is to allow: Addition/remodel of an existing garage to create a two car garage through a 6 X 23 foot expansion of the existing garage and a 10 foot wide driveway extension.

The existing house has a nonconforming side yard setback (25 feet required, 17 feet existing) and rear yard setback (40 feet required, 23 feet existing.) The lot contains other nonconforming structures including a swimming pool, changing rooms and storage building.

Lot Area	49,078 sq. ft.	
Present Lot Coverage	9.1%	
Proposed Lot Coverage	9.4%	(15% allowed)
Present Floor Area Ratio	13.8%	
Proposed Floor Area Ratio	14.0%	(15% allowed)

This application has been revised from the original submittal.

1002

VARIANCE NO. Mr. Scully presented the plans as shown at the last meeting and stated that all neighbors had now seen the new plans.

Town Planner Broad felt this was a great improvement over the original submittal. He referred to his recommendations in his report.

Mayor Goodman pointed out that the garage is conforming and it is only because of the nonconformity on the other side of the property that the applicant needed to apply for a variance.

Mr. Scully said his neighbor, Huey Lewis, had looked at the plans and he felt that this plan was a significant improvement.

In response to a question, Mr. Broad stated that the information submitted satisfied his requirements for the driveway.

Councilman Barry moved approval with the following conditions:

- a. The applicant must accept the recommendations made by staff and that any native trees that are removed should be replaced species by species. This is to be done with the advice of the Town arborist. He clarified that these must be the same species, not necessarily the same height.
- b. The attic area must not be finished and used for storage only.
- c. The attic windows must be fixed pane.

Councilman Barry did not feel it was necessary to include the deed restrictions as mentioned in staff's report. He said a variance should be granted for the 43 inch high fence because of the safety issue.

This was seconded by Councilman Reid and passed unanimously.

December 9, 2010 Minutes

with the pensions. Whoever is hired is in perpetuity with benefits. They must start thinking differently. They are not what they were. Also, she recommended doing projections on long-term projects and the impacts. Then look at the cost benefit for hiring out or having someone in-house.

Police Chief Jim Reis suggested bringing back Public Works Director Jarjoura during the transition period to help bring this new person up to speed. The Council believed that is an excellent idea.

Peter Nelson, Circle Drive resident, believed this matter was placed before the Council very clearly, hiring an individual for both positions. The discussion of overlap was discussed. Observation of the Council is to think this through when taking actions.

There being no further public testimony on this item, the Mayor closed the public portion and brought the matter back to the Council for discussion and action.

Mayor Pro Tempore Small noted that \$35,000 was the engineering part of the overlay. The Town Manager has the ability to hire staff, but there are some thoughts and concerns within staff and she would feel more comfortable with staff having a conversation. Inner working of planning and building was discussed at the retreat and desired one more conversation with staff on how they see all of this working. She further noted that staff requested more input, which would have happened with a general government meeting.

Council Member Strauss agreed they must discuss organization within the Town. He was involved in interviewing the top candidate. This is an excellent candidate that will benefit the community. He reviewed conception items that will help improve their relationship with the community. Members of the community interviewed this particular candidate and all felt this candidate is qualified.

Some Council members and staff expressed concern that the candidate is not experienced with the building codes and would not be ready to take on the duties of the building official. In response, Public Works Director Jarjoura would be available to work on a contract basis to process building permits and plan checks and train the new public works director. Town Manager Broad offered to discuss the matter further with staff and then bring the item back to a special Town Council meeting on December 13th. Mayor Martin asked staff to notice the closed session and Monday meeting.

The Council took a short recess at 10:12 p.m. and then reconvened with the next agenda item at 10:21 p.m. The Council had a request to take an agenda item out of order. The Council had no objection to moving up Item No. 24 concerning 49 Glenwood.

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24. 49 Glenwood Avenue, Variance and Design Review No. 1781
John and Michelle Battelle, 49 Glenwood Avenue, A.P. No. 73-071-05, R-1:B-A (Single Family Residential, 1-acre min. lot size), Very Low Density (.1-1 Unit/Acre).
Variances and design review to allow the following: 1.) deck extension at the upper level master bedroom; 2.) reconstruction of the main level terrace and addition of new entry stairs, 3.) new lawn terrace and associated retaining walls up to 30" tall; 4.) reconstructed driveway and related retaining walls; 5.) new 6 foot tall entry gate and stone columns, to be located 10 feet further south on Glenwood Avenue; 6.)

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demolition of the pool cabana and pool equipment buildings and construction of a new 1,038 square foot, single story, pool cabana/office with a roof deck; 7.) pool area improvements including reconstruction of the pool, pool patio, and a new spa area partially within the north side yard setback (25 feet required, 12 feet proposed); 8.) areas of solid fencing near the pool area (4 feet permitted, 6 feet proposed); 9.) 228 cubic yards of cut and 194 cubic yards of fill associated with the project; and 10.) after-the-fact request for a floor area ratio variance to allow a 248 square foot attic area with a 6-foot maximum ceiling height, installed by a prior owner, to remain finished. Total floor area of 8,390 square feet is proposed.

Lot area	47,400 sq. ft.	
Existing Floor Area	17.7%	
Proposed Floor Area	17.7%	(15% permitted)
Existing Lot Coverage	12.7%	
Proposed Lot Coverage	12.6%	(15% permitted)
Existing Impervious Areas	41.8%	
Proposed Impervious Areas	31.1%	

The existing residence and pool area are nonconforming in setbacks.

Senior Planner Elise Semonian summarized the staff report and recommended that the Council carefully consider potential privacy impacts created by the roof deck above the proposed pool house and, if appropriate, the Council should approve the project subject to the findings and conditions outlined in the staff report.

Michelle Battelle, owner, thanked the Council for moving the item up on the agenda and appreciated their consideration on her project.

