



Agenda Item No. 16.

Staff Report

Date: June 14, 2016

To: Mayor Hoertkorn and Council Members

From: Heidi Scoble, Planning Manager

Subject: Hobbs Residence, 187 Lagunitas Road, File No. 2016-018

Recommendation

Town Council adopt Resolution 1956 conditionally approving a Demolition Permit, Design Review, a Hillside Lot Permit, a Use Permit, and Tree Removal Permit for the demolition and new construction of a single family residence, a detached garage, a guest house, and the removal of 6 redwood trees.

Property Information:

Owner: James and Helen Hobbs
Design Professional: Ross Dotter
Location: 187 Lagunitas Road
A.P. Number: 73-211-39
Zoning: R-1:B-A (Single Family Residence, 1-acre min. lot size)
General Plan: Very Low Density (.1-1Unit/Acre)
Flood Zone: Zone X (outside 1-percent annual chance floodplain)

PROJECT DATA			
	Zoning Requirements	Existing	Proposed
Lot Area	7,500 square feet	3.01 Acres (131,115 square feet)	No change
Floor Area (FAR)	8,233*	2,825 sq. ft.	3,438 sq. ft.
Lot Coverage	15%	7,225 sq. ft. (5.5%)	6,899 sq. ft. (5.2%)
Impervious Surface	-	7,482 sq. ft. (5.7%)	4,797 sq. ft. (3.6%)
Height	30 Feet	17.5 Feet- Residence 14.25 Feet- Garage	21.75 Feet- Residence 14.5 Feet- Garage 15 Feet- Guesthouse

Front Setback	25 Feet	43 Feet- Residence > 100 Feet - Garage	87 Feet- Residence 25 Feet- Garage > 100 Feet- Guest house
Right Side Setback	25 Feet**	67 Feet- Residence 84 Feet - Garage	27 Feet- Residence 55 Feet- Garage 69 Feet- Guest house
Left Side Setback	25 Feet**	17 Feet- Residence 17 Feet- Garage	25 Feet- Residence 47 Feet- Garage 25 Feet- Guest house
Rear Setback	40 Feet***	> 100 Feet- Residence > 100 Feet - Garage	> 100 Feet - Residence > 100 Feet - Garage > 100 Feet- Guest house

* Pursuant to Section 18.39.090(a) of the Ross Municipal Code, the maximum permitted floor area is reduced to 8,233 square feet.

** Pursuant to Section 18.39.090(b) of the Ross Municipal Code, if the building square footage is below 3,500 square feet, then the side yard setbacks shall be 25 feet. If the building square footage is over 3,500 square feet, the side yard setbacks shall be increased to 45 feet.

*** Pursuant to Section 18.39.090(b) of the Ross Municipal Code, if the building square footage is below 3,500 square feet, then the rear yard setback shall be 40 feet. If the building square footage is over 3,500 square feet, the rear yard setback shall be increased to 70 feet.

Project Description

The applicant is requesting a Demolition Permit, Design Review, a Hillside Lot Permit, a Use Permit, and a Tree Removal Permit to allow for the demolition of the existing residence and detached garage and the new construction of a 2,068 square foot single family residence, a 525 square foot detached garage, and a 845 square foot guest house. The project would include a revised architectural layout and design of the site, in addition to proposing the following materials and colors:

1. Standing seam metal roof colored dark grey for the residence and garage
2. Rusted Cor-10 metal roofing for the dormers on the residence
3. Rusted Cor-10 metal roofing for the guesthouse
4. Cedar board and batten siding that would age to a natural grey
5. Horizontal cedar siding that would age to a natural grey
6. Vertical cedar board garage door
7. Natural aged trim for the windows
8. Metal clad wood windows colored dark green
9. Natural stone veneer for the base of the building

The project is designed with a landscape plan that includes a combination of trees, shrubs, perennials, and native grasses. As the project would also include the removal of five 24" redwood trees and one 30" redwood tree, the applicant is proposing six 36" box Dogwoods and thirteen 36" box Laurels to replace the trees that would be removed.

The proposed project requires the following permits.

- **A Demolition Permit is required pursuant to Ross Municipal Code (RMC) Section 18.50.020** because the project would result in demolition of more than 25% of existing walls and exterior wall coverings of the main residence and to allow the new construction of a single family residence, detached garage, and guesthouse.
- **Design Review is required pursuant to Ross Municipal Code (RMC) Section 18.41.020** because the proposed improvements would result in demolition of more than 25% of existing walls and exterior wall coverings.
- **A Hillside Lot Permit is required pursuant to RMC Chapter 18.39.020** because a slope of project site is thirty percent or greater and is partially located within Hazard Zone 4 as identified on the town slope stability map.
- **A Use Permit is required pursuant to RMC Chapter 18.16.030.b** to allow for the use of a guest house in a single family residential zoning district.
- **A Tree Removal Permit is required pursuant to Ross Municipal Code (RMC) Section 12-24.080** to allow for the removal of significant tree (12" in diameter or greater) on improved land.

Background and Discussion

The project site is approximately 111 feet wide and over 1,000 feet in depth. The average slope is approximately 36%. The developed portion of the lot is relatively flat for first approximately 275 feet and then slopes upward towards the south. Access to the project site is via a 14-foot wide private driveway that extends from the property boundary, continues along the southern boundary of 189 Lagunitas Road and connects to Lagunitas Road right-of-way.

The project site is currently development with a single-family residence and detached garage structure. The Marin County Assessor's identifies the original residence was constructed circa 1920.

Advisory Design Group Review

The project received Advisory Design Review (ADR) Group review on February 23, 2016. The ADR Group stated that the project was well designed in terms of mass, scale, height, layout, and use of materials. The ADR Group also supports the amount and location of the trees to be removed. The ADR Group concluded their review by providing the following recommendation:

1. Consider modifying the massing and articulation of the garage so that the garage is less prominent in appearance than the main residence. Additionally consider the use of a stone sill and copper flashing.
2. Consider book-ending the residence with stone walls in order to tie the residence in with the landscaping.
3. Consider redesigning the entryway to make the entry more inviting.
4. Include fascia details of the standing seam metal roof when a formal application is submitted for Town Council Design Review.

5. Provide a detailed Landscaping Plan that provides screening between the adjacent properties.
6. Consider utilizing materials that provide an appearance of texturing of the roof, in addition to using a non-factory, natural finish.

The applicant has opted to keep the architecture of the project the same as that which was presented to the ADR Group in February 2016. The applicant has provided a landscape plan that demonstrates screening between adjacent properties.

Key Issues

Architectural Design

In reviewing the project, the following design review criteria and standards are most relevant to the project:

1. There should be a balanced and harmonious relationship among structures on the site, between structures and the site itself, and between structures on the site and on neighboring properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land forms and step with the slope in order to minimize building mass, bulk, and height and integrate the structure with the site.
2. New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.
3. To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single-plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.
4. Buildings should use materials and colors that minimize visual impacts, blend with the existing land forms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.
5. Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.

6. Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.
7. Landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.

