



Agenda Item No. 14.

Staff Report

Date: May 14, 2020

To: Mayor McMillan and Council Members

From: Matthew Weintraub, Planner

Subject: Coan & Delgado Residence, 4 Willow Hill Road, File No. DRP20-0002

Recommendation

Town Council approval of Resolution No. 2157 approving a Nonconformity Permit and Design Review to allow for an existing third story to be extended and enlarged and the installation of a new driveway entry gate at the existing single-family residence.

Property Information

Owner: Jack Coan & Martha Delgado
Design Professional: Charles Theobald, Architect
Location: 4 Willow Hill Road
A.P. Number: 073-252-14
Zoning: Northern Portion of Lot: Single Family Residence/Special Building Site, 1-Acre Minimum Lot Size (R-1:B-A);
Southern Portion of Lot: Single Family Residence/Special Building Site, 5-Acre Minimum Lot Size (R-1:B-5A)
General Plan: Very Low Density – 0.1-1 Unit/Acre (VL)
Flood Zone: X (Minimal risk area outside the 1% and 0.2%-annual-chance floodplains)

Project Summary

PROJECT ITEM	ALLOWED BY CODE	EXISTING	PROPOSED
Lot Area	1 Acre min. (northern)	50,098 sq. ft.	No change
	5 Acre min. (southern)		
Floor Area	7,514 sq. ft. (15%) max.	4,792 sq. ft. (9.6%)	5,057 sq. ft. (10.1%)
Building Coverage	7,514 sq. ft. (15%) max.	3,396 sq. ft. (3.9%)	No change

PROJECT ITEM	ALLOWED BY CODE	EXISTING	PROPOSED
Impervious Surfaces	Not specified	Not specified	No change
Front Setback	25 feet min.	27'-8"	No change
East Side Setback	25 feet min.	31 feet	No change
West Side Setback	25 feet min.	41 feet	No change
Rear Setback	40 feet min.	42 feet	No change
Building Height	30 feet/2 stories max.	34'-8-¼"/3 stories	No change
Parking Spaces	4 (2 covered) min.	4 (2 covered)	No change

Project Description

The applicant is requesting approval of a proposed upper-story addition to the existing legal nonconforming residence and the installation of a new entry gate at 4 Willow Hill Road. A Nonconformity Permit is required in order to allow for the existing residence which is nonconforming with regards to maximum allowed building height to be enlarged, extended, and structurally altered, without increasing the existing building height. Design Review is required in order to allow for exterior remodeling resulting in an addition exceeding 200 square feet of new floor area and a new gate greater than 48 inches in height in a yard adjacent to the street or right-of-way.

The proposed project includes a 265-square-foot, two-bedroom upper story addition which would extend the existing third-story gable on top of the existing second story. The existing third-story gable to be extended is legal nonconforming with respect to the maximum of two stories, while conforming to the maximum allowed building height of 30 feet. The extended gable would maintain and not exceed the existing gable ridge height of 23'-0-¼" as measured to grade directly below. (At the north elevation, the existing residence has an overall legal nonconforming building height of 34'-8-¼", which is the greatest vertical distance between an existing roof point and the grade directly below, and which would not be exacerbated by the addition.) At the existing north elevation basement level, two new windows are proposed. The proposed project also includes a new driveway entry gate with a maximum height of 4'-10", which would be set back approximately 18 feet from the driveway entrance in order to allow vehicles to be clear of Willow Hill Road when stopped at the gate.

The proposed project materials and colors would include the following to match existing:

- Cedar shingles, solid stain
- Wood trim, white
- Asphalt shingle roofing, grey
- Copper gutters and downspouts
- Metal gate, white
- Fieldstone masonry columns

The Project Plans are included as **Attachment 2**. The applicant's Project Description is included as **Attachment 3**.

The proposed project is subject to the following permit approvals:

- **Nonconformity Permit is required pursuant to Ross Municipal Code (RMC) Section 18.52.030 (c)** because the proposed improvements would enlarge, extend, reconstruct, or structurally alter an existing residential structure which is legal nonconforming with respect to the maximum allowed building height, without increasing the existing building height of the legal nonconforming structure.
- **Design Review is required pursuant to Ross Municipal Code (RMC) Section 18.41.020** because the proposed improvements would involve exterior remodeling resulting in an addition, extension or enlargement to an existing building exceeding 200 square feet of new floor area, and a new gate greater than 48 inches in height in a yard adjacent to the street or right-of-way.

Background

The project site is a 50,098-square-foot (net area excluding vehicular easements) lot with an irregular shape. It has frontage on Madrona Avenue; however, it takes access from Willow Hill Road, which runs through the property, and which serves other nearby properties. The property generally rises upward towards the south with an average slope of approximately 29%. The existing residence is legal nonconforming relative to the maximum allowed building height. The Project History is included as **Attachment 4**.

Advisory Design Review

The Advisory Design Review (ADR) Group reviewed the project on February 25, 2020 (see **Attachment 7**). The scope of the ADR Group review entailed the proposed new building mass, rooflines, architectural elevations including exterior materials and fenestration, and the new entry gate design. At the February 25, 2020 meeting, the ADR Group Members recommended minor design revisions that included adding a window to the proposed new wall surface above the main entrance at the south elevation, and omitting a proposed HVAC wall unit at the new west elevation. In response, the applicant revised the project design to address the comments of the ADR Group Members by proposing to add a small window above the main entrance at the south elevation and by omitting the proposed HVAC wall unit. The ADR Group Members recommended that the project design was consistent with the Design Review Criteria and Standards per RMC Section 18.41.100 and the Town of Ross Design Guidelines including the following specific guidelines:

- 4.30 Design a gate to be a continuation of and complement to street edge landscaping.
 - Coordinate the gate with the style, scale and materials of the street edge, as well as the architecture of the home
- 5.6 Design a roof to be consistent with the overall architectural design and detailing

of the structure.

- Use angles, pitches and materials that coordinate with a building's overall design.

5.22 Use detailing to create interest and provide a sense of scale. Appropriate techniques include:

- Accent lines
- Ornamentation
- Color/material change
- Minor wall offsets
- Eaves and overhangs
- Window and door framing details
- Exterior or building lighting

The project design presented to the Town Council implements the recommendations made by the ADR Group, including the revisions recommended at the February 25, 2020 meeting.

Key Issues

Design Review

The overall purpose of Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development.

Consistent with the ADR Group discussion and support, staff suggests the requisite findings can be achieved. The project is in keeping with Design Review criteria and standards including those related to mass and bulk, rooflines, materials, neighborhood compatibility, and environmental sensitivity. The project's size and design are consistent with the existing residence and with the development pattern of existing homes located within the vicinity of the project site. The project would be sufficiently distanced from the adjacent neighbor's properties and would not adversely impact any light, air, and/or privacy associated with the surrounding properties due to the project design and site orientation. The project would not impact any unique environmental resources.

Nonconforming Building Height

The overall purpose of a Nonconformity Permit is to allow for the continued existence, reconstruction and modification of nonconforming residential structures. The intent is to protect those buildings that contribute to the Town's small town character; to permit floor area nonconformities to be retained on site redevelopment where the design is appropriate; and to allow other nonconformities to be maintained when reasonable and where they create the same or fewer impacts than strict conformance with Town regulations. Nonconforming structures in a residential zoning district may be enlarged, extended, reconstructed or structurally altered with a Nonconformity Permit, except that a floor area ratio variance shall be required to increase the square feet of nonconforming floor area.

Staff suggests the project is in keeping with the purpose and mandatory findings for a Nonconformity Permit related to the existing nonconforming building height. Specifically, the Nonconformity Permit would allow for the extension an expansion of an existing nonconforming third story while maintaining and not increasing the existing building height above grade, which complies with the maximum allowed building height of 30 feet in the location of the addition. The project would not exacerbate or affect the portion of the existing building with nonconforming building height greater than 30 feet at the north elevation.

Public Comment

Public Notices were mailed to property owners within 300 feet of the project site. As of the writing of the staff report, no public comments have been received.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

Alternative actions

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of minor alteration to an existing private structure involving negligible or no expansion of use. Specifically, the project is exempt under subsection (e) (1) as an addition to an existing structure that is no more than 50% of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. No exception set forth in CEQA Guidelines Section 15300.2 applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources; Subsection (b), which

relates to cumulative impacts; Subsection (c), which relates to unusual circumstances; or Subsection (f), which relates to historical resources.

Attachments

1. Resolution No. 2157
2. Project Plans
3. Project Description
4. Project History
5. ADR Group Meeting Minutes from February 25, 2020 (Draft)
6. Neighborhood Outreach

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2157

A RESOLUTION OF THE TOWN OF ROSS APPROVING A NONCONFORMITY PERMIT AND DESIGN REVIEW TO ALLOW FOR AN EXISTING THIRD STORY TO BE EXTENDED AND EXPANDED AND THE INSTALLATION OF A NEW DRIVEWAY ENTRY GATE AT 4 WILLOW HILL ROAD, APN 073-252-14

WHEREAS, property owners Jack Coan and Martha Delgado have submitted an application requesting approval of a Nonconformity Permit and Design Review to allow for an existing third story to be extended and enlarged and the installation of a new driveway entry gate at the existing single-family residence (herein referred to as “the project”) at 4 Willow Hill Road, APN 073-252-14.

WHEREAS, the project was determined to be categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Existing Facilities), because it consists of minor alteration to an existing private structure involving negligible or no expansion of use. Specifically, the project is exempt under subsection (e) (1) as an addition to an existing structure that is no more than 50% of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. No exception set forth in CEQA Guidelines Section 15300.2 applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources; Subsection (b), which relates to cumulative impacts; Subsection (c), which relates to unusual circumstances; or Subsection (f), which relates to historical resources; and

WHEREAS, on May 14, 2020, the Town Council held a duly noticed public hearing to consider the project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A”, and approves a Nonconformity Permit and Design Review to allow the project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 14th day of May 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Julie McMillan, Mayor

ATTEST:

Linda Lopez, Town Clerk

EXHIBIT "A"
FINDINGS
4 WILLOW HILL ROAD
APN 073-252-14

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.52.040 (f), Nonconformity Permit is approved based on the following mandatory findings:

- a) The nonconforming structure was in existence at the time the ordinance that now prohibits the structure was passed. The structure must have been lawful when constructed. The property owner has the burden to prove by substantial evidence the nonconforming and legal status of the structure.**

The nonconforming third story was lawfully constructed as an addition to an existing residence by approval of a Variance on May 11, 2000.