Ed Blankenship, architect, explained that the project started by reviewing the 1907 home, in particular the deck terrace areas. They realized that the master deck has structural and support issues. They propose to extend the master deck area and reconfigure some of the front area. They want to tie the two areas of the site together in a more unified theme to have a destination spot. He thanked the neighbors for all their help as well as the ADR Group. This has been a sensitive project as far as view corridors between neighbors. The driveway is inferior and requires a lot of work. It is an old driveway and there is a lot of failure from rotten wood, so they are removing the asphalt paving and turning it into a pervious paving area. The existing lawn area flows up to the small driveway, and they want to develop more usable area since it is a steep lawn. It was suggested at the ADR Group meeting that those driving by should still view the lawn, so they want to incorporate the lawn and one terrace. They are trying to develop a drop off area as well as saving the mature trees with the driveway configuration. He then submitted a materials board outlining the colors for the Council's consideration. They are trying to connect the pool area with the home so they developed a pathway and different transition zones. The existing pool will be moved away from the property line in order plant hedges to provide a good solid screen. One requirement in programming is the cabana that has a small office along with a small roof deck. They propose developing an extensive roof deck system so it is a green roof. There is a series of hedges to stop the visual. Also, they are taking all the old failing stone and hard surface out and replacing with a herringbone pattern. The existing icehouse is being removed and they are reducing the back end of the existing garage and moving that square-footage into the

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cabana. Since square-footage is being moved around, they do not have to ask for more. One requirement from his client is moving the gate over in order to have the ability to look down through the lawn and view visitors at the gate. In terms of the cabana, presently there is a small cabana, which will be removed and they will provide a split area. The cabana will be open to the pool area. There is 5 ft. between the two components. There is a new concrete pool deck with barbeque, shower area and spa that overlooks the pool. In terms of the roof deck, they propose a roof garden. The planting area wraps around the roof. The existing driveway was very close to the front of the building, so by moving the entry gate down it takes away any visual from those walking along Glenwood. The roof deck is for the owner to come from his office, sit and write as he looks at Mt. Tam. They propose the cedar siding with the cabana and an introduction of the stone element. Also, as individuals drive by the home, they can look all the way through and view the pool, which connects the pool to the property.

Mayor Martin desired an explanation of the cobblestone being used on the driveway. Architect Blankenship noted that the idea is to have pavers set in sand to improve the pervious surface, which will reduce drainage. In terms of effectiveness of the pavers, it handles the rainfall due to the gaps. He further noted that it is their intention to reduce the amount of hard surface.

Mayor Martin opened the public hearing on this item.

Bob Dickinson, Glenwood Avenue resident, supports the project and believed the Battelle's and project architect have been very accommodating. They are comfortable with the revised story poles. He is very thankful for what they have done to move the leveled terraced lawn up and away from their master bedroom window. He underscored a few conditions in the staff report and one correction to the report that does not change their position. Drainage is a major concern. His home sits below the Battelle's and in the winter there is a significant amount of water. He shared options with the ADR Group. He wanted to make sure that the hydrology report required will show that there is an equivalent or less amount of water that will drain off his property. In terms of lighting, he is completely comfortable with the Battelle's and how they will use their deck, but he might be concerned about the next owner, so that entire area should not become a beacon at night of light shining out. In terms of Section 4 under Item No. 5, he corrected for the record, and advised the applicant and the Council that the excavation at the construction property across the street caused cracks in drywall in six rooms in his home. He is not sure what will happen if there is excavation of the lawn area next to his property. The job site rules are very important and helpful to everyone on the job site. In terms of duration, he wanted to make sure the Council is aware that project duration is not to exceed 18-months. Construction noise at 36 Glenwood started in February of 2008. It was permitted on September 15th, 2008. According to the minutes of the March 2008 Town Council meeting, the contractor assured the Council and public that all outside work and noise would be completed within 18-months. It has been 36-months since noise started and 28-months and four days since the project was permitted. The outside work is nowhere near completion. The Town ordinance governing construction does not limit the project to 18-months as long as the owner pays fines. The owner at 36 Glenwood has paid \$200,000 in fines. He encouraged the Council to in line their interest with affected neighbors and amend the ordinance. Now, he is facing five consecutive years of construction on adjacent lots and that is why the total project duration is placed as a condition of approval. He further wished the Battelle's well on this project.

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There being no further public testimony on this item, the Mayor closed the public portion and brought the matter back to the Council for discussion and action.

Council Member Hunter loved the project, but expressed concern for the roof deck. He felt the project is tastefully done and attractive. This is a grand house in Town, and generally the Council does not approve second story roof decks. They do not approve or deny based on the current occupant, but what is good for the property. He further would approve the project, less the roof deck.

Mayor Pro Tempore Small believed the project is beautiful. She also expressed concern for the roof deck in regard to controlling the amount of lighting, and wanted to hear from the rest of the Council on that matter.

Mayor Martin noted an interesting quote from Council Member Arthur Kanzee, Jr. in 1958 as follows: *"That the high value of property in Ross was due to the strict inherence to zoning regulations."* He liked the project, and did not believe it is comparable to the Pritzker project, which broke every rule in the Town's municipal code as far as size, structure and duration of construction. He also has concerns about the second level roof, but given the location it works. It is not adjacent to any houses and it is closer to the street, so he had no objection with this location, but it may however open a door and be more of a concern in the future on other properties.

Council Member Russell completely endorsed this project. It is beautifully landscaped and will add value to all homes in the surrounding area. He then congratulated the owners on this project. Mayor Martin agreed they did an extraordinary job preserving the trees and vegetation on the property. He also appreciated the clear plans presented. Council Member Russell believed this is clear example of where there is space entirely within the structure with no impact to anyone else, so this is a good example of an acceptable project in the future in terms of attics and basements.

Council Member Strauss echoed all comments stated. He is comfortable with the roof deck since it is fairly small and not looming.

Mayor Pro Tempore Small appreciated the Battelle's going to the ADR Group twice as well as working with the neighbors, which made their job as Town Council easy.

Mayor Pro Tempore Small and Council Member Hunter agreed with the roof deck after hearing the discussion from the Council.

Mayor Martin asked for a motion.

Council Member Strauss moved and Council Member Russell seconded, to approve the project at 49 Glenwood Avenue subject to the findings and conditions outlined in the staff report. Motion carried unanimously.