As supported by the ADR Group, staff suggests the project is designed with a high quality design and materials that would blend well with the project setting. The project is designed with low profile buildings that are oriented to break up the mass and scale of each building. The project is also designed to incorporate the use of earth-tone colors and natural materials. Staff also suggests that the project provides a balanced relationship among structures on the site, as well as between structures and on neighboring properties through good site design, use of existing vegetation, and additional landscape screening as shown on the proposed landscape plan.

Hillside Lot Regulations

Staff suggests the project is designed in compliance with the hillside lot design regulations and guidelines as follows:

1. The project floor area is 3,438 square feet, where a maximum of 8,233 square feet may be permitted.
2. The project is designed within the requisite setbacks.
3. The project is designed with minimal grading.
4. The project architecture is designed to blend into the project setting.
5. The project is designed with high quality materials and subdued earth-tone colors to blend into the project setting.
6. The project provides a comprehensive landscape plan consistent with the guidelines.
7. The project would not create and view impacts from surrounding properties.
8. The project is not located on a ridge.
9. The project would be required to provide to install a Class A roof and fire sprinkler to address fire requirements.
10. A vegetation management plan has been prepared and submitted to the Ross Valley Fire Department to adhere to the California Fire Code.
11. Prior to issuance of a building permit, the project would be required to comply with the wildland urban interface building standards in Chapter 7A of the California Building Code.
12. The project has been designed with adequate pedestrian and vehicular circulation to and on-site.

Guesthouse

A guest house is a conditionally permitted use within a single family residential zoning district. Although a guest house may have the appearance of a second residential unit, the difference between the two is that a guest house may only be used by family members/guests of the main residence and may not be rented pursuant to Section 18.12.170 of the Ross Municipal Code.

In order to grant a Use Permit for the guest house, the Town Council must find that the guest house would not be detrimental to the health, safety, morals, comfort, convenience, or general welfare of persons residing or working in the neighborhood of the use and will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood. Additionally, in granting the Use Permit, the Town Council may impose conditions of approval to ensure the protection to the public welfare and property or improvements.

Staff suggests the Use Permit finding can be supported with a condition of approval that would allow the Town to require additional landscape screening for up to five years after the construction of the guest house to ensure the adjacent properties (181, 183, and 185 Lagunitas Road) in the neighborhood are sufficiently screened from the guest house.

Public Comment

Public Notices were mailed to property owners within 300 feet of the project site. Three Neighbor Acknowledgement Forms have been submitted to the Town from the property owners at 183, 185, and 191 Lagunitas Road. The property owner at 181 Lagunitas Road has submitted an email expressing concerns regarding the scope of the development.

Fiscal, resource and timeline impacts

If approved, the project would be subject to one-time fees for a building permit, and associated impact fees, which are based the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no operating or funding impacts associated with the project as the project applicant would be required to pay the necessary fees for Town staff's review of future building permit plan check and inspection fees.

Alternative actions

1. Continue the project for modifications; or
2. Make findings to deny the application.

Environmental review (if applicable)

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15303 –*new construction or conversion of small structures*, because the project would consist of the new construction of a single family residence, detached garage, and detached guest house with no potential for any adverse environmental impacts. No exception set forth in Section 15301.2 of the CEQA Guidelines applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources; (b), which relates to cumulative impacts; Subsection (c), which relates to unusual circumstances; or Subsection (f), which relates to historical resources.

Attachments

1. Resolution 1948

2. Project History
3. Applicant project information
4. Project plans
5. Neighborhood Acknowledgement Forms
6. Email from Richard Hoertkorn, 181 Lagunitas Road

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 1956

A RESOLUTION OF THE TOWN OF ROSS APPROVING A DEMOLITION PERMIT, DESIGN REVIEW, A HILLSIDE LOT PERMIT, A USE PERMIT, AND A TREE REMOVAL PERMIT TO ALLOW THE NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE, DETACHED GARAGE, AND GUEST HOUSE AT 187 LAGUNITAS ROAD, APN 073-211-39

WHEREAS, Dotter and Solfjeld Architecture and Design have submitted an application on behalf of property owners James and Helen Hobbs, for a Demolition Permit, Design Review, Hillside Lot Permit, Use Permit, and Tree Removal Permit to allow for the demolition of the existing residence and detached accessory structure and the new construction of a 2,068 square foot single family residence, a 525 square foot detached garage, a 845 square foot guest house, and the removal of six redwood trees at 187 Lagunitas Road (the "project"); and

WHEREAS, the project was determined to be categorically exempt from further environmental review pursuant to the California Environmental Quality Act (CEQA) Guideline Section 15303 –*new construction or conversion of small structures*, because the project consist of the new construction of a single family residence and detached accessory structures where there is no potential for environmental impacts. No exception set forth in Section 15301.2 of the CEQA Guidelines applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources; (b), which relates to cumulative impacts; Subsection (c), which relates to unusual circumstances; or Subsection (f), which relates to historical resources; and

WHEREAS, on June 14, 2016, the Town Council held a duly noticed public hearing to consider the proposed project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff report, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit "A", and approves a Demolition Permit, Design Review, Hillside Lot Permit, Use Permit, and a Tree Removal Permit for the project described herein located at 187 Lagunitas Road subject to the Conditions of Approval attached as Exhibit "B".

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 14th day of June 2016, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Kathleen Hoertkorn, Mayor

ATTEST:

Linda Lopez, Town Clerk

EXHIBIT "A"
FINDINGS TO APPROVE
187 LAGUNITAS ROAD
APN 073-211-39

A. Findings

I. Demolition Permit (RMC § 18.50.060) - Approval of a Demolition Permit for removal of existing single family residence is based on the findings outlined in Ross Municipal Code Section 18.50.060 as described below:

- a) The demolition would not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.**

The Demolition Permit is required to allow the demolition of more than 25% of the existing residence, in addition to allowing the remodel to the existing single family residence, which includes the installation of new windows, doors, and the removal of the existing chimney. The demolition related to the project would not negatively affect the aesthetic value of the existing residence as the entire scope of the project would result in a remodel of an existing residence that would maintain a similar mass, bulk, and scale as the existing residence.

- b) The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town.**

As summarized in June 14, 2016 staff report, the project would retain a similar massing, in addition to providing an enhanced architectural design and high quality materials that would be in keeping with small town quality and feeling of the town.

- c) The project is consistent with the Ross general plan and zoning ordinance.**

The project is consistent with the Ross general plan's very low land use designation, in addition to the R-1:B-A zoning district general development standards, in addition to the design review criteria and standards pursuant to Section 18.41.100 of the Ross Municipal Code, in addition to the hillside lot regulations and guidelines pursuant to Section 18.39.090 of the Ross Municipal Code.

- d) The project will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the neighborhood and will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

The project would be required to comply with the Town's Building Code and Fire Code requirements, therefore ensuring the health, safety, and general welfare of the residence residing or working in the neighborhood.