- b) The town council can make the findings required to approve any required demolition permit for the structure: The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.**

A demolition permit is not required pursuant to per RMC Chapter 18.50.

- c) The project substantially conforms to relevant design review criteria and standards in Section 18.41.100, even if design review is not required.**

As described in the Design Review findings in Section II below, the project is consistent with the Design Review criteria and standards per RMC Section 18.41.100.

- d) Total floor area does not exceed the greater of: a) the total floor area of the existing conforming and/or legal nonconforming structure(s); or b) the maximum floor area permitted for the lot under current zoning regulations. The town shall apply the definition of floor area in effect at the time of the application for a nonconformity permit.**

The project would result in a net addition to floor area such that the new total floor area of 5,057 square feet (10.1% FAR) would not exceed the maximum allowable floor area of 7,514 square feet (15% FAR) as required by the Zoning.

- e) Granting the permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.**

The project would be sufficiently distanced from the adjacent neighbor's properties and would not adversely impact any light, air, and/or privacy associated with the surrounding properties due to the project design and site orientation. The project would not impact any unique environmental resources.

f) The project will comply with the Flood Damage Prevention regulations in Chapter 15.36.

The property is not located within a special flood hazard area (SFHA) which would be subject to the Flood Damage Prevention regulations in RMC Chapter 15.36, and therefore it complies.

g) The fire chief has confirmed that the site has adequate access and water supply for firefighting purposes, or that the project includes alternate measures approved by the fire chief.

The Marin County Fire District has reviewed and approved the project, including with respect to adequate access and water supply for firefighting purposes.

h) The applicant has agreed in writing to the indemnification provision in Section 18.40.180.

Condition of Approval No. 10 requires indemnification pursuant to RMC Section 18.40.180. At the time that the applicant submits a building permit application with authorizing signatures subject to this Resolution and attached Conditions of Approval, the applicant will have agreed in writing to being subject to the indemnification provision.

i) The site has adequate parking. For purposes of this section, adequate parking shall mean that the site complies with at least the minimum number of parking spaces required for the zoning district (covered or not covered). If the site does not comply with the covered parking requirement, the Town Council may require covered parking to be provided. The Town Council may consider the size of the residence and number of bedrooms and may require additional parking up to the following:

Total site floor area (excluding covered parking)	Required off street parking
1,300 square feet to 3,300 square feet	3 spaces
Over 3,300 square feet	4 spaces

The project site currently contains four off-street parking spaces including two covered spaces, which meets the minimum required off-street parking as required by the Zoning. No change to the existing parking configuration is proposed.

II. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following special conditions and findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in

Ross Municipal Code Section 18.41.010.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies and criteria of the Ross general plan.

b) The project is in substantial compliance with the design criteria of Ross Municipal Code Section 18.41.100.

The project provides an architectural design that is consistent with the architecture, materials, and colors of the existing residence and that is compatible with nearby residences in the vicinity of the project. The project is also compatible in mass, bulk, and rooflines to existing development patterns in the neighborhood. The project would be sufficiently distanced from the adjacent neighbor's properties and would not adversely impact any light, air, and/or privacy associated with the surrounding properties due to the project design and site orientation. The project would address health and safety through the issuance of a building permit to ensure compliance with the building, public works, and fire code regulations.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan and the zoning regulations, therefore the project is found to be consistent with the Ross General Plan and Zoning Ordinance.

EXHIBIT "B"
CONDITIONS OF APPROVAL
4 WILLOW HILL ROAD
APN 073-252-14

1. This approval authorizes a Nonconformity Permit and Design Review to allow for the construction of a new third-story addition and a new driveway entry gate to the existing single-family residence at 4 Willow Hill Road, APN 073-252-14.
2. The building permit shall substantially conform to the plans entitled, "4 Willow Hill Rd., Ross, CA", consisting of 11 sheets prepared by Charles Theobald and dated April 16, 2020 (Town Council Set).
3. Except as otherwise provided in these conditions, the project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
4. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the project and will not extend the permitted construction period.
5. The project shall comply with the Fire Code and all requirement of the Ross Valley Fire Department (RVFD).
6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.
9. The project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:

- a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
- b. A registered Architect or Engineer's stamp and signature must be placed on all plan pages.
- c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the project. Any additional costs incurred by the Town, including costs to inspect or review the project, shall be paid as incurred and prior to project final.
- d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a "back-up" system (i.e., temporary seeding and mulching or straw matting).
- e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition 10n.

- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of

their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.

- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department

of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.

- iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or alleging any other liability or damages based upon, caused by, or related to the approval of the project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2

GEN. NOTES

- The work included under the contract consists of all labor, materials, transportation, tools and equipment necessary for the construction of the project leaving all work ready for use.
- The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All demolition and all new work necessary to allow for a finished job in accordance with the intention of the drawing is included regardless of whether shown on the drawings or mentioned in the notes.
- Any errors, omissions or conflicts found in the various parts of the construction documents shall be brought to the attention of the Architect and the Owner for clarification before proceeding with the work.
- The General Contractor shall maintain a current and complete set of the construction documents on the job site during all phases of construction for use of all trades and shall provide to the subcontractors with current and complete construction documents as required including specifications and architectural supplementary instructions. Contractor shall maintain a set of submittals, samples, and additional supplementary instructions.
- The General Contractor shall verify and assume responsibility for all dimensions and site conditions. The General Contractor shall inspect the existing premises and take note of existing conditions prior to submitting plans. No claim shall be allowed for difficulties encountered which could have reasonably been inferred from such an examination.
- Written dimensions take precedence. Do not scale drawings.
- See SYMBOLS area of the sheet for dimension standards.
- All dimensions noted "verify" and "V.I.F." are to be checked by Contractor prior to construction. Immediately report any variances to the Architect for resolution. When coordinate resolution w/ all work of all trades.
- Contractor shall provide of seismic bracing and hold-down clips as required by Code for all suspended ceiling and soffit framing conditions.
- Coordinate all work with existing conditions, including but not limited to irrigation pipes, electrical conduit, carrier lines, gas lines, drainage lines, etc. Notify Architect immediately of any conflicts.
- Provide adequate temporary support as necessary to ensure the structural value or integrity of the building.
- Protect of existing building and site conditions to remain, including walls, cabinets, finishes, trees and shrubs, paving, etc.
- Details shown are typical. Similar details apply in similar conditions.
- Verify all architectural details with structural civil, landscape and design/build drawings before ordering or installation of any work.
- All changes in floor materials occur at centerline of door or framed opening unless otherwise indicated on the drawings.
- Install all fixtures, equipment and materials per manufacturer's recommendations.
- Verify clearances for pipes, vents, chases, soffits, fixtures, etc. before any construction ordering or installation of any items of work.
- Sectional cuttings and fixtures, etc. (locations shown on drawings are not intended to be inclusive. Follow manufacturer's installation recommendations and standard industry and building practices.
- All roof deck penetrations and exterior wall openings shall be guaranteed by the Contractor to be water tight for a minimum period of one year after substantial completion of all work under the contract.
- The General Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise a strict control over job cleaning to prevent any direct debris or dust from affecting, in any way, finished areas or adjacent sites.
- Contractor shall leave premises and all affected areas clean and orderly, ready for occupancy. This includes cleaning of all glass (inside and outside) and frames, both new and existing.
- Smoke detectors in new construction shall be powered by backing wiring current with battery back-up per CRC R 3141 through 314.43.3 and conformance with local Fire Marshal requirements. Smoke detectors shall be interconnected where more than one smoke detector is installed in the dwelling unit per CRC R314.5. If one smoke detector is activated then all of the more alarms will activate in the individual dwelling unit. Carbon Monoxide Alarms are required per CRC R315.1 through R315.3. If more than one is installed in the dwelling unit they shall be interconnected per CRC R315.12 so if one carbon monoxide alarm is activated they will all activate in the individual dwelling unit.
- Any survey monuments within the area of construction shall be preserved or reset by a registered civil engineer or a licensed land surveyor.
- Verify all finish materials with the Architect and the Owner prior to installation. On site mock-ups of building assemblies, finish assemblies, paint and/or stain samples, etc. may be required for approval.
- Address numbers of least 4" x 12" must be in place adjacent to the front door. If not clearly visible from the street, additional numbers are required. Retained numbers must be clearly illuminated (backlit) prior to a light or be reflective numbers.
- Contractor shall verify size and locations of all mechanical equipment, as well as power, water and drain installation with equipment manufacturers, the Owner, and the Architect before proceeding with the work.
- Contractor responsible for properly sizing heating equipment to meet the requirement (ICR R303.9).
- Contractor to coordinate utilities shown on architectural drawings with electrical, plumbing, mechanical and any other consultant drawings. Contractor to coordinate all the trades.
- Structural observation shall be required by the Engineer for structural conformance to the approved plans.
- Verify with structural drawings of special inspections required for the types of work specified: drilled piers, piers, castons, and concrete.
- All construction to provide a waterproof, weather tight building. Contractor should lean and caulk as necessary to achieve the requirement.
- Job site safety is the responsibility of the general contractor.
- All work shall be installed true, plumb, square, level, and in proper alignment.
- Contractor shall maintain and ensure that the most current set of documents is in use by all participants in the construction process and that maintain a log of submittals, samples, and other supplementary instructions.