Conditions of Approval - 49 Glenwood Avenue:

The following conditions shall be reproduced on the first page(s) of the project plans:

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1. The project shall be constructed in substantial conformance with the plans dated 11/15/10, on file with the Planning Department.
2. An encroachment permit shall be required prior to any work within the Town right-of-way. The owner must maintain the culvert under the driveway and shall replace and enlarge it if necessary.
3. The project shall comply with the Town stormwater ordinance (Chapter 15.54) and a drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application that results in, at a minimum, no net increase in the rate and volume of peak runoff at the site compared to pre-project conditions. The applicant is encouraged to use low impact development techniques such as sloping the driveway to drain towards landscaped areas, to minimize site runoff. The Town will provide a minimum 2-week comment period for interested neighbors and shall consider neighbor comments in its review and approval of the drainage plan.
4. The new landscaping shown on the pool house/office roof deck, as well as the screening landscaping proposed between the pool and north property line, shall be maintained to screen the pool house/office structure and the roof deck, but at a level that does not obstruct neighbor views of Mt. Tamalpais, for the life of the structure, unless otherwise approved by the Town Council or agreed to by the owners of 51 Glenwood Avenue.
5. The finishes in the attic room in the main residence are approved. The room does not meet code requirements for habitable space and may only be used for storage.
6. All costs for town consultant, such as the town hydrologist, review of the project shall be paid prior to building permit issuance. Any additional costs incurred to inspect or review the project shall be paid as incurred and prior to project final.
7. The applicants shall pay required Town fees of \$3 for every cubic yard of off-haul resulting from this project. Final off-haul amounts shall be calculated by the project civil engineer with calculations submitted to the Director of Public Works prior to the issuance of a building permit.
8. Any exterior lighting shall be submitted for the review and approval of planning department staff. Lighting shall be shielded and directed downward. Exterior lighting of landscaping by any means shall not be permitted if it creates glare or annoyance for adjacent property owners. Lighting expressly designed to light the pool house deck, exterior walls or fences that is visible from adjacent properties or public right-of-ways is prohibited.
9. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Prior to the issuance of a building permit, the owner or general contractor shall submit a complete list of contractors, subcontractors, architects, engineers and any other people providing project services within the Town, including names, addresses and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
10. Prior to the issuance of a building permit, the applicants shall submit a final tree protection plan drafted by a certified arborist for the review and approval of the Planning Department and town arborist. The project arborist shall review final construction-level drawings, including grading, drainage and utility plans. All tree protection conditions recommended by the project arborist shall be included on those plans to ensure compliance with the conditions.
11. The submitted tree protection plan shall focus on the protection of all on-site trees not hereby approved for removal during construction and upon the ongoing

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preservation of their health and vigor. The tree protection plan shall include specific provisions acceptable to the Planning Department for independent on-site monitoring of the conditions below. Written reports shall be provided to staff to ensure monitoring is taking place.

- a. Before the start of any clearing, excavation, construction, or other work on the site, or the issuance of a building permit, every significant and/or protected tree shall be securely fenced-off at the non-intrusion zone, or other limit as may be delineated in the required tree protection plan. Such fences shall remain continuously in place for the duration of the work undertaken in connection with the development.
 - b. If the proposed development, including any site work, will encroach upon the non-intrusion zone of a significant and/or protected tree, special measures shall be utilized, as approved by the project arborist, to allow the roots to obtain necessary oxygen, water, and nutrients.
 - c. Underground trenching shall avoid the major support and absorbing tree roots of significant and/or protected trees. If avoidance is impractical, hand excavation undertaken under the supervision of the project arborist is required. Trenches shall be consolidated to service as many units as possible.
 - d. Concrete or asphalt paving shall not be placed over the root zones of significant and/or protected trees, unless otherwise permitted by the project arborist.
 - e. Artificial irrigation shall not occur within the root zone of oaks, unless deemed appropriate on a temporary basis by the project arborist to improve tree vigor or mitigate root loss.
 - f. Compaction of the soil within the non-intrusion zone of significant and/or protected trees shall be avoided.
 - g. Any excavation, cutting, or filling of the existing ground surface within the non-intrusion zone shall be minimized and subject to such conditions as the project arborist may impose. Retaining walls shall likewise be designed, sited, and constructed so as to minimize their impact on significant and/or protected trees.
 - h. Oil, gas, chemicals, or other substances that may be harmful to trees shall not be stored or dumped within the non-intrusion zone of any significant and/or protected tree, or at any other location on the site from which such substances might enter the non-intrusion zone of a significant and/or protected tree.
 - i. In no case shall construction materials or debris be stored within the non-intrusion zone of a significant and/or protected tree.
12. A detailed construction and traffic management plan, including a site plan, shall be submitted for the review and approval of the Building Official and Planning Department prior to the issuance of a building permit. The plans shall include details on construction parking; material, equipment and waste storage; vehicle and equipment maintenance areas; portable restrooms; washout areas; delivery and truck parking; construction scheduling; and other information as required by the town. The Town will provide a minimum 2-week comment period for interested neighbors and shall consider neighbor comments in its review and approval.
13. The applicant (which includes, but is not limited to, the applicant, their contractors, subcontractors, suppliers and consultants) shall follow the "Proposed Job Site Conditions for Subcontractors, Suppliers & Consultants, 49 Glenwood, Ross, CA