II. In accordance with Ross Municipal Code Section 18.41.070, Design Review is approved based on the following findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in Ross Municipal Code Section 18.41.010:

The project would meet the purpose of the Design Review chapter through its high quality design and materials. The project is designed with a similar architectural style and materials of the existing residence. The project would not impact the "small town" character of the Town because the project is designed to be consistent with the mass, bulk, and style of the existing residence and garage, in addition to the neighborhood development pattern. As conditioned, the project would also minimize visibility with landscaping to soften the appearance of the guest house to ensure to adverse impacts on any surrounding neighbors. Additionally, the project would not impact any unique environmental resources due to the location of the project site relative to any sensitive wildlife habitat, species, and/or creeks. Lastly, the project would be required to address drainage and stormwater prior to issuance of any building permit to allow for the construction of the project.

b) The project is in substantial compliance with the design criteria of Ross Municipal Code Section 18.41.100.

As summarized in June 14, 2016 staff report, the project would be consistent with the design review criteria and standards relative to architectural design, materials, colors, and landscaping. Specifically, the project is designed with low profile buildings and oriented on site to break up the mass and scale of each building. The project would also be designed to incorporate the use of earth-tone colors and natural materials. Furthermore, the project would provide a balanced relationship among structures on the site, as well as between structures and on neighboring properties through good site design, use of existing vegetation, and additional landscape screening as shown on the proposed landscape plan. Lastly, the project would address health and safety through the issuance of a building permit to ensure compliance with the building, public works, and fire code regulations.

c) The project is consistent with the Ross General Plan and zoning ordinance.

As previously discussed, the scope of the project is consistent with the allowed structures and uses, in addition to conditionally permitted uses that may be permitted within the Very Low Density land use designation of the General Plan and the single family residential zoning district.

III. In accordance with Ross Municipal Code Section 18.39.060, a Hillside Lot Permit is approved based on the following findings:

(1) The project complies with the stated purposes of this Chapter;

(2) The project complies with the development regulations of Section 18.39.090, or that the Town Council has considered and approved a variance; and

The project is designed in compliance with the hillside lot design regulations and guidelines as follows:

1. The project floor area is 3,438 square feet, where 8,233 square feet may be permitted.
2. The project is designed within the requisite setbacks.
3. The project is designed with minimal grading.
4. The project architecture is designed to blend into the project setting.
5. The project is designed with high quality materials and subdued earth-tone colors to blend into the project setting.
6. The project provides a comprehensive landscape plan consistent with the guidelines.
7. The project would not create and view impacts from surrounding properties.
8. The project is not located on a ridge.
9. The project would be required to provide to install a Class A roof and fire sprinkler to address fire requirements.
10. A vegetation management plan has been prepared and submitted to the Ross Valley Fire Department to adhere to the California Fire Code.
11. Prior to issuance of a building permit, the project would be required to comply with the wildland urban interface building standards in Chapter 7A of the California Building Code.
12. The project has been designed with adequate pedestrian and vehicular circulation to and on-site.

(3) The project substantially conforms to the hillside development guidelines in Section 18.39.090.

As supported by the previous finding, the project is designed to be in compliance with the hillside development guidelines.

IV. In accordance with Ross Municipal Code Section 18.44.030, a Use Permit is approved based on the following finding:

The establishment, maintenance, or conducting of the use for which the use permit is sought will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort, convenience, or general welfare of persons residing or working in the neighborhood of the use and will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

V. In accordance with Ross Municipal Code Section 12.24.080, a Tree Removal permit is approved based on the following findings:

1. The alteration or removal is necessary to allow the economic enjoyment of the property, such as construction of improvements because some of the trees are located over the most feasible development area;
2. The alteration or removal would not adversely impact the subject property or neighboring properties because a large number of trees will remain;
3. Tree removal would not result in significant erosion or the diversion of increased flows of surface water because engineered fill would be placed where stumps are removed;
4. The alteration or removal is necessary due to the Ross Valley Fire Department's requirements for improved on-site circulation. The Ross Valley Fire Department has also approved a Vegetation Management Plan that includes tree removal that is required to comply with state mandated defensible space criteria.

EXHIBIT "B"
CONDITIONS OF APPROVAL
187 LAGUNITAS ROAD
APN 073-211-39

1. This approval authorizes a Demolition Permit, Design Review, Hillside Lot Permit, Use Permit, and Tree Removal Permit to allow for the demolition of the existing residence and detached accessory structure and the new construction of a 2,068 square foot single family residence, a 525 square foot detached garage, a 845 square foot guest house, and the removal of six redwood trees at 187 Lagunitas Road.
2. The building permit shall substantially conform to the plans entitled, "Hobbs Residence" consisting of 16 sheets prepared by Dotter and Solfjeld Architecture and Design, date stamped received March 31, 2016.
3. Prior to issuance of a building permit, the following conditions of approval shall be reproduced on the cover sheet of the plans submitted for a building permit. The property owner shall certify on the building permit plans that they have read and agree to the following conditions.
4. The Town Council reserves the right to require additional landscape screening for up to five (5) years from project final to ensure adequate screening for the properties at 181, 183, and 185 Lagunitas Road.
5. Except as otherwise provided in these conditions, the project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
6. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the project and will not extend the permitted construction period.
7. Prior to Building Permit Issuance, the applicant shall submit proposed exterior lighting fixtures if any new lighting will be installed as a result of the project. All lighting shall be shielded (no bare bulb light fixtures or down lights that may be visible from down-slope sites). Exterior lighting of landscaping by any means shall not be permitted if it creates glare, hazard or annoyance for adjacent property owners. Lighting expressly designed to light exterior walls or fences that is visible from adjacent properties or public right-of-ways is prohibited. No up lighting is permitted. Interior and exterior lighting fixtures shall be

selected to enable maximum “cut-off” appropriate for the light source so as to strictly control the direction and pattern of light and eliminate spill light to neighboring properties or a glowing night time character.

8. The project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
 - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
 - b. A registered Architect or Engineer’s stamp and signature must be placed on all plan pages.
 - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the project. Any additional costs incurred by the Town, including costs to inspect or review the project, shall be paid as incurred and prior to project final.
 - d. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The Plan shall include signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a “back-up” system (ie temporary seedin nd mulching or straw matting).
 - e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Building Official/Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the completion of the project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.
 - f. The drainage design shall comply with the Town’s stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the building official/public works director, who may consult with the town hydrologist at the applicants’ expense (a deposit may be required). The plan shall be designed, at a

minimum, to produce no net increase in peak runoff from the site compared to pre-project conditions (no net increase standard). As far as practically feasible, the plan shall be designed to produce a net decrease in peak runoff from the site compared to pre-project conditions. Applicants are encouraged to submit a drainage plan designed to produce peak runoff from the site that is the same or less than estimated natural, predevelopment conditions which existed at the site prior to installation of impermeable surfaces and other landscape changes (natural predevelopment rate standard). Construction of the drainage system shall be supervised, inspected and accepted by a professional engineer and certified as-built drawings of the constructed facilities and a letter of certification shall be provided to the Town building department prior to project final.

- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of the building official, in consultation with the Planning Manager and police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas.
- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the building official. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A Final construction management plan shall be submitted in time to be incorporated into the job.
- k. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building/Public Works and Ross Valley Fire Department and the Town building inspector is required prior to issuance of the building permit to review conditions of approval for the project and the construction management plan.
- l. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- m. The Building Official and other Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.

- n. Inspections shall not be provided unless the Town-approved building permit plans are available on site.
- o. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- p. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved. (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- q. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and right-of-ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- r. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- s. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.