ABBREVIATIONS

AC	Air Conditioning	EQUIP	Equipment	KIT	Kitchen	S	Sault
ACOUS	Acoustical	EXST	Existing	LAM	Laminate	SAFF	Self-Adhesive Flexible Finishing
AD	Area Drain	EXP	Expansion	LAV	Lavatory	SCD	See Call Drawing
ADJ	Adjustable	EXT	Exterior	LB	Linen	SD	Stair Down Step Depress/Up Schedule
ADJAC	Adjacent	FA	Fire Alarm	LI	Lift	SECD	See Section
AGGR	Aggregate	FAU	Fire Alarm Unit	LN	Linen	SECT	See Section
ALT	Alternate	FBI	Flat Box	LT	Lift	SEJ	See Section
ALUM	Aluminum	FB	Flat Box	MACH	Machine	SE	Separation
APPROX	Approximate	FD	Food Drain	MANT	Manifold	SH	Shower
ARCH	Architectural	FE	Fire Suppression Cabinet	MAT	Material	SHR	Shelving
ASPH	Asphalt	FHMS	Flat Head Machine Screw	MAX	Maximum	SM	Shrub
ASPH	Asphalt	FHWS	Flat Head Wood Screw	MIB	Machine Bolt	S	Siding
BD	Board	FIN	Finish	MIC	Medicine Cabinet	SCD	See Call Drawing
BLUM	Blindwork	FRT	Finish	MCO	Medium Density Overlay	SGD	See Garage Drawing
BNG	Bathing	FR	Finish	MECH	Mechanical	SID	See Landscaping Drawing
BLK	Block	FLST	Flashing	MEIB	Mechanical	SMD	See Mechanical Drawing
BLC	Bolting	FLOOR	Fluorescent	MEL	Metal	SLTD	See Lighting Drawing
BM	Beam	FCC	Face of Concrete	MFR	Manufacture	SP	See Mechanical Drawing
BO	Bottom	FDF	Face of Fresh	MHC	Mechanical	SPIC	Specification or Special
BOI	Bottom	FDP	Face of Plywood	MID	Moulded	SQ	Square
BS	Balancing Paper	FOS	Face of Stud	MIL	Milium	SS	Stainless Steel
BWN	Between	FRSE	Finish	MI	Milium	SSD	See Structural Drawing
CB	Catch Basin	FR	Finish	NI	New	STD	Standard
CEM	Cement	FR	Foot or Feet	NI	New	STL	Steel
CEB	Ceasing	FR	Foot or Feet	NI	New	STR	Storage
CEJ	Control Joint	FR	Foot or Feet	NI	New	STR	Structural
CJ	Control Joint	FR	Foot or Feet	NI	New	SV	See V.I.F.
CLG	Casing	FR	Foot or Feet	NI	New	SW	See Wall
CLG	Caulking	FR	Foot or Feet	NI	New	SYM	Symmetrical
CLR	Clear	FR	Foot or Feet	NI	New	SYS	System
CMU	Concrete Masonry Unit	FR	Foot or Feet	NI	New	T	Tread
CMU	Concrete Masonry Unit	FR	Foot or Feet	NI	New	TB	Towel Bar
CON	Concrete	FR	Foot or Feet	NI	New	TC	Top of Cub
CO	Clean Out	FR	Foot or Feet	NI	New	TEL	Telephone
COL	Column	FR	Foot or Feet	NI	New	TBM	Terminal
CONC	Concrete	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
COND	Condition	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
CONN	Connection	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
CONTR	Contractor	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
CONTR	Contractor	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
CLOS	Closet	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
CT	Control	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
CR	Control	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
CW	Cold Water	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DBL	Double	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DET	Detail	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DF	Drinking Fountain	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DEM	Demolish	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DEM	Demolish	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DEP	Depressure	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DN	Down	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DR	Door	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DW	Downer	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DWG	Downing	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
DWR	Downer	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
EA	Each	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
EB	Each	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
EJ	Excavation Joint	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
EL	Elevation	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
ELEC	Electrical	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
EMER	Emergency	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
ECL	Enclosure	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
EOS	Edge of Slab	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
EPB	Electrical Panel Board	FR	Foot or Feet	NI	New	T&G	Tongue & Groove
EQ	Equip	FR	Foot or Feet	NI	New	T&G	Tongue & Groove

SCOPE OF WORK

The project consists of:
 - Removing masonry chimney and replace from roof down to foundation of a 3 story home.
 - Minor Kitchen renovation of 480 SF.
 - Upper floor addition of 265 SF for new bedrooms and bathroom.
 - No change to existing floor plan.
 - Add take to roof.
 - Add Auto Gate at entry to property.

THIS PROJECT FALLS UNDER THE WILDLAND URBAN INTERFACE REQUIREMENTS

PROJECT STATISTICS

TYPE OF CONSTRUCTION: Type V - New/Alter
 Occupancy: R-3
 Project Statistics: 4 Willow Road, 1/4/2020

Code	Description	Area	Volume	Weight
1	Concrete	1000	1000	1000
2	Steel	500	500	500
3	Wood	200	200	200
4	Masonry	150	150	150
5	Other	150	150	150

There is no change to Coverage
 There is no change to permeable surfaces
 There are no retaining walls proposed for the house

DRAWING INDEX

SHEET	TITLE	DATES ISSUED
ARCHITECTURAL		
A00	COVER SHEET - GENERAL NOTES AND ANNEX / DWG INDEX	
A01	REFERENCE PHOTOS / PROPOSED MATERIALS	
A02	DOOR / WINDOW SCHEDULES	
D10	EXISTING / DEMOLITION PLANS	
A10	STRUCTURAL	
A11	STRUCTURAL	
A12	OVERALL, STRUCTURAL / SLOPE CALCULATION	
A13	STRUCTURAL - REFERENCE PHOTOS	
A14	OVERALL FLOOR PLAN / FINISHING SECTIONS	
A15	ENLARGED FLOOR PLAN	
A16	FLOOR PLAN - FINISHING PLAN	
A17	FLOOR PLAN - POWER AND LIGHTING	
A18	BUILDING ELEVATIONS	
A19	UPPER FLOOR PLAN - FINISHING PROPOSED	
A20	BUILDING ELEVATIONS	
A21	ENLARGED PLANS	
A22	INTERIOR ELEVATIONS - KITCHEN	
A23	STAIR PLANS AND DETAILS	
A24	EXTERIOR DETAILS	
A25	INTERIOR DETAILS	
LANDSCAPE		
L1	VEGETATION MANAGEMENT PLAN	
L2	AUTOMATIC GATE ELEVATIONS	
STRUCTURAL		
S1	STRUCTURAL FOUNDATION DRAWING PLAN SECTION	
S2	STRUCTURAL FOUNDATION DRAWING SECTION	
S3	FINISHING DETAILS	

INCLUDED IN THIS SET: [X] NOT INCLUDED IN THIS SET: [] DELETED: []

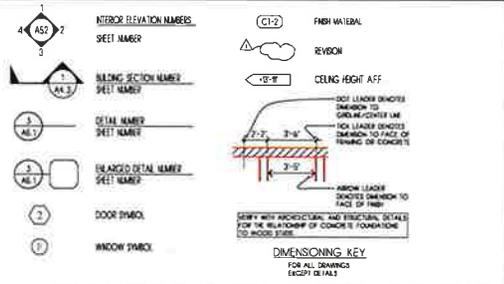
APPLICABLE CODES

- APPLICABLE CODES:**
- 2019 California Administrative Code
 - 2019 California Building Code
 - 2019 California Electrical Code
 - 2019 California Fire Code
 - 2019 California Mechanical Code
 - 2019 California Plumbing Code
 - 2019 California Energy Code
 - 2019 California Fire Code
 - 2019 California Green Building Standards Code
 - 2019 California International Standards Code
- ADDITIONS TO THE CODES ABOVE BY THE LOCAL JURISDICTIONS:**
- CAUTION: ALL ALL CODES, ORDINANCES AND REQUIREMENTS ADOPTED BY LOCAL JURISDICTIONS.
- Also per the requirements per the requirements for a Construction Waste Management (CWM) Plan, Construction Waste Management (CWM) Worksheet and the Construction Waste Management (CWM) Acknowledgment per the CCRS section 4404.14L.

VICINITY PLAN



SYMBOLS



PROJECT DIRECTORY

OWNER/CLIENT	DATE	ISSUE
Jodi Cox and Martha Delgado PO Box 14 Fairfax, CA 94930 e: marthadelgado@netnet.com		
ARCHITECT Charles Theobald 248 Bolinas Rd Fairfax, CA 94930 Tel: (415) 238-7425 e: charles@cafa.com		
STRUCTURAL ENGINEER Tom Torrey Engineering CONTACT: Tom Torrey 101 Irving Street #105 San Francisco, CA 94122 Tel: (415) 742-4276 e: tom@tomtorreyengineering.com		
LANDSCAPE ARCHITECT Fred Egan 232 Ramon Ave, Mill Valley, CA 94965 Tel: (415) 982-0756 e: fred@fredegan.com		
GENERAL CONTRACTOR Sue Bullock 200th Ave PO Box 50788, San Rafael, CA 94965 Tel: (415) 279-7757 e: sue@bullock.com		

Charles Theobald
248 Bolinas Rd
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4 Willow Hill Rd.
Ross, CA
AIN#0703-292-14

COVER SHEET
A0.0
 APRIL 16, 2020



AREA WHERE PROPOSED GATE IS PROPOSED



COPPER GUTTERS AND DOWNSPOUTS TO MATCH

TYPICAL SIDING: SOLID STAIN CEDAR SHINGLES TO MATCH (E)