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- 94957" submitted at the August 2010 Advisory Design Review Group meeting, provided to the applicant, and in the planning file. The rules shall be reproduced on the plans.
14. The project owners and contractors shall be responsible for maintaining all roadways and right-of-ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately.
 15. Applicants shall comply with all requirements of the Marin Municipal Water District and the Ross Valley Sanitary District.
 16. Except as otherwise noted in these conditions, landscaping shall be installed in conformance with the approved landscape plan prior to project final. Prior to project final, the applicants shall submit written evidence to planning department staff that confirms the landscaping complies with the current Marin Municipal Water District water conserving landscape ordinance, or is exempt from their requirements.
 17. This project shall comply with all requirements of the Department of Public Safety, as outlined in their ongoing project review, including the following: a) a local alarm system is required; b) all dead or dying flammable material shall be cleared and removed per Ross Municipal Code Chapter 12.12 from the subject property; c) the street number must be posted (minimum 4 inches on contrasting background), d.) the access roadway must have a vertical clearance of 14 feet; e.) all brush impinging on the access roadway must be cleared as determined feasible by Public Safety; and f.) a Knox Lock box is required.
 18. This project is subject to the conditions of the Town of Ross Construction Completion Ordinance. If construction is not completed by the construction completion date provided for in that ordinance, the owner will be subject to automatic penalties with no further notice. As provided in Municipal Code Section 15.50.040 construction shall be complete upon the final performance of all construction work, including: exterior repairs and remodeling; total compliance with all conditions of application approval, including required landscaping; and the clearing and cleaning of all construction-related materials and debris from the site. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
 19. The Town Council reserves the right to require additional landscape screening for up to three (3) years from project final.
 20. No changes from the approved plans, before or after project final, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner for review and approval prior to any change.
 21. Failure to secure required building permits and/or begin construction by December 9, 2011 will cause the approval to lapse without further notice.
 22. Failure to comply in any respect with the conditions or approved plans constitutes grounds for the town to immediately stop work related to the noncompliance until the matter is resolved. (RMC §18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law.
 23. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the

applicants and/or owners. The Town shall assist in the defense; however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

The Council decided to take Agenda Item No. 23 out of order and hear the matter next on the agenda. Council Member Strauss noted for the record that he was contacted by the owner to be the project architect for 20 Upper Road West, which he declined due to his position on the Town Council.

23. **20 Upper Road West, Variance, Design Review and Hillside Lot No. 1805**
Clifford and Adriana Booth, 20 Upper Road West, A.P. No. 73-321-02, R-1:B-5A (Single Family Residence, 5 acre minimum lot size), Very Low Density (.1 - 1 units per acre). Design review and hillside lot application for a 1,957 square foot addition to the residence. The applicants propose a two-story addition to the south end of the residence and new living space beneath the garage. The resulting residence would be 7,199 square feet in size. A setback variance would be required for the addition, which would be located within the hillside lot side yard setback (45 feet required, approximately 21.5 feet proposed). The project also includes 107 feet of new retaining walls up to 5 feet tall and a drainage dispersal area within the south yard area.

Effective Lot Area	51,530 square feet
Existing Floor Area Ratio	10.2%
Proposed Floor Area Ratio	14.0% (15% permitted)
Existing Lot Coverage	9.5%
Proposed Lot Coverage	11.4% (15% permitted)
Existing Impervious Areas	20.5%
Proposed Impervious Areas	22.0%

The existing residence is nonconforming in hillside lot setbacks. The project falls under the hillside lot regulations because the site is within Slope Stability Zones 3 and 4. The applicant has calculated the slope of the site as under 30%. The more restrictive Hillside Lot floor area regulation applies to slopes over 30%.

Senior Planner Elise Semonian explained that this is an application for a hillside lot permit as well as design review for an addition to the residence. An issue has been raised by a neighbor this past week that the Town's Hillside Lot Ordinance (HLO) that was recently adopted does not exempt projects that have less than 30% slope from the more restricted HLO floor area. Staff recommends that the Council add language to the zoning code to make it clear that the slope formula does not apply to lots with less than 30% slope. That matter will be brought to the Council in January for introduction with adoption in February. Staff asked the Council to provide feedback to the applicant, but no action can be taken tonight because it requires a floor area variance.

Council Member Russell requested that Ross residents Beth Minick and Judy McMillan be informed about the HLO January and February meetings since they led the charge. Senior Planner Semonian responded in the affirmative.

Council Member Small asked staff if they could consider a second tier next year. Town Manager Braulik explained after the first of the year it is anticipated the Council and the Finance Committee will meet and confer with the Ross Police Officers Association (RPOA) to discuss the new MOU (*memorandum of understanding*) document.

Mayor Russell opened the public hearing on this item, and seeing no one wishing to speak, the Mayor closed the public portion and brought the matter back to the Council for discussion and action.

The Council agreed to pass a resolution of intention to enact a new lower cost retirement tier for miscellaneous members in the CalPERS system. This new tier will reduce future costs for the Town while enabling the Town to recruit qualified staff in the future. This action is one of a series where the Council has taken steps to reduce legacy Town costs.

Mayor Russell asked for a motion.

Council Member Small moved and Mayor Pro Tempore Kuhl seconded, to adopt Resolution No. 1800, a Resolution of Intention establishing a new California Public Employees Retirement System (CalPERS) retirement tier for the Miscellaneous members. Motion carried unanimously. Hoertkorn absent.

18. **No Action Items:**
- a. **Council correspondence received - None**
 - b. **Future Council items - None**

Town Attorney Greg Stepanicich left the Town Council meeting at 9:34 p.m.

Public Hearings on Planning Applications.

- 19. **49 Glenwood Avenue, Extension of Time for Variance and Design Review No. 1781**
John and Michelle Battelle, 49 Glenwood Avenue, A.P. No. 73-071-05, R-1:B-A (Single Family Residential, 1-acre min. lot size), Very Low Density (.1-1 Unit/Acre). Request for a two-year time extension to December 9, 2013, for a project approved December 9, 2010, for variances and design review to allow the following: 1.) new 6 foot tall entry gate and stone columns, to be located 10 feet further south on Glenwood Avenue; 2.) demolition of the pool cabana and pool equipment buildings and construction of a new 1,038 square foot, single story, pool cabana/office with a roof deck; 3.) pool area improvements including reconstruction of the pool, pool patio, and a new spa area partially within the north side yard setback (25 feet required, 12 feet proposed); and 4.) areas of solid fencing near the pool area (4 feet permitted, 6 feet proposed). Total floor area of 8,390 square feet is proposed.