- t. The project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- u. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.
- v. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- w. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- x. The applicant shall submit an erosion control plan with the building permit application for review by the building official/director of public works. The plan shall include a signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediments controls as a "back-up" system. (Temporary seeding and mulching or straw matting are effective controls).
- y. The Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc, are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
 - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.

9. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding ("action") against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or alleging any other liability or damages based upon, caused by, or related to the approval of the project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorneys fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2

April 12, 1990

20. Lot Line Adjustments.

- a. Judy Shillinger, 187 Lagunitas Road, AP 73-211-26, 5 Acre Zone and John Jones, 189 Lagunitas Road, AP #73-211-27, 5 Acre Zone. Request is to allow a lot line adjustment as identified below:

Judy Shillinger, 187 Lagunitas, AP #73-211-26

Existing Acreage: 2.02
Proposed Acreage: 3.012

John Jones, 189 Lagunitas, AP #73-211-27

Existing Acreage: 2.02
Proposed Acreage: 1.001

Ms. Shillinger addressed the Council and stated that presently her property is nonconforming on both side yard setbacks; the lot line adjustment would eliminate the nonconformity on one of the side yards.

Mr. John Jones stated that this lot line would give both applicants more privacy. He explained that several years ago he had requested permission to construct a garage but that request had been denied and he had built a carport instead.

Mayor Brekhus pointed out that a letter of concern had been received from a neighbor re any proposed plans for the front area of the property. Mr. Jones said that he currently had no plans other than moving the existing carport to the side, and back 30 feet and he said he might construct a circular driveway. He stated that he would agree to never construct a structure forward of a parallel line drawn from the front of the existing residence to each side property line.

Mayor Brekhus stated he would have no objection to a circular driveway.

The Council heard from Mr. Henry Moody of 187 Lagunitas. He said he had written a letter because his property is directly across the street and he expressed concern over any visual impact from his home.

After some discussion, Councilman Goodman moved approval of the Lot Line Adjustment subject to the condition that no structures be built in the front yard; i.e., forward of the existing line of the house; however, the applicant could construct a driveway. This was seconded by Councilman Lill and passed unanimously.

- b. Phillip and Beverly Paisley, 31 Baywood Avenue, AP #72-071-03, 20,000 sq. ft. zone and Jack and Rita Garvey, 4 Fallen Leaf, AP #72-071-11, 20,000 sq. ft. zone. The applicants propose to divide AP #72-071-04 now held in joint ownership. The subject property will be incorporated into the property identified below:

Phillip & Beverly Paisley, 31 Baywood, AP #72-071-04

Existing Acreage: .24
Proposed Acreage: .49

Jack and Rita Garvey, 4 Fallen Leaf, AP #72-071-11

Existing Acreage: .55

4-12-90

approval. Mayor Allen did not think a second hydrant is needed.

Mr. Chase moved that the matter be carried over to the May meeting. Mr. Jones seconded the motion, which passed by a four to one vote, Mr. Allen dissenting.

10. Variances.

1. Dr. and Mrs. D. Gwnn Thomson, 445 Lagunitas Road (73-211-20)

4-8-71
A letter from Dr. Thomson was acknowledged, in which he asked that the variance be withdrawn because he felt a 10 foot chain link fence would not enhance the community.

2. Louis and Barbara Lundborg, 102 Ivy Drive (73-143-12) 10,000 sq. ft. zone. Variance and hill side lot application. No. 362

Request to construct bedroom and bath under existing garage and enclose stairway, with storage at west wall of garage and enclose deck area to provide dining room, on lot having an average slope in excess of 30%. Previous application for use permit withdrawn.

Mr. Lundborg explained the new plans, which the council found were greatly improved. Mr. Chase moved approval of the applications, Mrs. Osterloh seconded and the motion was unanimously passed.

3. Donald David Foster, 15 Bolinas Ave. (73-052-07) 5,000 sq. ft. zone. No. 363

4-8-71
Construction of 4'3" x 4'9" half-bath in existing deck area of non-conforming house.

Mr. Cecil Godfrey, contractor, explained that Mr. Foster's health requires the new room. Mr. Maginis moved granting the variance, Mr. Chase seconded and the motion was unanimously passed.

4. Danil and Judy Shillinger, 433 Lagunitas Road (73-211-26) Acre Zone. No. 364

Addition of 19' x 14' living room and modifications to non-conforming house.

Mr. Shillinger explained that his two acre lot is 65 feet in width and 640 feet long and therefor any construction requires a variance because of the narrowness of the lot. Mr. Jones said the shape of the lot constituted a hardship and moved granting the variance. Mr. Maginis seconded the motion, which passed unanimously.

-4-

9. Variances.a. Fanny Becker, 72 Shady Lane (73-101-03)

Request for continuance of non-conforming rental unit located on the same lot as main residence. (variance requested from provision of Ordinance #225 which provides for termination of non-conforming multiple family usage of property on February 10, 1968). Mrs. Becker stated that rental of the cottage on her property is necessary for her living expenses, taxes and maintenance costs and that she had not applied for an extension at the time the Ordinance was passed because she was unaware of its passage. Mr. McAndrew felt the Council must be governed by the integrity of the Ordinance and that allowing a variance from the Ordinance would set a precedent to allow other rental owners to plead the same grievances and even open the door for property owners who have rental units which they are not now allowed to rent.

Mrs. John Lord questioned the legality of the Ordinance and wondered if property taxes would decrease when rental units can no longer be used. Mr. Schenck stated that the Town can eliminate non conforming uses of property if property owners are given sufficient time to amortize their investments, and that when rental units are no longer allowed, property owners may apply for a use permit for a guest house.

Stating that he did not feel Mrs. Becker had shown sufficient hardship to warrant a variance and that the Ordinance should be upheld, Mr. Martinelli moved that the variance be denied. Mr. Jones seconded the motion, which was unanimously passed.

b. Variance No. 291, Henry A. Haberman, 433 Lagunitas Road & 73-211-029 Acre Zone. Addition of 10' x 23' wood deck over existing concrete porch and steps of non-conforming house 10' from west sideline. Mr. Jones moved that the variance be granted, Mr. Martinelli seconded and the motion was unanimously passed.

10. Television Cable Applications.

Applications from Clear View Cable Systems, Tele-Vue Systems and Cable Television of Marin were acknowledged and given to the Town Attorney for study and report.

NOTICE
Nuisance Abatement
Town of Ross

Posted: February 4, 2013

This is a 10 day notice, under Ross Municipal Code Section 9.04.150, that that Town has determined that a nuisance exists upon 187 Lagunitas Road, Ross, and that the Town demands that you abate the nuisance. Please refer to the letter that was mailed to the property owner on January 24, 2013.

If the nuisance is not abated within 10 days of this posting, the Town Council may cause the nuisance to be abated at the expense of the property owner. The Council will consider adopting a nuisance abatement order at their meeting at 4:00 p.m. on February 13, 2013, at Ross Town Hall, 31 Sir Francis Drake Boulevard, at the corner of Sir Francis Drake Boulevard and Lagunitas Road.

For further information, please contact Elise Semonian, Senior Planner, (415) 453-1453, extension 121, or esemonian@townofross.org.