TYPICAL TRIM: WOOD PAINTED WHITE

NEW MATERIALS TO MATCH EXISTING MATERIALS

TYPICAL ROOFING: GRAY ASPHALT SHINGLE ROOFING



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DATE

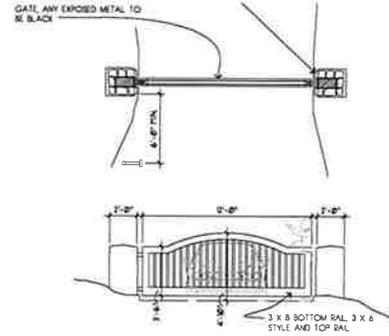
ISSUE

REFERENCE PHOTOS

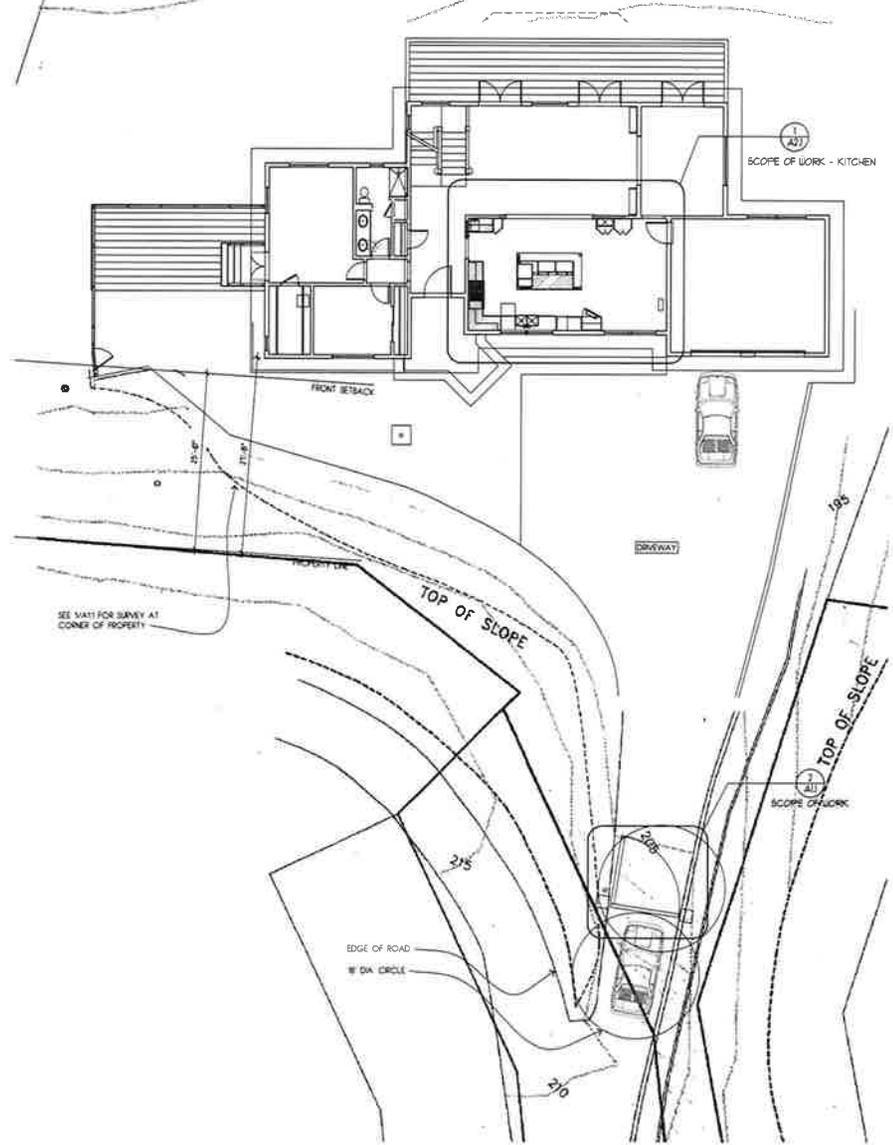
A01

APRIL 16, 2020

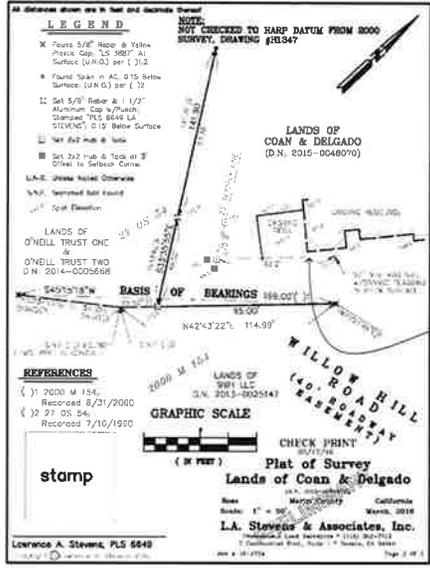
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2 PLAN / ELEVATION AUTO GATE
ALL 1/4" = 1'-0"



3 SITE PLAN / MAIN FLOOR PLAN
ALL 1/8" = 1'-0"



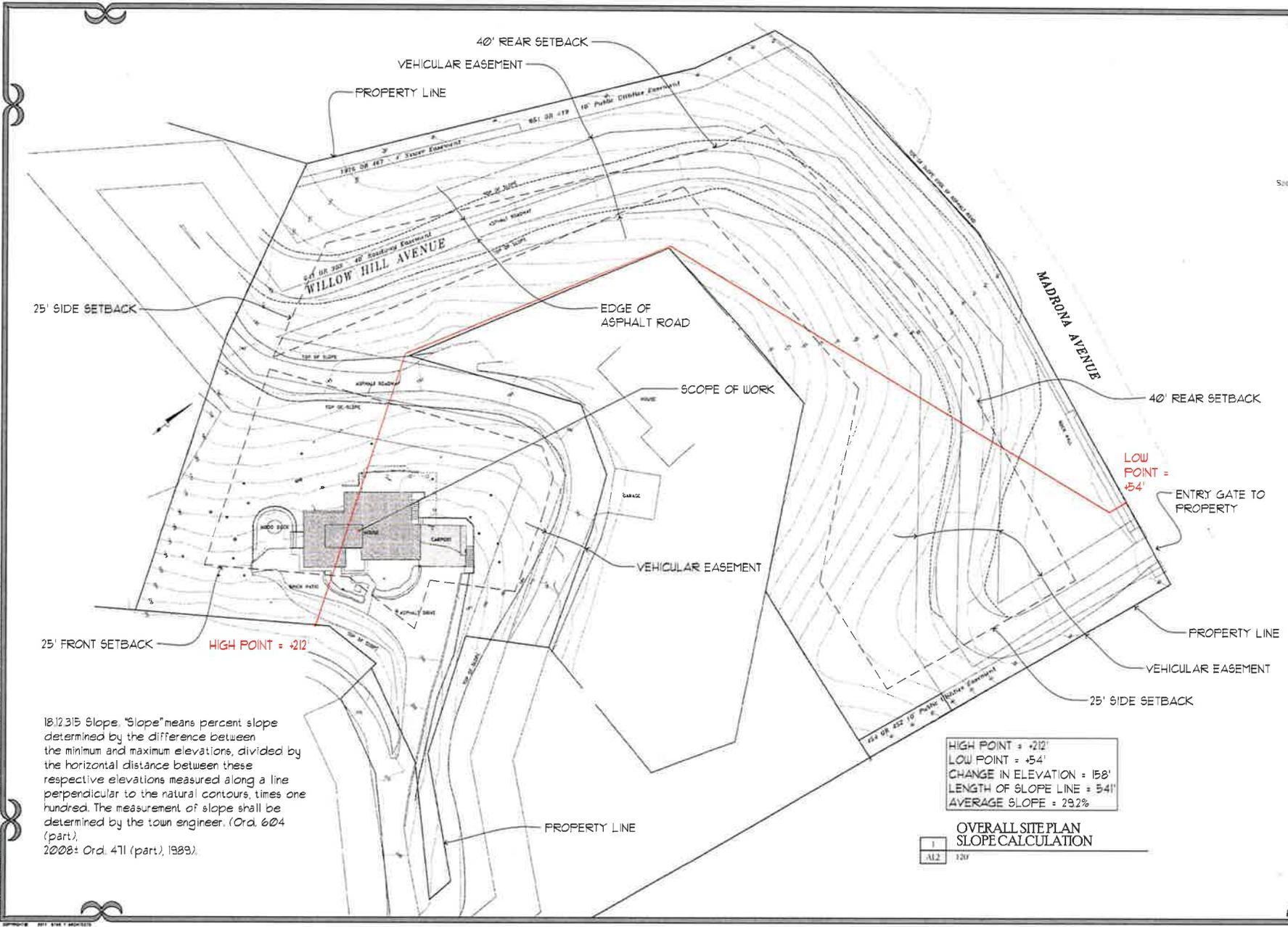
1 SURVEY AT PROPERTY CORNER
ALL 1/8" = 1'-0"

4 Willow Hill Rd.
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DATE	NO. 2

SITE PLAN
A11
APRIL 16, 2020

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18.12.315 Slope. "Slope" means percent slope determined by the difference between the minimum and maximum elevations, divided by the horizontal distance between these respective elevations measured along a line perpendicular to the natural contours, times one hundred. The measurement of slope shall be determined by the town engineer. (Ord. 604 (part), 2008; Ord. 471 (part), 1989).

HIGH POINT = +212'
LOW POINT = +54'
CHANGE IN ELEVATION = 158'
LENGTH OF SLOPE LINE = 541'
AVERAGE SLOPE = 29.2%

OVERALL SITE PLAN SLOPE CALCULATION

1	
A1.2	120'

4 Willow Hill Rd.
Ross, CA
APN#073-292-14

DATE	NOTE

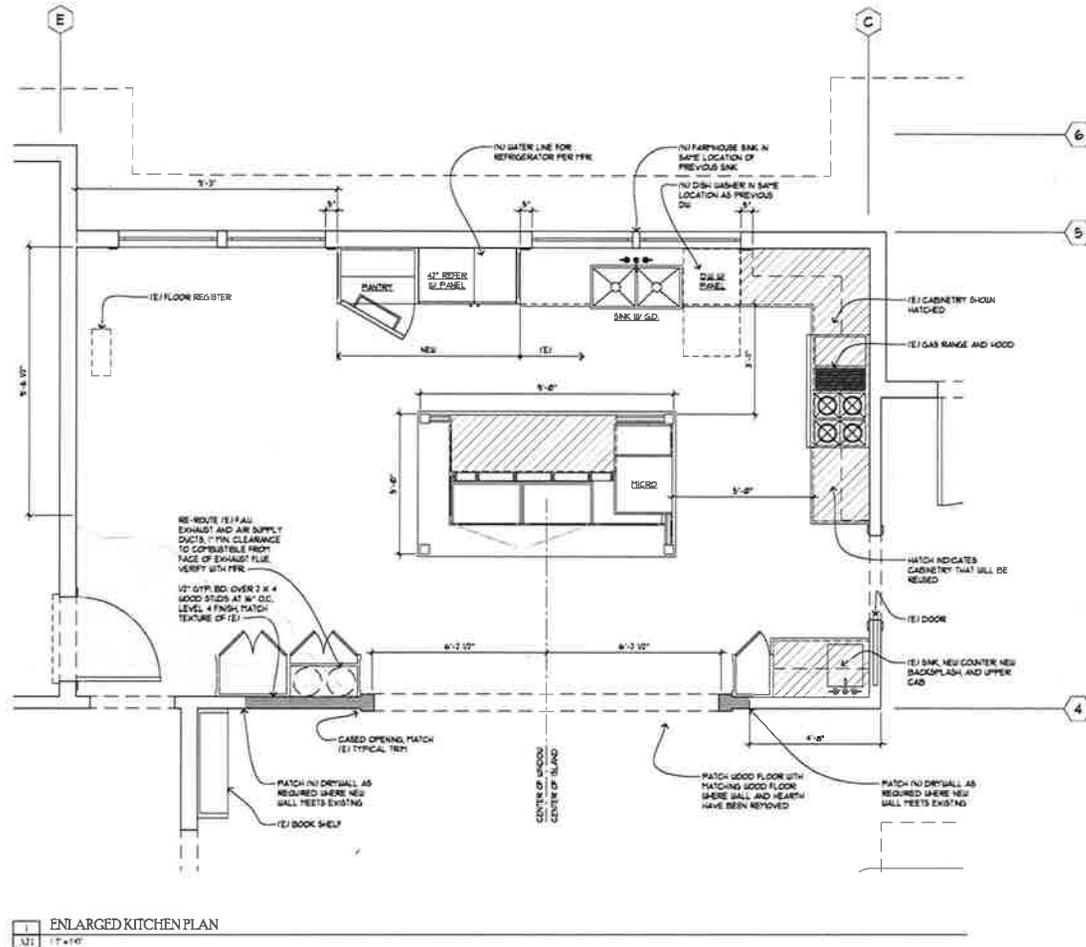
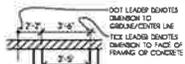
SITE / SLOPE CALCULATION
A1.2
APRIL 16, 2020