Lot area	47,400 sq. ft.	
Existing Floor Area	17.7%	
Proposed Floor Area	17.7%	(15% permitted)

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Existing Lot Coverage	12.7%	
Proposed Lot Coverage	12.6%	(15% permitted)
Existing Impervious Areas	41.8%	
Proposed Impervious Areas	31.1%	

The existing residence and pool area are nonconforming in setbacks.

Senior Planner Elise Semonian summarized the staff report and recommended that the Council approve the requested time extension with the findings in the original approval dated December 9, 2010 and subject to the findings and conditions outlined in the staff report and the amended conditions provided to the Town Council.

Council Member Small pointed out that the typical home is not that large, so these two major projects created extended periods of time of construction that most neighborhoods have not had to experience. Most neighborhoods could not manage properties that large, so it is unique in this neighborhood.

Ed Blankenship, architect, accepted the revised conditions proposed by staff. He thanked the neighborhood and indicated that they have been wonderful through this difficult process. Phase One was a difficult construction project as the driveway reconstruction prevented the main residence, located a great distance from Glenwood Avenue from being accessed by automobile especially during the winter months. After Phase One was complete, the Battelle's elected to place the cabana reconstruction on hold so they could enjoy the remainder of the summer. The project is pretty much finalized from the point of the driveway up. In terms of the timeframe, speaking with staff, he thought once they stopped their project and finalized out there is a nine month cooling off period. The project is not that extensive at this point. It is the cabana and pool, which could be done within the timeframe left.

Mayor Russell opened the public hearing on this item.

Bob Dickinson, Glenwood Avenue resident, stated that the first priority is that total construction time not exceed 18 months; that construction be consecutive and finish as soon as possible; and remaining construction not take place over the summer, including August. There are contractual obligations. Condition No. 10 refers to the "Proposed Job Site conditions" and under Item A No. 5 reads, "No construction or landscaping shall be permitted beyond 18 months from the start of the project." This is a term that the applicant, Town and affected neighbors agreed to at the December 9, 2010 Town Council meeting. In a meeting with staff on Monday morning, staff admitted that a violation of conditions of approval is not allowed, and in a sense, it is like a contract. During his phone conversation with Council Member Small on Wednesday morning, she acknowledged that this term is a contractual commitment. The Town has a contract, a contractual obligation. The way this extension currently reads as proposed does not specify that the applicant cannot do construction during that entire time, so he did not believe the Council can approve the extension as written. In addition, it is important that the Town not allow the applicant to simply close out the current permit, wait nine months, reapply and get an additional 18 months of construction time. That violates the Town's contract with the neighbors. The proposal established by staff is wonderful, which tries to make this work for everybody. No

other project in Town has this condition. Therefore, the Council should not be allowed to do what it normally does, let an applicant go beyond the deadline and ask them to pay fines, which is a conflict of interest because it does not represent the rights of the affected neighbors. There are two reasons why this condition is in place, one is construction fatigue. He appreciated page 4 of the staff report where staff listed all the related construction projects in the area, but four projects were left out that were outside of the planning jurisdiction. 36 Glenwood, before the Pritzker's moved in, a two year construction project occurred that involved tearing out a pool house and rebuilding it so their daughter could get married. 37 Upper Road remodeled their home, pool and patio. 20 Upper Road remodeled their kitchen, master bedroom and bath. They have construction fatigue. In the 13 years he has lived at his residence, construction has been going on within one or two properties of his home 72% of the time. Each of the last seven consecutive summers they heard back up beepers from construction equipment and had to deal with dust. This is not like any other construction project. He asked the Council to strongly consider the proposal on the table since the Town has not managed the project successfully. He expects a compromise, but demanded that the Town enforce the contractual obligations to which it agreed, which is when the 18 months are up it is done, no more construction relative to this project. He agreed with staff's proposal and asked the Council to consider a couple of points. First, the permit was issued on September 26, 2011. Phase One work was completed on August 14, 2012. In an email, staff indicated March 22, 2012, which would mean current construction only has gone on for six months which is not true. Landscaping was still going on in July and the clause includes landscaping. The applicant has eight months left, not nine months. Also, he believed the work should not involve June, July or August. He recommended, given the Town must stop construction after 18 total months, there should be a check-in within three months to go. When 18 months are up, he is done. Finally, there must be reference to compliance with the original job conditions of August 2010. If the Council can agree, he believed that is a reasonable compromise. If the Council is not willing to agree, then he stands by the original contractual obligation and the existing permit.

Elizabeth Patterson, Ross resident, expressed concern for construction fatigue as discussed by Mr. Dickinson. She agreed with the idea of no construction during the summer months due to the dust and noise. Her main concern is maintaining privacy and views toward the mountain. She further hopes there is a real focus on adequate screening.

Diane Doodha, Redwood resident, pointed out that their neighborhood experienced the most unusual construction that Ross has entertained. Many residents do not go through a situation where steel is used for the framework of the house. The construction that has occurred in their neighborhood would occur in downtown San Francisco. It is just not about being outside in the pool area, it is being able to open a window, which takes away from their quality of life. It is very frustrating and has been a huge event for three years.

There being no further public testimony on this item, the Mayor closed the public portion and brought the matter back to the Council for discussion and action.

Architect Blankenship discussed timing and believed the August date is when they realized they were starting the finalization process of Phase One. Now it is November, three months later and they are still not finalized formally. Construction can be done in the timeframe being discussed,

but the actual paperwork and finalization could take longer.

Council Member Small believed it is important to stress to applicants that when they pull a permit it is never their intent to collect construction penalties. It is their intent that they finish the job in 18 months. It is an impact on the Town and residents. She suggested some type of teachable moment. The Town may make income, but neighbors are impacted in a negative way and it should not be a money maker for the Town. She fully supports incorporating the revised conditions and reducing the allotted construction time to eight months rather than nine months with no construction allowed during the summer months, including August.

Council Member Brekhus is very sympathetic to the neighborhood in regard to the steel construction. When money does not matter, construction penalties do not matter. It is a reasonable approach as a deterrent for the Town to take. She agreed with the conditions with respect to privacy, reducing the construction time to eight months, and include August in regard to no construction during the summer months.