Elise Semonian

From: Lynn Langford [lynnlangford@me.com]
Sent: Monday, April 01, 2013 3:25 PM
To: Elise Semonian
Cc: Helen Hobbs
Subject: Cottage at 187 Lagunitas is dismantled
Attachments: photo.JPG; ATT00001.txt

Elise, the cottage at 187 Lagunitas is dismantled and now off site.

Lynn

ATTACHMENT 3

DN/DC/HCLUP 2012 - 0



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Phone (415) 453-1453, Ext. 121

Web www.townofross.org

Fax (415) 453-1950

Email hscoble@townofross.org

Staff Use Only	
Received By:	HS
Date:	3/31/12
Fees Paid:	6554.95
Date:	3/31/12

6109-5300
445-95-5313

PLANNING PERMIT APPLICATION

Type of Application (check all that apply):

☒ Design Review

☐ Variance(s)

☒ Hillside Lot Application

☐ Basement or Attic Exception

☐ Other:

☐ Residential Second Unit

☒ Use Permit

☐ Minor Exception

☒ Demolition Permit

Parcel Address and Assessor's Parcel No. 073-211-39

Owner(s) of Parcel JAMES & HELEN HOBBS

Mailing Address (PO Box in Ross) 465 36TH AVE

City SAN FRANCISCO State CA. ZIP 94121

Day Phone 415-370-7144 Evening Phone _____

Email jamesdhobbs@gmail.com

Architect (Or applicant if not owner) RUSS DOTTER

Mailing Address 4801 PARK BLVD.

City OAKLAND State CA. ZIP 94602

Phone 510-530-9231

Email dottersol@gmail.com

Primary Contact for Application (name) RUSS DOTTER

Existing and Proposed Conditions (For definitions please refer to attached fact sheet.)

Gross Lot Size 131,115 sq. ft. Lot Area 3.01 ACRES sq. ft.

Existing Lot Coverage 7225 sq. ft. Existing Floor Area 2,825 sq. ft.

Existing Lot Coverage 5.5 % Existing Floor Area Ratio 2.025 .2 %

Coverage Removed 326 sq. ft. Floor Area Removed 0 sq. ft.

Coverage Added 0 sq. ft. Floor Area Added 613 sq. ft.

Net Change- Coverage - 326 sq. ft. Net Change- Floor Area + 613 sq. ft.
 Proposed Lot Coverage 6,899 sq. ft. Proposed Floor Area 3,438 sq. ft.
 Proposed Lot Coverage 5.2% Proposed Floor Area Ratio 3,438 9.8%
 Existing Impervious Areas 7,482 sq. ft. Proposed Impervious Areas 4,797 sq. ft.
 Existing Impervious Areas 5.7% Proposed Impervious Areas %
 Proposed New Retaining Wall Construction ft. (length) ft. (max height)
 Proposed Cut 380 cubic yards Proposed Fill 0 cubic yards

Written Project Description – may be attached.

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

THE EXISTING RESIDENCE IS TO BE DEMOLISHED
AND REPLACED WITH A NEW ONE STORY WITH
LOFT 2,068 # SINGLE FAMILY RESIDENCE.
THE MAIN RESIDENCE WILL CONSIST OF 2
ELEMENTS CONNECTED BY AN ENCLOSED BRIDGE.
THE PRIMARY ELEMENT WILL CONTAIN THE ENTRY,
KITCHEN / DINING, LIVING ROOM, GUEST BEDROOM
AND BATH. ATTACHED TO THIS ELEMENT WILL BE
A LARGE SCREENED-IN PORCH. THE SECOND ELEMENT
WILL CONTAIN THE MASTER BEDROOM AND BATH.
THERE WILL BE AND A COVERED ENTRY PORCH
AND A COVERED PORCH OFF THE DINING AREA.
THE 525 # TWO CAR GARAGE WILL BE DETACHED.
THE 845 # GUEST COTTAGE (ORCHARD COTTAGE)
WILL BE A SEPARATE STRUCTURE.
ALL STRUCTURES WILL HAVE METAL ROOFS,

NATURAL REDWOOD SIDING, NATURAL STONE
VENEER AND CLAD WOOD WINDOWS

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm ARTERRA LANDSCAPE ARCHITECTS
 Project Landscape Architect VERA GATES / SCOTT YARNELL
 Mailing Address 88 MISSOURI ST.
 City SAN FRANCISCO State CA. ZIP 94107
 Phone 415-861-3100 Fax _____
 Email vera@arterrasf.com
 Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm CSW / STUBER - STROEH ENGINEERING GROUP
 Project Engineer WAYNE LEACH
 Mailing Address 45 LEVERONI COURT
 City NOVATO State CA. ZIP 94949
 Phone 415-883-9850 Fax 415-883-9836
 Email Wayne.Leach@cswest.com
 Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm THE PROFESSIONAL TREE CARE COMPANY
 Project Arborist NICK JAROS
 Mailing Address P.O. BOX 2377
 City BERKELEY State CA. ZIP 94702
 Phone 510-549-3954 Fax 510-549-3965
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

ATTACHMENT 4



682-WP "Floating" Waiver Wall Source features human construction and is available in two sizes, 1/8" white acrylic diffuse (CFL/INC) and clear tempered reflective glass (MR). The optional clear tempered glass offers full cut-off. The premium TGC polymer powder coat paint has 2.5 mil nominal thickness for superior protection against fade and wear.

Features

- Exterior Wall "Floating" Waiver Wall Downlight Luminaires
- Painted aluminum or solid bronze framed with white acrylic diffuser
- Integral electronic HPI, multi-volt 120/277V (347V Canada)
- Standard: Natural Bronze; Premium: Contact factory for finishes
- Supplied with a mounting back for a standard 4" x 3" box or spigot ring
- Clear textured reflective glass (MR)
- Optional clear tempered glass for full cut-off
- UL and CUL approved for wet locations