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APN#073-292-14

**FLOOR PLAN
GENERAL NOTES**

1. ALL WALLS WITH BEAR PLYWOOD SHALL HAVE A CONTINUOUS FLUSH FINISH FUR WALLS OR CONTINUE PLYWOOD TO MAINTAIN THE REQUIRED FLUSH FINISH.
2. COFFRET STUDS WHERE REQUIRED SO THAT FINISH WALL SURFACES WILL BE FLUSH.
3. ALL WALLS OVER 10'-0" SHALL BE 2x6 STUDS @ 16" O.C. MINIMUM W/ PREBLOCKING @ 10'-0" INTERVALS.
4. PREBLOCK AT CEILING FLOORS, RARIED DOWN CEILINGS, SHOWERS, SOFFITS AND CONCEALED DRAFT OPENINGS NOT TO EXCEED 10 FEET MAXIMUM (IBC 705).
5. PROVIDE BLOCKING FOR ALL ARTWORK, TOWEL BARS AND TISSUE HOLDERS, TYP.
6. DRAFT STOPPING MATERIALS SHOULD NOT BE LESS THAN 1/2" GYPSUM BOARD, 5/8" GRADE PLYWOOD, 5/8" TYPE 1-M PARTICLE BOARD OR OTHER MATERIALS APPROVED BY THE BUILDING DEPARTMENT.
7. DRAFT STOPPERS SHALL BE INSTALLED IN WOOD FRAMED FLOOR CONSTRUCTION CONTAINING CONCEALED SPACE, WHERE THESE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE, DRAFT STOPPERS SHALL BE INSTALLED SO AS TO LIMIT AREAS OF DIVERSE CONCEALED AREAS INTO EQUAL SPACES BUT NO MORE THAN 1000 SF SPACES EACH (IBC 1).
8. WAREHOUSE SPACE, VERIFY COMPLETE WATER KICK-UP W/ RECESSED OUTLETS, AND 1/2" FLUX SMOOTH METAL DRYER VENT W/ LMI TAP AND CLEAN-OUT TO OUTSIDE AIR METAL PAN AND DRAIN TO OUTSIDE AT WAREHOUSE (IBC 503.5).
9. WATER CLOSET SHALL HAVE AN AVERAGE COMBINATION OF NOT MORE THAN 1/2 GALLONS URINALS SHALL NOT EXCEED 5 GALLONS PER FLUSH. SINKS SHOWERS HEADS SHALL HAVE A MAX FLOW RATE OF 2.0 GPM. ONLY ONE SHOWER HEAD CAN BE USED AT A TIME. ALL FINICES SHALL HAVE A MAX FLOW RATE OF 1.5 GPM AT 80 PSI MIN FLOW RATE OF 0.5 GPM AT 25 PSI.
10. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND CEILING OF STORAGE CLOSETS UNDER STAIRS, TYP.
11. PROVIDE WATER RESISTANT GYPSUM BOARD BEHIND ALL PLUMBING FITURES, UNDER AND AROUND TUB AND SHOWER ENCLOSURES TO A HEIGHT OF 70" MIN ABOVE THE DRAIN FLAT. (OR APPROVED BACKER BOARD UNDER TILE (IBC 1).
12. FINISH MATERIALS FOR ALL BATH, SHOWERS, WALLS AT SHOWER ENCLOSURES SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS GLAZED CERAMIC TILES, PORCELAIN COBALT OR GEL, AND SHALL EXTEND AT LEAST 6" ABOVE THE DRAIN FOR CERAMIC TILE. SHOWER AND TUB-SHOWER FITURES SHALL BE EQUIPPED W/ A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
13. INTERIOR AND EXTERIOR STAIR DESIGN AND CONSTRUCTION SHALL COMPLY WITH IBC 1030 AND TABLE 10-8 REQUIREMENTS. HANDRAILS AND GUARDRAILS SHALL COMPLY WITH IBC 1030 AND 1030.10.
14. GUARDRAIL CONSTRUCTION SHALL BE CAPABLE OF RESISTING A 20 POUNDS HORIZONTAL LOAD PERPENDICULAR TO THE TOP RAIL (IBC 1030 AND TABLE 10-8 REQUIREMENTS).
15. WATER HEATER PROVIDE STRAPS AND SECURE TO WALL.
16. FINISH MATERIALS ON WALLS SHALL HAVE A MINIMUM FLAME SPREAD OF CLASS 1 OR AS IN TABLE 8-9.
17. ALL HOSE BBS TO BE INSTALLED WITH BACKFLOW PREVENTION DEVICES.
18. ALL NEW DOOR BILLS TO HAVE A SHEET METAL PAN AT A MINIMUM PATCH EXTERIOR SLOWS AS REQUIRED TO MAKE WATER TIGHT.
19. GRADES TO BE SLOPED AWAY FROM BUILDING FACE AT 22 MINIMUM FOR PERVIOUS CONDITIONS - 5% MIN FOR INTERVALLS.
20. ALL CEILING TO BE 5/8" TYPE "X" GYPSUM BOARD.



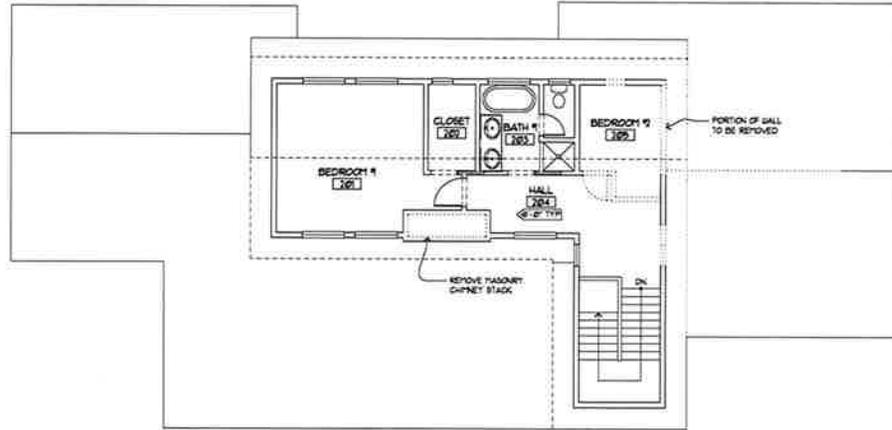
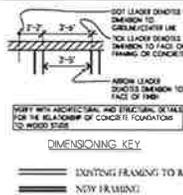
DATE	DATE

ENLARGED
FLOOR PLAN
A2.1
APRIL 16, 2020

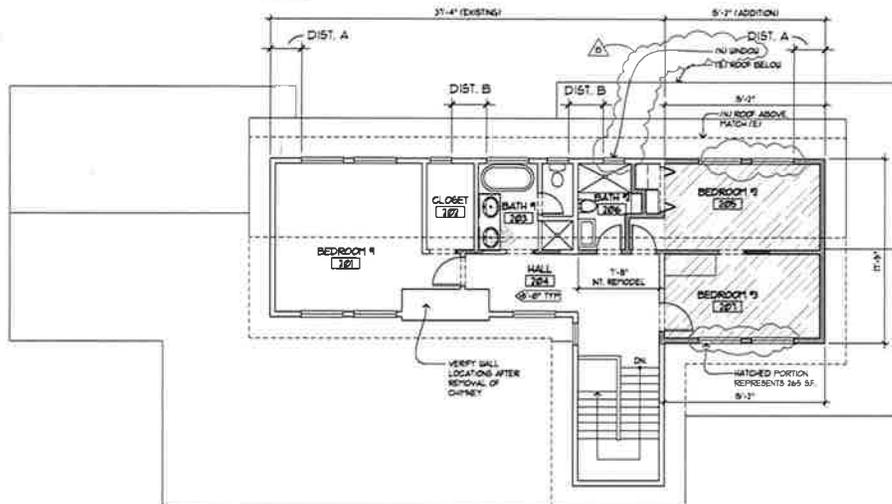
FLOOR PLAN GENERAL NOTES

1. ALL WALLS WITH SHEAR PLYWOOD SHALL HAVE A CONTINUOUS FLUSH FINISH FIBER WALLS OR CONTINUE PLYWOOD TO MAINTAIN THE REQUIRED FLUSH FINISH.
2. CORSET STUDS WHERE REQUIRED SO THAT FINISH WALL SURFACES WILL BE FLUSH.
3. ALL WALLS OVER 1'-0" SHALL BE 2x6 STUDS @ 16" O.C. MINIMUM W/ FIREBLOCK @ 1'-0" INTERVALS.
4. FIRELOCK AT CEILING FLOORS, FURRED DOWN CEILING, SHOWERS SOFFITS AND CONCEALED DRAFT OPENINGS NOT TO EXCEED 1 FEET MAXIMUM IBC/CRC 708.
5. PROVIDE BLOCING FOR ALL ARTWORK, TOWEL BARS AND TISSUE HOLDERS, ETC.
6. DRAFT STOPPING MATERIALS SHOULD NOT BE LESS THAN 1/2" GYPSUM BOARD, 5/8" GRADE PLYWOOD, 5/8" TYPE 3-M PARTICLE BOARD OR OTHER MATERIALS APPROVED BY THE BUILDING DEPARTMENT.
7. DRAFT STOPPERS SHALL BE INSTALLED IN WOOD FRAMED FLOOR CONSTRUCTION CONTAINING CONCEALED SPACE WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE. DRAFT STOPPERS SHALL BE INSTALLED SO AS TO LIMIT AREAS OR DIVIDE CONCEALED AREAS INTO EQUAL SPACES BUT NO MORE THAN 1000 SF, SPACES EACH IBC/CRC 7.
8. WATER/OVER SPACE. VERIFY COMPLETE WATER HOOD-UP BY RECESSED SINKETS AND 1/4" MAX. SMOOTH METAL DRYER VENT W/ LIFT TRAP AND CLEAN-OUT TO OUTSIDE AIR METAL PAN AND DRAIN TO OUTSIDE AT MANAGERMENT (SEE S343).
9. WATER CLOSET SHALL HAVE AN AVERAGE CONSUMPTION OF NOT MORE THAN 1/8 GALLONS PER MINUTE SHALL NOT EXCEED 3 GALLONS PER FLUSH. SINGLE SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 GPM. ONLY ONE SHOWER HEAD CAN BE USED AT A TIME. ALL FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM AT 60 PSI. MIN FLOW RATE OF 0.8 GPM AT 25 PSI.
10. PROVIDE 5/8" TYPE 3 GYP RD AT ALL WALLS AND CEILING OF STORAGE CLOSETS UNDER STAIRS, ETC.
11. PROVIDE WATER RESISTANT GYPSUM BOARD BEHIND ALL PLUMBING FIXTURES UNDER AND AROUND TUB AND SHOWER ENCLOSURES TO A HEIGHT OF 70" MIN ABOVE THE DRAIN KLET, OR APPROVED BACKER BOARD UNDER TILE IBC/CRC.