Senior Planner Semonian suggested striking language from the Addendum in regard to Condition No. 15 as follows: *"Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion."*

Mayor Russell asked for a motion.

Council Member Small moved and Council Member Brekhus seconded, to approve the project at 49 Glenwood Avenue, Extension of Time for Variance and Design Review No. 1781 subject to all the findings and conditions; including the originally approval dated December 9, 2010; and the revised recommendation provided by staff with the following adjustments: delete the following language from the Addendum under Condition No. 15, *"Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion;"* construction of this project shall be limited to eight months of construction time, not nine months; and construction shall not take place during the summer months of June, July and August, including the cooling off period, which means construction cannot start until September 2013. Motion carried unanimously. Hoertkorn absent.

49 Glenwood Avenue - Conditions:

1. The following conditions shall be reproduced on the first page(s) of the project plans:
2. The project shall be constructed in substantial conformance with the plans dated 11/15/10, on file with the Planning Department.
3. An encroachment permit shall be required prior to any work within the Town right-of-way. The owner must maintain the culvert under the driveway and shall replace and enlarge it if necessary.
4. The project shall comply with the Town stormwater ordinance (Chapter 15.54) and a drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application that results in, at a minimum, no net increase in the rate and volume of peak runoff at the site compared to pre-project (pre 2010) conditions. The

applicant is encouraged to use low impact development techniques such as sloping the driveway to drain towards landscaped areas, to minimize site runoff. The Town will provide a minimum 2-week comment period for interested neighbors and shall consider neighbor comments in its review and approval of the drainage plan.

5. The new landscaping shown on the pool house/office roof deck, as well as the screening landscaping proposed between the pool and north property line, shall be maintained to screen the pool house/office structure and the roof deck, but at a level that does not obstruct neighbor views of Mt. Tamalpais, for the life of the structure, unless otherwise approved by the Town Council or agreed to by the owners of 51 Glenwood Avenue.
6. All costs for town consultant, such as the town hydrologist, review of the project shall be paid prior to building permit issuance. Any additional costs incurred to inspect or review the project shall be paid as incurred and prior to project final.
7. The applicants shall pay required Town fees of \$3 for every cubic yard of off-haul resulting from this project. Final off-haul amounts shall be calculated by the project civil engineer with calculations submitted to the Director of Public Works prior to the issuance of a building permit.
8. Any exterior lighting shall be submitted for the review and approval of planning department staff. Lighting shall be shielded and directed downward. Exterior lighting of landscaping by any means shall not be permitted if it creates glare or annoyance for adjacent property owners. Lighting expressly designed to light the pool house deck, exterior walls or fences that is visible from adjacent properties or public right-of-ways is prohibited.
9. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Prior to the issuance of a building permit, the owner or general contractor shall submit a complete list of contractors, subcontractors, architects, engineers and any other people providing project services within the Town, including names, addresses and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
10. A detailed construction and traffic management plan, including a site plan, shall be submitted for the review and approval of the Building Official and Planning Department prior to the issuance of a building permit. The plans shall include details on construction parking; material, equipment and waste storage; vehicle and equipment maintenance areas; portable restrooms; washout areas; delivery and truck parking; construction scheduling; and other information as required by the town. The Town will provide a minimum 2-week comment period for interested neighbors and shall consider neighbor comments in its review and approval.
11. The applicant (which includes, but is not limited to, the applicant, their contractors, subcontractors, suppliers and consultants) shall follow the "Proposed Job Site Conditions for Subcontractors, Suppliers & Consultants, 49 Glenwood, Ross, CA 94957" submitted at the August 2010 Advisory Design Review Group meeting, provided to the applicant, and in the planning file. The rules shall be reproduced on the plans.
12. The project owners and contractors shall be responsible for maintaining all roadways and right-of-ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately.
13. Applicants shall comply with all requirements of the Marin Municipal Water District and

- the Ross Valley Sanitary District.
14. Except as otherwise noted in these conditions, landscaping shall be installed in conformance with the approved landscape plan prior to project final. Prior to project final, the applicants shall submit written evidence to planning department staff that confirms the landscaping complies with the current Marin Municipal Water District water conserving landscape ordinance, or is exempt from their requirements.
 15. This project shall comply with all requirements of the Fire Code.
 16. This project is subject to a special construction completion time limit set by the Town Council since the applicant has broken up the project into two phases, one of which has been completed. Construction of this project shall be limited to 8 months of construction time. Construction shall not take place during the summer months of August, June and July. The applicant shall submit a detailed construction schedule demonstrating how all construction activities, including final landscaping, shall take place within 8 months of permit issuance. Construction shall be complete upon the final performance of all construction work, including: exterior repairs and remodeling; total compliance with all conditions of application approval, including required landscaping; and the clearing and cleaning of all construction-related materials and debris from the site. Construction completion penalties shall not accrue after the construction completion date, but the Town shall place a stop work order on the site and no further work shall be permitted after that date.
 17. The Town Council reserves the right to require additional landscape screening for up to three (3) years from project final.
 18. No changes from the approved plans, before or after project final, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner for review and approval prior to any change.
 19. Failure to secure required building permits and/or begin construction by December 9, 2013 will cause the approval to lapse without further notice.
 20. Failure to comply in any respect with the conditions or approved plans constitutes grounds for the town to immediately stop work related to the noncompliance until the matter is resolved. (RMC §18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law.
 21. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense; however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

Council Member Brekhus recused herself from the next agenda item in order to avoid the appearance of a conflict.

20. 73 Winship Avenue, Variance, Design Review and Demolition Permit No. 1890

Brian and Erica Hunt, 73 Winship Avenue, A.P. No. 72-162-15, R-1:B-A (Single Family Residence, 1 acre minimum lot size), Very Low Density (.1-1 units per acre). Design review, variances and demolition permit for modifications to the cottage east of the main residence. The project includes roof reconstruction and window replacement on each elevation and an interior remodel. The applicants also request design review to demolish the carport structure and replace it with a garage/storage structure of similar size and height. No modifications to the primary residence or landscaping will be considered at this public hearing.