682-WP Series

Share

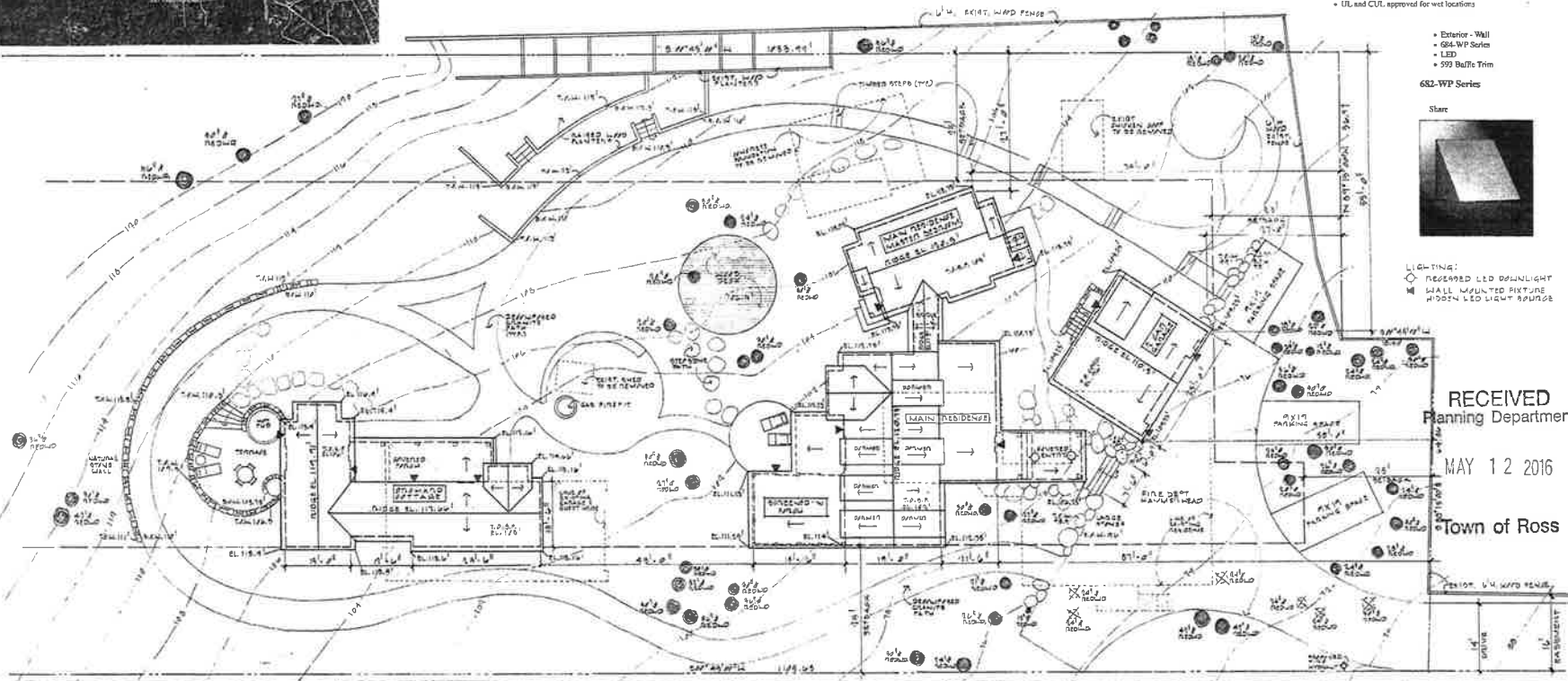


- LIGHTING:
- RECESSED LED DOWNLIGHT
 - WALL MOUNTED DOWNLIGHT
 - HIDDEN LED LIGHT RAILINGS

RECEIVED
Planning Department

MAY 12 2016

Town of Ross



ADDRESS/NO. PARCEL #	070-111-09
ADDRESS	107 LAGUNITAS RD., P.O. BOX 94, CA.
OWNER'S NAME	JAMES & HELEN WOODS
EXISTING USE	SINGLE FAMILY RESIDENCE
ZONE DISTRICT	R-1 BA
SIZE OF LOT	9.01 ACRES
EXIST. LOT COVERAGE	7.72 %
PROPOSED LOT COVERAGE	6.89 %
EXIST. PLANT AREA	2825 sq ft
PROPOSED PLANT AREA	9450 sq ft
EXIST. IMPERVIOUS AREA	4480 sq ft
PROPOSED IMPERVIOUS AREA	8657 sq ft

THE AVERAGE GRADE OF THE LOT IS 9.7%.
THE MAX. SLOPE AREA ALLOWED IS 5.1%.
THE PLANT AREA REQUIRED IS 9,450 sq ft.

PROPOSED LOT	900 SUBD. YARDS
PROPOSED FILL	0 SUBD. YARDS
EXISTING ON SITE PARKING	4 PARKING SPACES (REVERSED)
PROPOSED ON SITE PARKING	9 PARKING SPACES (REVERSED)
EXIST. HEIGHT OF MAIN RESIDENCE	17' 6" HIGHEST RIDGE
EXIST. HEIGHT OF DETACHED GARAGE	14' 0" "
PROPOSED HEIGHT OF MAIN RESIDENCE	17' 6" HIGHEST RIDGE
PROPOSED HEIGHT OF MAIN RESIDENCE	17' 6" HIGHEST RIDGE
PROPOSED HEIGHT OF DETACHED GARAGE	14' 0" "
PROPOSED HEIGHT OF DETACHED GARAGE	14' 0" "
MINIMUM DISTANCE FROM ALL PROPOSED STRUCTURES	25' SETBACK

SITE PLAN

107 111 09



HYDROLOG SHALL BE INSTALLED AND MADE SERVICABLE PRIOR TO DELIVERY OF PERMISSIBLE MATERIALS TO THE SITE.
SIGNAGE IN ACCORDANCE WITH TOWN OF ROSS VALLEY FIRE DEPARTMENT PLANTING REQUIREMENTS SHALL BE REQUIRED.
FIRE APPARATUS ACCESS SHALL BE INSTALLED AND MADE SERVICABLE PRIOR TO DELIVERY OF PERMISSIBLE MATERIALS TO THE SITE.

PLANNER:

JAMES & HELEN WOODS
609 9TH AVE.
SAN FRANCISCO, CA. 94111
415-670-1144
james@jameswoods.com

ARCHITECT:

PLANNED DEVELOPMENT ARCHITECTURE
8001 PARK BLVD.
OAKLAND, CA. 94617
916-880-1101
planned@planned.com

CIVIL ENGINEER:

WAYNE LEACH
P.E./SUDER-OTTEW ENGINEERING GROUP
475 LEBLANC ST.
HEALING, CA. 94544
415-505-1000
wayne@leach-engineering.com

LANDSCAPE ARCHITECT:

VERA GATES / GOTT TANNILL
ARTIST LANDSCAPE ARCHITECTS
80 MIDDLETOWN ST.
SAN FRANCISCO, CA. 94117
415-501-1100
vera@landscape.com

REVISIONS 01

Dotter & Solfield
Architecture + Design
OAKLAND, CALIFORNIA 94612
PHONE 510 530 9231 FAX 510 530 9233