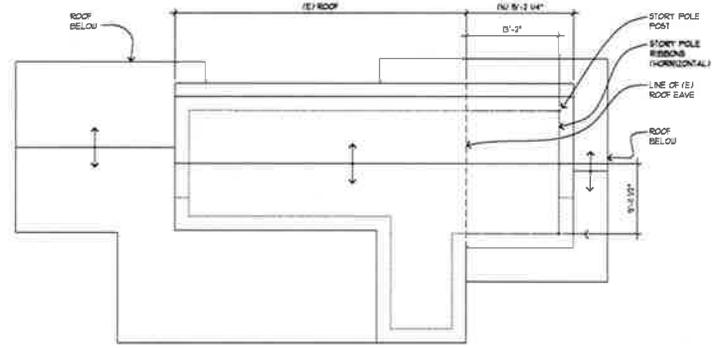
12. FINISH MATERIALS FOR ALL BATHS, SHOWERS, WALLS AT SHOWER ENCLOSURES SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS GLASS/CERAMIC TILES, PORTLAND CEMENT OR EG, AND SHALL EXTEND AT LEAST 4" ABOVE THE DRAIN PER CRC 202.2. SHOWER AND TUB/DWEEPER FIXTURES SHALL BE EQUIPPED W/ A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
13. INTERIOR AND EXTERIOR STAIR DESIGN AND CONSTRUCTION SHALL COMPLY WITH IBC 1009 AND TABLE 1048 REQUIREMENTS. HANDRAILS AND GUARDRAILS SHALL COMPLY WITH CBC 1009.9 AND 1009.10.
14. GUARDRAIL CONSTRUCTION SHALL BE CAPABLE OF RESISTING A 20 POUNDS HORIZONTAL LOAD PERPENDICULAR TO THE TOP RAIL IBC/CRC AND TABLE 1048 REQUIREMENTS.
15. WATER HEATER PROVIDE STEPS AND SECURE TO WALL.
16. FINISH MATERIALS ON WALLS SHALL HAVE A MINIMUM FLAME SPREAD OF CLASS I OR AS IN TABLE 6-8.
17. ALL NEW DOOR SLS TO HAVE A SHEET METAL PAN AT A MINIMUM PATCH EXTERIOR SONG AS REQUIRED TO MAKE WATER TIGHT.
18. GRADES TO BE SLOPED AWAY FROM BUILDING FACE AT 2% MINIMUM FOR REVERSE CONDITIONS - SEE JAN FOR APPROVED.
19. ALL CEILING TO BE 5/8" TYPE "3" GYPSUM BOARD.



2 UPPER LEVEL PLAN - EXISTING / DEMOLITION
A2.4 3/16" = 1'-0"



1 UPPER LEVEL PLAN - PROPOSED
A2.4 3/16" = 1'-0"



1 ROOF PLAN - PROPOSED
A2.4 1/8" = 1'-0"

Charles Theobald
248 Bolinas Rd
Fairfax, CA

4 Willow Hill Rd.
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APN#073-292-14

DATE	NOTE

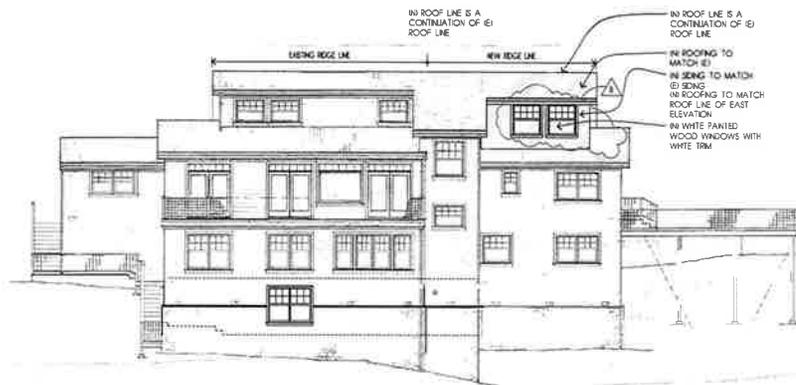
UPPER LEVEL ROOF PLAN
A2.4
APRIL 16, 2020

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Fairfax, CA

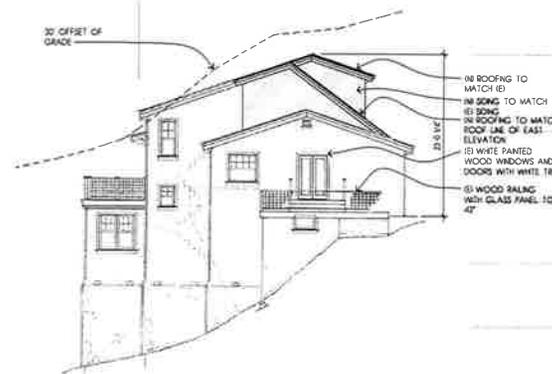


4 Willow Hill Rd.
Ross, CA

APN#073-252-14



4 NORTH ELEVATION ~ PROPOSED
A3.1 1/8" = 1'-0"

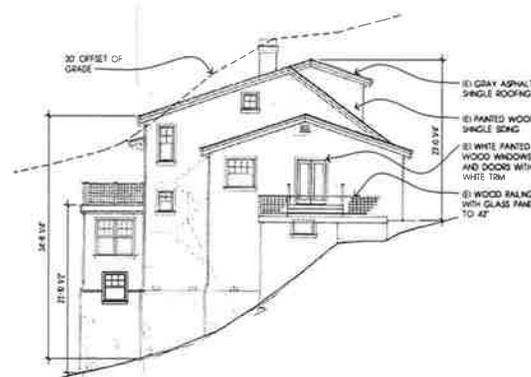


3 WEST ELEVATION ~ PROPOSED
A3.1 1/8" = 1'-0"

PROPOSED



2 NORTH ELEVATION ~ EXISTING
A3.1 1/8" = 1'-0"



J WEST ELEVATION ~ EXISTING
A3.1 1/8" = 1'-0"

EXISTING

DATE

BY

BUILDING ELEVATIONS

A3.1

APRIL 16, 2020

TOWN COUNCIL SET

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248 Bolinas Rd.
Fairfax, CA



4 SOUTH ELEVATION ~ PROPOSED
A3.2 1/8" = 1'-0"



3 NO CHANGE
EAST ELEVATION - PROPOSED
A3.2 1/8" = 1'-0"

PROPOSED



2 SOUTH ELEVATION ~ EXISTING
A3.2 1/8" = 1'-0"



1 EAST ELEVATION ~ EXISTING
A3.2 1/8" = 1'-0"

EXISTING

4 Willow Hill Rd.
Ross, CA
APN#017-239-14

DATE	NO.

BUILDING
ELEVATIONS
A3.2
APRIL 16, 2020

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TYPICAL ROOFING CERTANTEED LANDMARK SERIES ASPHALT COLOR HUNTER GREEN TO MATCH (E)



STONE AT NEW AUTO GATE PERS MATCH (E) ASH CREEK FIELDSTONE



TYPICAL EXTERIOR TRM PAINT AT NEW AUTO GATE, WINDOWS AND TRM BENJAMIN MOORE HAZY SKIES OC-48, SEMI-GLOSS TO MATCH (E)



TYPICAL DOWNSPOUT AND GUTTER COPPER TO MATCH (E)

TYPICAL EXTERIOR SHINGLE PAINT BENJAMIN MOORE BLACK IRON 2120-20 TO MATCH (E)



Charles Theobald
248 Bolinas Rd
Fairfax, CA

4 Willow Hill Rd.
Ross, CA
ATN#073-292-14

DATE	DESCRIPTION

MATERIALS BOARD
MB
DECEMBER 15, 2019

ATTACHMENT 3

Written Project Description – may be attached.

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

The project scope consists of two areas of work: the main house, and the lower road.

The main house:

- Remove (e) masonry chimney down to lower floor.
- Add 265 s.f. to upper floor for 2 small bedrooms and a full bathroom
- Minor kitchen renovation (no plumbing is moved)
- No change to building footprint
- Add solar to (e) roof
- Add auto gate at top of driveway

~~The road:~~

- ~~-Modify lower portion of Willow Hill Road (private road)~~

We are not requesting any variances.

ATTACHMENT 4

May 11, 2000

Mayor Curtiss said that he understood that they ran into unforeseen problems.

The contractor felt that the proposed plans would look better from the street.

Mrs. Van Meurs said that the house had two covered parking areas and now has one - she questioned if one car would be parked on the street. The architect said that there was no change to the garage or to the existing parking.

There was further discussion on the placement of the proposed structure and Councilmember Hart said that if this were a planned development, the homes would not be sited side by side but staggered to preserve a sense of openness. He said that he would agree to move the house one foot back and take the stairway out of the setback to clear up that nonconformity.

Mrs. Van Meurs objected to moving the structure more than one foot back because of the window location.

Mr. Boesel favored moving the house one foot back and compromising on the setbacks.

Councilmember Gray felt that this was an opportunity to move the house back and felt it should be out of the setbacks, not looming on the street.

Mayor Curtiss felt the plan would be a win/win situation because they are gaining 12 feet on the side.

Mr. road said that if the house and stairway is moved so it complies with the setback, it will allow a 19 foot setback, an ample setback for Bolinas Avenue. He said that an alternative would be to allow the stairway in the setback.

After further discussion, Councilmember Zorensky moved that the structure be moved back 15 feet from the side yard property line and that it be moved back four feet from the front property line (five feet from its current position) for a total of 29 feet from the front property line. The stairway shall remain in the setback. This was seconded by Councilmember Gray who added that the storage area not be more than 6 feet in height. Councilmember Zorensky accepted this amendment. Mayor Curtiss called for a vote and the motion passed with three affirmative votes. Mayor Pro Tempore Hart voted against, adding that he felt the house would be too far back on the site.