Gross Lot Area	58,000 square feet
Lot Area (less Ivy road easement)	49,850 square feet
Existing Floor Area Ratio	20.3%
Proposed Floor Area Ratio	20.3% (15% permitted)
Existing Lot Coverage	15.9%
Proposed Lot Coverage	15.9% (15% permitted)
Existing/Proposed Impervious Surfaces	no change

Senior Planner Elise Semonian summarized the staff report and recommended that the Council approve the remodel of the cottage only subject to the findings and conditions outlined in the staff report, and continue the request for the garage in order to be reviewed further.

Brian Hunt, applicant, explained that this is a structure they want to repair. They want to enclose the openings with garage doors. This is a building from the 1930s and needs some substantial repair. The garage also provides a nice buffer between the cottage and main house. The garage is not a very visible structure and they hope to start construction on the two structures.

Council Member Small supported the staff report in regards to the cottage and supported staff's thoughts in regard to the garage.

Mayor Pro Tempore Kuhl agreed with staff's recommendation. It is unrealistic to think the garage structure can be repaired.

Mr. Hunt has been restoring Victorian's in San Francisco for 25 years. There was great response from the Advisory Design Review (ADR) Group about this project. Senior Planner Semonian indicated that it is very simple in design, but it depends on the materials used. Mayor Pro Tempore Kuhl is willing to trust Mr. Hunt that it will be more than adequate for the Town.

Mayor Russell opened the public hearing on this item, and seeing no one wishing to speak, the Mayor closed the public portion and brought the matter back to the Council for discussion and action.

Council Member Small noted that this is a major investment and she cannot imagine that Mr. Hunt would not do justice to this structure. Senior Planner Semonian desired more carriage style doors, so details can be worked out with the applicant. Mr. Hunt desired engineering to be completed before he pulls permits. Mayor Russell suggested adding a condition that the doors

ATTACHMENT 5

MINUTES
Meeting of the
Ross Advisory Design Review Group

Tuesday, February 25, 2020

1. 7:04 p.m. Commencement

Mark Fritts called the meeting to order. Stephen Sutro and Dan Winey were present. Josefa Buckingham and Mark Kruttschnitt was absent. Planner Matthew Weintraub representing staff was present.

2. Open Time for Public Comments

Beach Kuhl provided information regarding PG&E power line work in response to ADR Group Member Winey's question.

3. Old Business – None.

4. New Business

a. Zelaya Residence – 49 Glenwood Avenue

Planner Weintraub provided a brief introduction of the project. Project Architect Stuart Summers described the project including existing nonconforming conditions and neighborhood outreach. Robert Dickinson, owner of the adjacent property at 41 Glenwood Avenue, provided the following comments:

- He supports the project in concept and is appreciative of Mr. Summers for providing project plans and explaining the project.
- He was satisfied with Mr. Summers' explanation that the project would not increase surface runoff to the south toward 41 Glenwood Avenue.
- He was satisfied with Mr. Summers' explanation that the pool deck area would not be used as a "party" area. Mr. Dickinson was concerned with lines of sight which may be affected by any future building construction in the pool deck area.
- He was satisfied with Mr. Summers' explanation that the pool equipment noise would be sufficiently attenuated by location and topography. He preferred that the parking area not be located closer than existing to 41 Glenwood Avenue.

Briana Zelaya, owner of the subject property at 49 Glenwood Avenue, stated that she would like to minimize the walking distance between the parking area and the residence for child safety reasons. Mr. Summers indicated that it may be possible to adjust the location of the parking area to avoid being closer to 41 Glenwood Avenue. Frank Doodha, owner of the nearby property at 23 Glenwood Avenue, stated that any outdoor conversation noise generally travels easily in the area and can be overheard at nearby properties.

ADR Group Member Winey provided the following comments:

- He noted that removal of the existing pool buildings would result in a reduction of floor area.
- He prefers to know the envelope of any proposed new building in the pool area.
- He recommended pulling back the boundary between the asphalt driveway and “turf block” parking pavers, such that the driveway boundary follows a more regular curvilinear path, and the apron connecting the driveway to the parking spaces is comprised of pavers that match the parking area.
- He recommended that the pool equipment be enclosed.
- He recommended investigating the physical condition of the retaining walls around the pool, which may need to be replaced rather than repaired.
- He suggested installing a PVC French drain for site drainage.
- He noted that the existing residence is the result of numerous additions over periods of time. He suggested that the current project is an opportunity to improve the rear elevation fenestration by making the proportions and divisions more consistent. Ms. Zelaya responded that the owners are trying to maintain the “spirit” of the existing house while improving/modernizing.

ADR Group Member Fritts provided the following comments:

- He asked if pool and/or landscape lighting was proposed and recommended that lighting fixture specifications be added to the project plans.
- He recommended enclosing or “bunkering” the pool equipment.
- He agreed that the current project is an opportunity to improve the rear elevation fenestration by making the proportions and divisions more consistent.
- He described the proposed building modifications as improving the property.

ADR Group Member Sutro provided the following comments:

- He noted inconsistencies on project plan sheets regarding the location/boundary of the proposed pool patio. He stated that the patio should generally not be expanded within setbacks unless there is neighbor support and no public objections. Mr. Summers replied that he would resolve the plan inconsistencies and avoid setback encroachment.
- He described the proposed building improvements as “healing” the building to some extent.

ADR Group Member Buckingham submitted the following comments in writing which were entered into the record by ADR Group Member Fritts:

- She supported the removal of the existing architecturally noncongruent pool buildings.
- She was concerned about the proposed expanse of hardscape and recommended visual screening from Willow Hill Avenue with green landscaping.
- She recommended that the proposed “turf block” pavers be suitable for residential use and not have a commercial appearance.
- She supported the residential additions at the rear elevation. She recommended rehabilitating the rear elevation with historically accurate fenestration for consistency with the south elevation, which appears to be mostly original.