WOODS RESIDENCE
107 LAGUNITAS ROAD, P.O. BOX 94, CALIFORNIA

Date 9-19-15

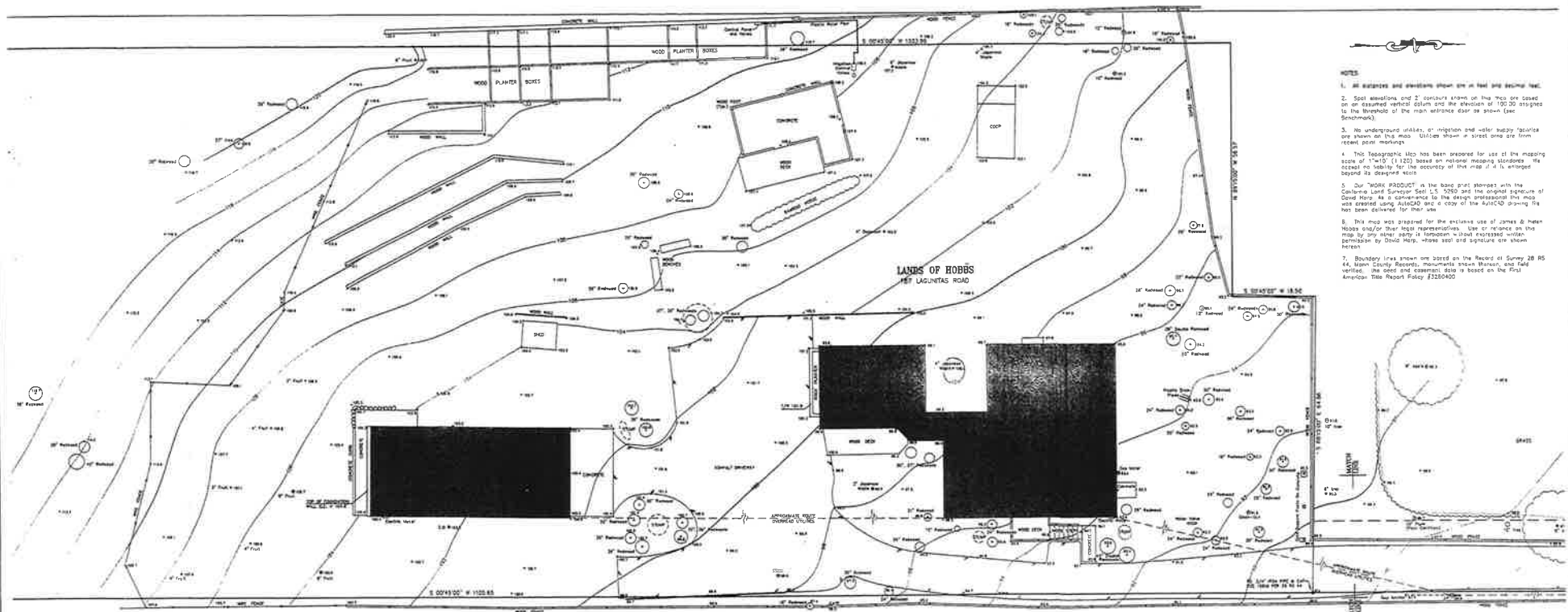
Scale

Drawn

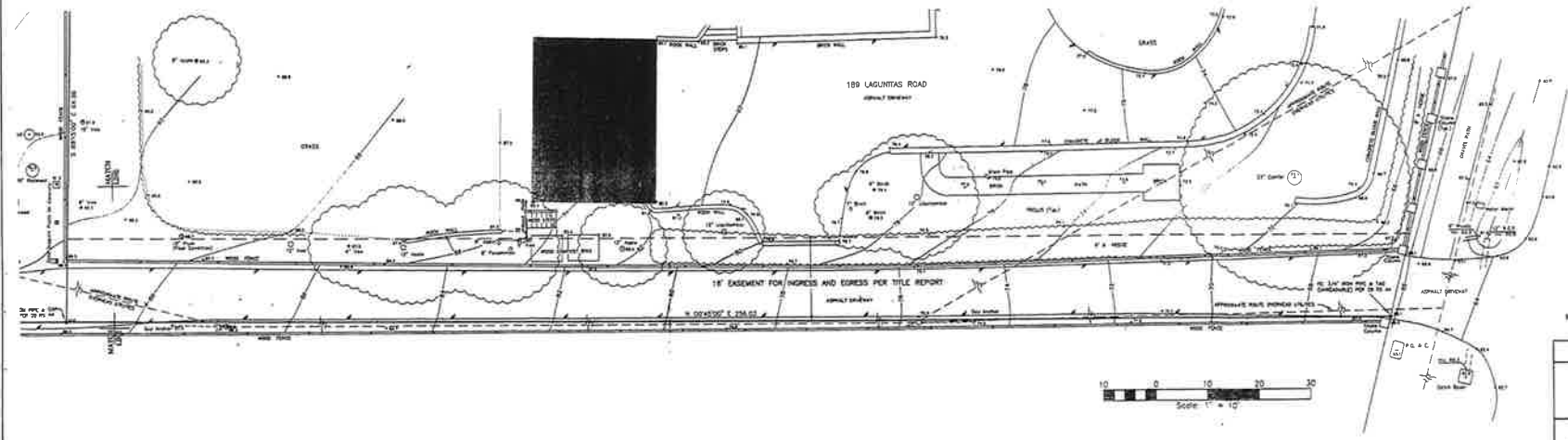
Job

Sheet

Of 1



- NOTES:
1. All structures and elevations shown are in feet and decimal feet.
 2. Spot elevations and 2' contours shown on this map are based on an assumed vertical datum and the elevation of 100.00 assigned to the benchmark of the main entrance door as shown (see Benchmark).
 3. The underground utilities, or irrigation and water supply facilities are shown on this map. Utilities shown in street area are from recent plan mapping.
 4. This topographic map has been prepared for use of the mapping scale of 1"=10' (1:120) based on national mapping standards. We cannot be liable for the accuracy of the map if it is enlarged beyond its designed scale.
 5. Our "WORK PRODUCT" is the final map delivered to the client. The California Land Surveyor Seal, L.S. 2080 and the original signature of David Harp as a consequence to the design professional this map was created using AutoCAD and a copy of the AutoCAD drawing file has been delivered for their use.
 6. This map was prepared for the exclusive use of James & Helen Hobbs and/or their legal representatives. Use or reliance on this map by any other party is forbidden without expressed written permission by David Harp, whose seal and signature are shown herein.
 7. Boundary lines shown are based on the Record of Survey 28 RS 44, San Joaquin County, monument shown thereon, and field verified. The deed and common area is based on the First American Title Report Policy #2280400.

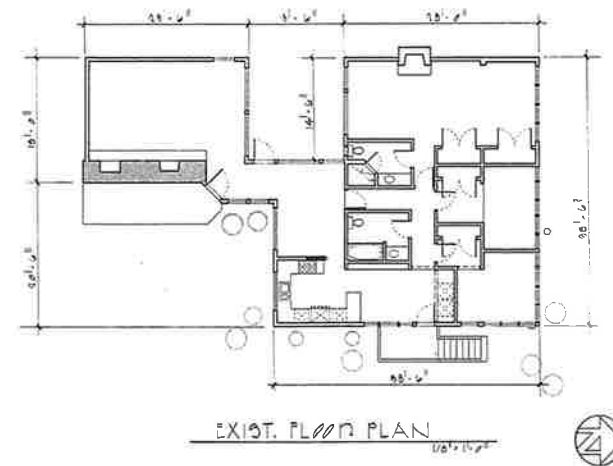
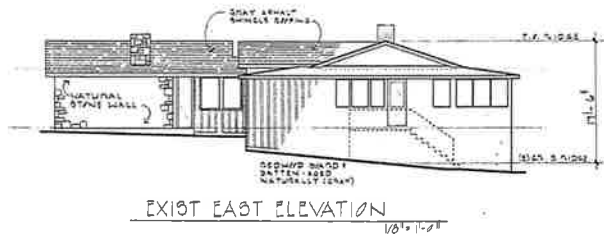
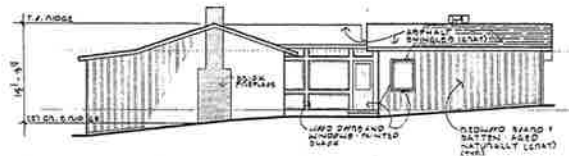