Mrs. Van Meurs said they are impacted now and it will get worse.

She preferred that the house stay in the setback and not be moved back so much.

Mayor Curtiss felt that the plans were a gain since the entire house would be out of the setback.

24. HILLSIDE LOT APPLICATION, DESIGN REVIEW AND VARIANCE #1361

William and Josefa Buckingham, 4 Willow Hill Road, A.P. No. 73-252-14, R-1:B-A and R-1:B-5A (Single family residence, One and five acre minimums). Hillside lot application and design review to allow the following: 1.) 625 square foot upper level master bedroom and bathroom addition; 2.) convert 216 square feet of main level deck into a dining room; 3.) 509 square foot lower level two bedroom and one bath addition; 4.) convert existing carport into a garage; 5.) replace main level 442 square foot west deck/spa with 300 square foot deck/spa and remove 108 square feet of main deck. A variance application has been filed to allow the stairway to the master bedroom to exceed 30 feet in height (34 feet proposed) and to allow a 3 story structure (2 permitted.) A total of 5,021 square feet of floor area are proposed.

May 11, 2000

Lot Area	52,965 square feet (net)
Present Lot Coverage	6.0%
Proposed Lot Coverage	5.5% (15% permitted)
Present Floor Area Ratio	7.8%
Proposed Floor Area Ratio	9.5% (15% permitted*)

(*The slope of this lot is 31%. The Ross Hillside Lot Ordinance design standards would recommend a maximum of 4,143 square feet of floor area.)

COUNCILMEMBER ZORENSKY STEPPED DOWN FROM THE COUNCIL CHAMBERS AND TOOK A SEAT IN THE AUDIENCE.

Mr. Broad referred to his staff report and recommended approval, adding that the proposed plans allow the house to step up into the hillside. He noted that much of the property is burdened by vehicular easement and if this were considered, the FAR would be in compliance with the hillside ordinance. Mrs. Josepha Buckingham explained the plans, noting that she would replace all the steel. She said that the adjoining neighbors signed off on the plans. In response to a question by Councilmember Gray, Mrs. Buckingham said that the trim would be off-white with dark shingles.

Councilmember Gray noted the three issues identified by the Town Planner: attractive design; the structure is stepped into the hillside and it is not a three storey structure in the conventional sense.

After further discussion, Councilmember Gray moved approval with the findings in the staff report, the added findings as noted above and the following amended conditions:

1. Trim shall be an off-white cream color with dark shakes, dark roof and asphalt shingles.
2. This project shall comply with the following Public Safety Department conditions:
 - a. The hydrant located at 7 Willow Hill must be upgraded to a steamer type (one 4 1/2" inch and two 2 1/2" outlets.
 - b. A street number must be posted (minimum 4 inches on contrasting background.)
 - c. All brush impinging on the access roadway must be cleared. The roadway shall have a minimum vertical clearance of 14 feet.
 - d. A 24-hour monitored alarm system is existing.
 - e. All dead or dying flammable materials shall be removed and cleared per Ross Municipal Code Chapter 12.12.
3. The Town Council reserves the right to require additional landscape screening for up to three years from project final.
4. Deck areas may not be "traded-off" to allow additional interior finished space.
5. No changes from the Council-approved plans shall be permitted without prior Town approval. Requisite application forms, plans and filing fees shall be submitted for any changes. Red-lined plans showing any proposed changes shall be included with any subsequent submittal.
6. Exterior lighting shall not create glare, hazard or annoyance to adjacent or off-site property owners. Lighting shall be shielded and directed downward and shall be low wattage. The location of lights should be

May 11, 2000

- coordinated with the landscape plan.
7. All materials and colors shall be designed to blend with the natural landscape. All trim and house colors shall be earthtone and designed to minimize their offsite visibility. This condition shall be binding upon future property owners.
 8. Any portable chemical toilets shall be placed off the street and out of public view.
 9. The project owners and contractors shall be responsible for maintaining roadways and right-of-ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately.
 10. The applicants and/or owners shall defend, indemnify and hold the Town harmless along with its boards, commissions, agents, officers, employees and consultants from any claim, action or proceeding against the Town, its boards, commissions, agents, officers, employees and consultants attacking or seeking to set aside, declare void or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

Seconded by Councilmember Hart and passed unanimously.

COUNCILMEMBER ZORENSKY RETURNED TO THE COUNCIL CHAMBERS.

- #1362*
25. **VARIANCE AND DESIGN REVIEW.** *#262*
Britten and Jay Jacobs, 68 Bridge Road, 73-302-11, R-1:B-10 (Single Family Residence, 10,000 sq. ft. min.). Variance and design review to allow the construction of a 1,014 square foot 2-car garage and upper level exercise room/office with a connecting stairway between the garage and the main level of the residence. The garage/exercise room/office will encroach within the west side yard setback (12 feet proposed, 15 feet required.)

Lot Area	93,218 sq. ft.	
Present Lot Coverage	3.5%	
Proposed Lot Coverage	4.5%	(20% permitted)
Present Floor Area Ratio	10.3%	
Proposed Floor Area Ratio	11.4%	(20% permitted)

The existing residence is nonconforming in height and number of stories (three.)

Mr. Broad stated that this is the third proposal. The applicants modified a number of concerns from the last proposal. He felt that the new plans were much more sensitive to the architecture of the residence and the neighboring property and would bring the covered parking into compliance with Town regulations.

Councilmember Hart asked if the structure could be taken out of the setback.

Mr. Broad said that there are site problems: encroachment into the house area and access. Applicants spoke to the neighbor and she was present at this meeting but left

Council member Gray said that the Council requested all wood windows. He asked that a condition of approval for the deck would be that they replace the windows.

Mr. Broad said that the original approval was that the new windows match the existing windows.

Council member Byrnes moved that the Council direct staff to enforce the design policy of the authentic windows in heritage homes and approve the deck with the findings in the staff report and the following amended conditions, including that windows must be modified to be consistent with the original approvals and must be wood with true divided light and match the original windows of the house.

1. No changes from the approved plans shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner prior to the issuance of any building permits.
2. The project owners and contractors shall be responsible for maintaining Town roadways and right-of-ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately.
3. This project shall comply with the following Public Safety Department conditions and requirements: a) a street number must be posted (minimum 4 inches on contrasting background); b) a local alarm is required; and c) all dead or dying flammable materials must be cleared and removed per Ross Municipal Chapter 12.12.
4. Project windows shall be as in the original approval (true divided light wood windows in dimensions to match the existing windows.)
5. Prior to deck construction, deck plans shall be submitted for review and approval of the Ross Town arborist to ensure that the existing tree within the deck is adequately protected.
6. Any exterior lighting shall not create glare, hazard or annoyance to adjacent property owners. Lighting shall be shielded and directed downward.
7. The Town Council reserves the right to require additional landscape screening for up to two (2) years from project final.
8. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Prior to the issuance of a building permit, the owner or general contractor shall submit a complete list of contractors, subcontractors, architects, engineers and any other people providing project services within the Town, including names, addresses and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
9. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

This was seconded by Council member Barr and passed unanimously.

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24. **DESIGN REVIEW.**
William and Josefa Buckingham, 4 Willow Hill Road, A.P. No. 73-252-14, R-1:B-A and 5A (Single Family Residence, 1 and 5 acre minimums). Design review to allow a 6-foot high deer fence with dark brown stained wood posts, top rails, bottom rails and black wire mesh extending approximately 250 feet along Willow Hill Road at least 15 feet back improved roadway. Approximately 350 linear feet of dry stone sloped retaining walls, varying between 1 and 4 feet in height are also proposed.

Before stepping down, Mayor Zorensky made a point of personal privilege, expressing his concern about comments the applicant had made regarding his personal influence as Mayor on the Council's review of the application. He also indicated, however, that as a neighbor of the applicant, he was not opposed to the project and that he did not wish to see it rejected by the Council.

Mayor Zorensky then handed the gavel to Mayor Pro Tempore Barr and stepped down from the Council Chambers and took a seat in the audience.

Mr. Broad said that this application was previously reviewed by the Council at its May 8, 2003 meeting. At that time, the Council voiced concern about the visibility of the proposed deer fence, as well as its proximity to Willow Hill Road and the matter was continued to allow the applicants an opportunity to make revisions to their application. The Council encouraged the applicant to pull the fence back from the roadway and provide landscaping to screen the fence. The applicants proposed 350 linear feet of new "dry stone sloped terrace" retaining walls both above and below the proposed deer fence. Some of the proposed retaining wall would reach four feet in height but the vast majority of the walls will be approximately one foot in height and heavy planting would soften their appearance.

Mrs. Buckingham then explained the plans.

Council member Bymes said that a wall of stone would be seen from the roadway with zig zag pockets to allow for planting to obscure part of the fence. He said that he was happy with the fence, the applicants did what the Council asked but he wondered if it would look like a natural hillside.

Mr. Buckingham offered to do additional planting.

Council member Gray said that the Council always has the right to request additional landscaping and he recommended that the Town Arborist review the landscaping plans and determine if the proposed plantings would be appropriate to retain a natural looking hillside.

Council member Bymes moved approval of the plans with the findings in the staff report and the following amended conditions: That the Town Arborist review the plans and determine that the specified plants would produce a natural looking hillside to the people passing by and would not present a rock wall face to the public, be a natural growth and not a cultivated garden.

1. A final landscape plan shall be submitted for Planning Director and Town Arborist approval prior to landscape installation. Landscaping shall be provided along the fence to screen 50% of the fence within one year. As proposed by the applicant, stone terraces shall be densely planted to be obscured within one season. The plant list shall be selected to produce a natural-looking hillside and to obscure the stone walls from public view. Additional landscaping shall be provided to soften both the existing dry stone walls and those proposed in this application, subject to Town Planner approval.
2. The height of the high dry stone sloped terrace walls along the proposed decomposed granite pathway shall be approximately one (1) foot in height as reflected in the submitted typical section.
3. The height of the sloped drywall terrace shall vary from one (1) to four (4) feet, but not exceed four (4) feet, as shown in the typical section. Prior to the construction of retaining walls above the proposed fence, a plan shall be submitted for Town Planner approval specifying the heights of all retaining walls.
4. No changes from the approved plans shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner prior to the issuance of any building permits.
5. The project owners and contractors shall be responsible for maintaining Town roadways and right-of-ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately.
6. Any exterior lighting shall not create glare, hazard or annoyance to adjacent property owners. Lighting shall be shielded and directed downward.
7. The Town Council reserves the right to require additional landscape screening for up to two (2) years from project final.
8. This project shall comply with the following public safety department requirements: a) all brush impinging on the access roadway shall be cleared; b) a street number shall be posted (minimum 4 inches on contrasting background).