Regarding the proposed reconstruction of the rear accessory building which is nonconforming with regards to required side and rear yard setbacks, ADR Group Members Buckingham and Fritts stated that they supported the proposed relocation within the required yard setbacks, but they did not support expanding or enlarging the existing rear accessory building which would exacerbate an existing nonconformity. Group Members Sutro and Winey did not have an issue with reconstruction of the rear accessory building as proposed.

Mr. Summers stated that the ADR Group recommendations will be considered and incorporated into the project plans including any necessary revisions.

ADR Group Member Fritts stated that the project did not require further review by the ADR Group. He closed the hearing.

b. Coan-Delgado Residence – 4 Willow Hill Road

Planner Weintraub provided a brief introduction of the project. Project Architect Charles Theobald described the project including existing nonconforming conditions. No members of the public spoke on the project.

ADR Group Member Winey provided the following comments:

- The proposed addition resolves existing “funky” roof conditions. The proposed materials and colors match the existing residence.
- He recommended adding a window at the south elevation upper story for consistent fenestration pattern and to fill a wall expanse.
- He recommended that the existing air conditioner unit not be installed at the new side elevation.
- He indicated that the existing rooftop chimney/vent enclosure provided visual interest and balance to the roof form and could be retained if desired.

ADR Group Member Fritts provided the following comments:

- He agreed with ADR Group Member Winey’s comments regarding the merits of adding a window to the south elevation upper story and removing the air conditioner unit from the side elevation.

ADR Group Member Sutro provided the following comments:

- He stated that the proposed design looks great. He noted that the proposed new bedrooms are small which is a function of the existing structure.

ADR Group Member Buckingham submitted the following comments in writing which were entered into the record by ADR Group Member Fritts:

- She noted that “the front elevation remains unresolved, particularly the section directly above the front door”. She recommended a façade treatment to address the “flat, windowless expanse of shingles” at the south elevation upper story.
- She recommended relocating the air conditioner unit away from neighbors and out of sight.

Mr. Theobald replied that he would investigate revising the south elevation upper story fenestration/façade treatment, which could affect the interior plan, and relocating and/or omitting the exterior air conditioner unit to address the ADR Group comments.

There was a brief discussion of permitting requirements for solar energy systems, which is not proposed by the project.

ADR Group Member Fritts stated that the project did not require further review by the ADR Group. He closed the hearing.

5. Communications

- a. **Staff** – Planner Weintraub provided information on ADR Group 2020 Meeting dates and Member availability.
- b. **Advisory Design Review Group** – ADR Group Members provided updates regarding Member availability.

6. Approval of Minutes – October 25, 2020

ADR Group Member Fritts made a motion to approve the minutes. The motion was seconded by ADR Group Member Winey. The minutes were approved by a vote of 3-0.

ADR Group Member Fritts made a motion to adjourn the meeting. The motion was seconded by ADR Group Member Winey. The meeting was adjourned at 8:10 PM by a vote of 3-0.

ATTACHMENT 6



RECEIVED
Planning Department

September 9, 2019

Town of Ross
Planning Department
31 Sir Francis Drake Boulevard
Ross, CA 94957

SEP 11 2019

Town of Ross

Re: Zelaya Residence
49 Glenwood Avenue
Ross, CA 94904
AP# 073-071-05

Neighbor Outreach Plan

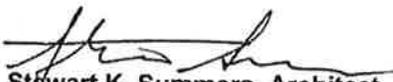
We have reached out to the following adjacent neighbor who is likely the only neighbor who would be able to see the proposed project from a portion of their property.

- 51 Glenwood Avenue. Liebe Patterson Contacted via email on 9/5/19

Subsequent to submission for Design Review/Non Conformity Permit. We will attempt to reach out to all neighbors directly adjacent to the property. Those neighbors will include:

- 41 Glenwood Avenue. Robert Dickonson
- 36 Glenwood Avenue.
- 36 Upper Road. Merritt and Pamela Sher

Given the lack of impacts to all adjacent neighbors due the seclusion of 49 Glenwood, we do not anticipate any concerns, however will make every effort to mitigate any that arise through the process.


Stewart K. Summers, Architect
SKS Architects



RECEIVED
Planning Department

SEP 11 2019

Town of Ross

Zelaya Residence
49 Glenwood Avenue
Ross, CA 94904
AP# 073-071-05

Neighbor Outreach Letter to:

- 51 Glenwood Avenue. Liebe Patterson Contacted via email on 9/5/19
- 41 Glenwood Avenue. Robert Dickonson
- 36 Glenwood Avenue.
- 36 Upper Road. Merritt and Pamela Sher

Dear Neighbor

My name is Stewart Summers. I'm that architect for your neighbors Miguel and Briana Zelaya at 49 Glenwood Avenue. On behalf of the Zelaya's, I am preparing to submit a project for Design Review to the Town of Ross. The project has two components.

1. They plan on making a minor alteration at the rear of the existing house that should not be visible from your property. It will essentially result in a minor roof change at a rear dormer. This requires a planning review due to the rear setback. The existing dormers roof will be raised approximately 18 inches and incorporate an extension of the existing flat roof at the rear of the house.
2. They plan on demolishing and replacing the existing pool house structure. In 2011, a plan to replace the pools structures was approved and permitted by the former owner. The owner elected not to complete that project. We are proposing a new design that we feel is modest in comparison to the prior permitted project. Our building is 304 sq. ft. smaller than the prior design. Our building is approximately 2'-9" lower than the prior design at 13'-8" at its highest roof. There is no roof deck/garden as proposed before which could create privacy issues. We are not proposing a new pool. Essentially, we are proposing a replacement of the pool house with a structure that is far more appropriate than the prior design and is designed more in keeping with the property. Other associated landscape improvements will be part of the project.

I wanted to reach out to show you what is being proposed and assess if you have any concerns whatsoever. The Zelaya's are a wonderful family getting ready to make this property their own to raise their young family. I'm available to meet with you anytime to show you what we have planned. I think you'll be pleased with the design and find it appropriate. We will certainly consider any concerns you may have.

Thanks for your time. I look forward to chatting.


Stewart K. Summers, Architect
SKS Architects