- c) all dead or dying flammable materials shall be removed and cleared per Ross municipal Code Chapter 12.12; and d) all .
9. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee, including the project landscape designer. Prior to the issuance of a building permit or fence construction, the owner or contractor shall submit a complete list of contractors, subcontractors, architects, engineers and any other people providing project services within the Town, including names, addresses and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
10. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

This was seconded by Council member Gray who added that the landscaping has to obscure the stone wall. Mayor Pro Tempore Barr called for a vote and the motion passed with three affirmative votes. Mayor Zorensky had stepped down and Council member Curtiss was absent.

MAYOR ZORENSKY RETURNED TO THE COUNCIL CHAMBERS.

25. VARIANCE AND DESIGN REVIEW.

Kathleen Mahoney and Ozzie Ayscue, 6 Southwood Avenue, A.P. No. 073-151-20, R-1:B- 20 (Single Family Residence, 20,000 square foot minimum) to allow the following: 1) Removal of a 27.5 square foot shed, a 52 square foot shed, a 28 square foot closet and a 57 square foot closet; 2) pool construction within the rear yard setback (40 feet required, 10 feet proposed); 3) a patio within the side yard setback (20 feet required, 13 feet proposed) and rear yard setback (40 feet required, 5 feet proposed); 4) pool equipment and pad within the side yard setback (20 feet required, 16 feet proposed); 5) stone steps and stoop within the east side yard setback (20 feet required, 14 feet proposed); 6) relocation of the existing barn within the rear yard setback (40 feet required, 4 feet proposed) with a lower level work/play/bathroom with a front deck and a dormer added to create a new upper level office with skylights, adding 211 square feet of floor area; 7) new front steps and pilasters within the front yard setback (25 feet required, 17 feet proposed); 8) demolition of the existing rear section of the residence containing the kitchen and family room and construction of a new family room and kitchen with a 115 square foot breakfast nook addition; 9) conversion of 202 square feet of sun porch within the front yard setback (25 feet required, 23 feet proposed) to open porch; 10) alterations to the second and third stories of the residence, including adding a dormer to the third story (2 stories permitted) at a height of 34 feet (30 feet permitted). An encroachment permit is requested to allow improvements within the Southwood Avenue right-of-way, including a bench, planting beds and picket fence and gates.

Lot area	16,140 square feet
Present Floor Area Ratio (approx.)	28.7%
Proposed Floor Area Ratio (approx.)	28.7% (15% permitted)
Present Lot Coverage	20.1%
Proposed Lot Coverage	22.5% (15% permitted)

ATTACHMENT 5

MINUTES
Meeting of the
Ross Advisory Design Review Group

Tuesday, February 25, 2020

1. 7:04 p.m. Commencement

Mark Fritts called the meeting to order. Stephen Sutro and Dan Winey were present. Josefa Buckingham and Mark Kruttschnitt was absent. Planner Matthew Weintraub representing staff was present.

2. Open Time for Public Comments

Beach Kuhl provided information regarding PG&E power line work in response to ADR Group Member Winey's question.

3. Old Business – None.

4. New Business

a. Zelaya Residence – 49 Glenwood Avenue

Planner Weintraub provided a brief introduction of the project. Project Architect Stuart Summers described the project including existing nonconforming conditions and neighborhood outreach. Robert Dickinson, owner of the adjacent property at 41 Glenwood Avenue, provided the following comments:

- He supports the project in concept and is appreciative of Mr. Summers for providing project plans and explaining the project.
- He was satisfied with Mr. Summers' explanation that the project would not increase surface runoff to the south toward 41 Glenwood Avenue.
- He was satisfied with Mr. Summers' explanation that the pool deck area would not be used as a "party" area. Mr. Dickinson was concerned with lines of sight which may be affected by any future building construction in the pool deck area.
- He was satisfied with Mr. Summers' explanation that the pool equipment noise would be sufficiently attenuated by location and topography. He preferred that the parking area not be located closer than existing to 41 Glenwood Avenue.

Briana Zelaya, owner of the subject property at 49 Glenwood Avenue, stated that she would like to minimize the walking distance between the parking area and the residence for child safety reasons. Mr. Summers indicated that it may be possible to adjust the location of the parking area to avoid being closer to 41 Glenwood Avenue. Frank Doodha, owner of the nearby property at 23 Glenwood Avenue, stated that any outdoor conversation noise generally travels easily in the area and can be overheard at nearby properties.

ADR Group Member Winey provided the following comments:

- He noted that removal of the existing pool buildings would result in a reduction of floor area.
- He prefers to know the envelope of any proposed new building in the pool area.
- He recommended pulling back the boundary between the asphalt driveway and “turf block” parking pavers, such that the driveway boundary follows a more regular curvilinear path, and the apron connecting the driveway to the parking spaces is comprised of pavers that match the parking area.
- He recommended that the pool equipment be enclosed.
- He recommended investigating the physical condition of the retaining walls around the pool, which may need to be replaced rather than repaired.
- He suggested installing a PVC French drain for site drainage.
- He noted that the existing residence is the result of numerous additions over periods of time. He suggested that the current project is an opportunity to improve the rear elevation fenestration by making the proportions and divisions more consistent. Ms. Zelaya responded that the owners are trying to maintain the “spirit” of the existing house while improving/modernizing.

ADR Group Member Fritts provided the following comments:

- He asked if pool and/or landscape lighting was proposed and recommended that lighting fixture specifications be added to the project plans.
- He recommended enclosing or “bunkering” the pool equipment.
- He agreed that the current project is an opportunity to improve the rear elevation fenestration by making the proportions and divisions more consistent.
- He described the proposed building modifications as improving the property.

ADR Group Member Sutro provided the following comments:

- He noted inconsistencies on project plan sheets regarding the location/boundary of the proposed pool patio. He stated that the patio should generally not be expanded within setbacks unless there is neighbor support and no public objections. Mr. Summers replied that he would resolve the plan inconsistencies and avoid setback encroachment.
- He described the proposed building improvements as “healing” the building to some extent.

ADR Group Member Buckingham submitted the following comments in writing which were entered into the record by ADR Group Member Fritts:

- She supported the removal of the existing architecturally noncongruent pool buildings.
- She was concerned about the proposed expanse of hardscape and recommended visual screening from Willow Hill Avenue with green landscaping.
- She recommended that the proposed “turf block” pavers be suitable for residential use and not have a commercial appearance.
- She supported the residential additions at the rear elevation. She recommended rehabilitating the rear elevation with historically accurate fenestration for consistency with the south elevation, which appears to be mostly original.

Regarding the proposed reconstruction of the rear accessory building which is nonconforming with regards to required side and rear yard setbacks, ADR Group Members Buckingham and Fritts stated that they supported the proposed relocation within the required yard setbacks, but they did not support expanding or enlarging the existing rear accessory building which would exacerbate an existing nonconformity. Group Members Sutro and Winey did not have an issue with reconstruction of the rear accessory building as proposed.

Mr. Summers stated that the ADR Group recommendations will be considered and incorporated into the project plans including any necessary revisions.

ADR Group Member Fritts stated that the project did not require further review by the ADR Group. He closed the hearing.

b. Coan-Delgado Residence – 4 Willow Hill Road

Planner Weintraub provided a brief introduction of the project. Project Architect Charles Theobald described the project including existing nonconforming conditions. No members of the public spoke on the project.

ADR Group Member Winey provided the following comments:

- The proposed addition resolves existing “funky” roof conditions. The proposed materials and colors match the existing residence.
- He recommended adding a window at the south elevation upper story for consistent fenestration pattern and to fill a wall expanse.
- He recommended that the existing air conditioner unit not be installed at the new side elevation.
- He indicated that the existing rooftop chimney/vent enclosure provided visual interest and balance to the roof form and could be retained if desired.

ADR Group Member Fritts provided the following comments:

- He agreed with ADR Group Member Winey’s comments regarding the merits of adding a window to the south elevation upper story and removing the air conditioner unit from the side elevation.

ADR Group Member Sutro provided the following comments:

- He stated that the proposed design looks great. He noted that the proposed new bedrooms are small which is a function of the existing structure.

ADR Group Member Buckingham submitted the following comments in writing which were entered into the record by ADR Group Member Fritts:

- She noted that “the front elevation remains unresolved, particularly the section directly above the front door”. She recommended a façade treatment to address the “flat, windowless expanse of shingles” at the south elevation upper story.
- She recommended relocating the air conditioner unit away from neighbors and out of sight.

Mr. Theobald replied that he would investigate revising the south elevation upper story fenestration/façade treatment, which could affect the interior plan, and relocating and/or omitting the exterior air conditioner unit to address the ADR Group comments.

There was a brief discussion of permitting requirements for solar energy systems, which is not proposed by the project.

ADR Group Member Fritts stated that the project did not require further review by the ADR Group. He closed the hearing.

5. Communications

- a. **Staff** – Planner Weintraub provided information on ADR Group 2020 Meeting dates and Member availability.
- b. **Advisory Design Review Group** – ADR Group Members provided updates regarding Member availability.

6. Approval of Minutes – October 25, 2020

ADR Group Member Fritts made a motion to approve the minutes. The motion was seconded by ADR Group Member Winey. The minutes were approved by a vote of 3-0.

ADR Group Member Fritts made a motion to adjourn the meeting. The motion was seconded by ADR Group Member Winey. The meeting was adjourned at 8:10 PM by a vote of 3-0.

ATTACHMENT 6



Charles Theobald <star7arch@gmail.com>

4 Willow Hill Road - Neighbor Memo

1 message

Martha Delgado <martha.p.delgado@gmail.com>

Mon, Jan 13, 2020 at 12:36 PM

To: Charles Theobald <star7arch@gmail.com>

Hi Charlie,

Thank you for all the work you are doing on our remodel project. As I mentioned to you when we spoke, we have reached out to our neighbors the Uhleins (9 Willow Hill Road), the Graces (7 Willow Hill Road) and Scott Fletcher (3 Willow Hill Road) regarding our project and they are all supportive as it doesn't impact their view or their properties in any way. As you know Mrs. O'Neill (2 Willow Hill Road) is approaching 100 (she might be 98 or 99) and it is difficult to get a hold of her as she doesn't use e-mail and she doesn't take visitors given her advanced age.

Let me know what else you may need.

Cheers,

Martha

Sent from my iPad