- LEGEND
1. TREE AND TRUNK SHOWN AS NOTED
 2. HATCH, SPOT ELEVATION
 3. BENCHMARK
 4. TOP OF WALL

REVISION: EXPANDED MAPPING INTO EASTERLY SIDE OF 189 LAGUNITAS D.M. 11/1/14

TOPOGRAPHIC SURVEY	
LANDS OF HOBBS 187 LAGUNITAS ROAD ROSS, CALIFORNIA	DATE: 03/25/14
	BY: DS
DAVID HARP & ASSOCIATES PROFESSIONAL LAND SURVEYORS 18 NUMBER 4TH STREET, SAN RAFAEL, CALIFORNIA 94903-1004	APPROVED BY: D.H.
	DATE: 03/25/14





EXISTING RESIDENCE TO BE DEMOLISHED

- Exterior - Wall
- 682-WP Series
- LED
- 393 Baffle Trim

682-WP Series

Share



682-WP "Flaming" Wedge Wall Soconex features bronze construction and is available in two sizes: 1/2" white acrylic diffuser (CTL/HC) and clear tempered refractive glass (MR). The optional clear tempered glass offers full cut-off. The premium TGC polymer powder coat paint has 2.5 mil nominal thickness for superior protection against fade and wear.

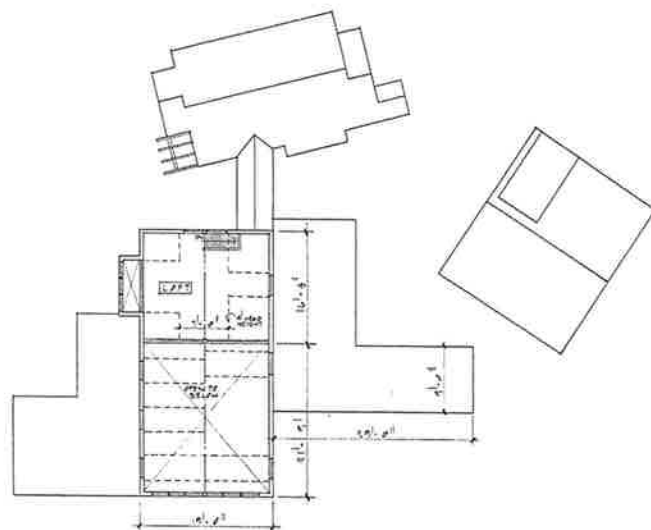
• Specification Sheets and Downloads

• Product Overview

• Specification Sheets and Downloads

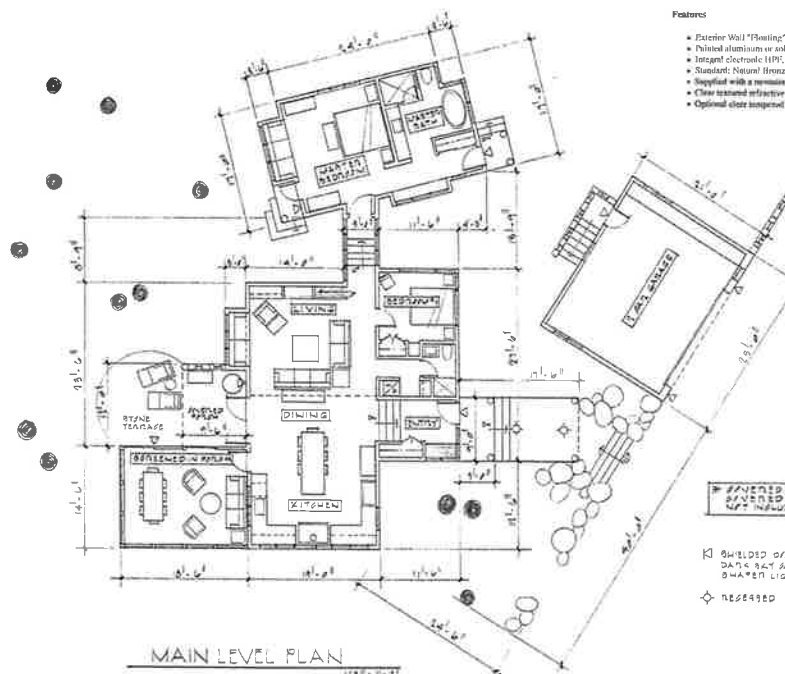
Features

- Exterior Wall "Flaming" Wedge Downlight Luminare
- Polished aluminum or solid bronze anodized with white acrylic diffuser
- Integral electronic (HPS, multi-watt 120/277V 3MTV Canada)
- Standard Natural Bronze; Premium Chrome Setup for Stainless
- Supplied with a mounting back for a standard 4" J box or stress ring
- Clear tempered refractive glass (MR)
- Optional clear tempered glass for full cut off



ROOF/LOFT PLAN

1/8" = 1'-0"



MAIN LEVEL PLAN

1/8" = 1'-0"

PROJECT PLANT AREA

MAIN RESIDENCE:	
MAIN LEVEL	1,024 sq ft
UPPER LEVEL	1,174 sq ft
RESERVED IN ROOM	3,633 sq ft
TOTAL MAIN RESIDENCE	5,831 sq ft
GARAGE	915 sq ft
POWDER SATTAGE	845 sq ft
TOTAL AREA	7,591 sq ft

RESERVED IN ROOM 114 sq ft INCLUDED IN PLANT AREA

SHIELDED DOWNLIGHT WALL SPANDED
DATA 3647 (NATURAL) LED - NATURAL BRONZE
DOWNLIGHT LIGHTING - 6500K - 100000

RESERVED DOWNLIGHT-LED

REVISIONS	BY

Dotter & Solfield
Architecture + Design
1001 PARK BOULEVARD
OAKLAND, CA 94612
PHONE 510 530 9321 FAX 510 530 9323

HOBBS RESIDENCE
187 LAQUINTAS ROAD, NIPPO, CALIFORNIA

Date 5-19-16

Scale

Drawn

Job

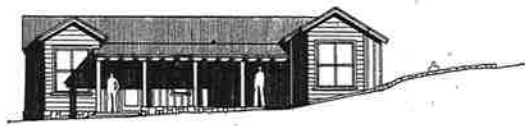
Sheet

Of 3

Shells



NORTH ELEVATION



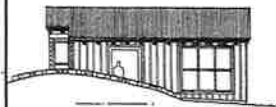
WEST ELEVATION



NORTH ELEVATION



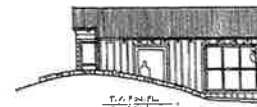
WEST ELEVATION



SOUTH ELEVATION



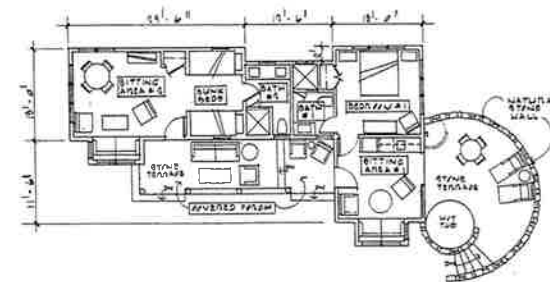
EAST ELEVATION



SOUTH ELEVATION



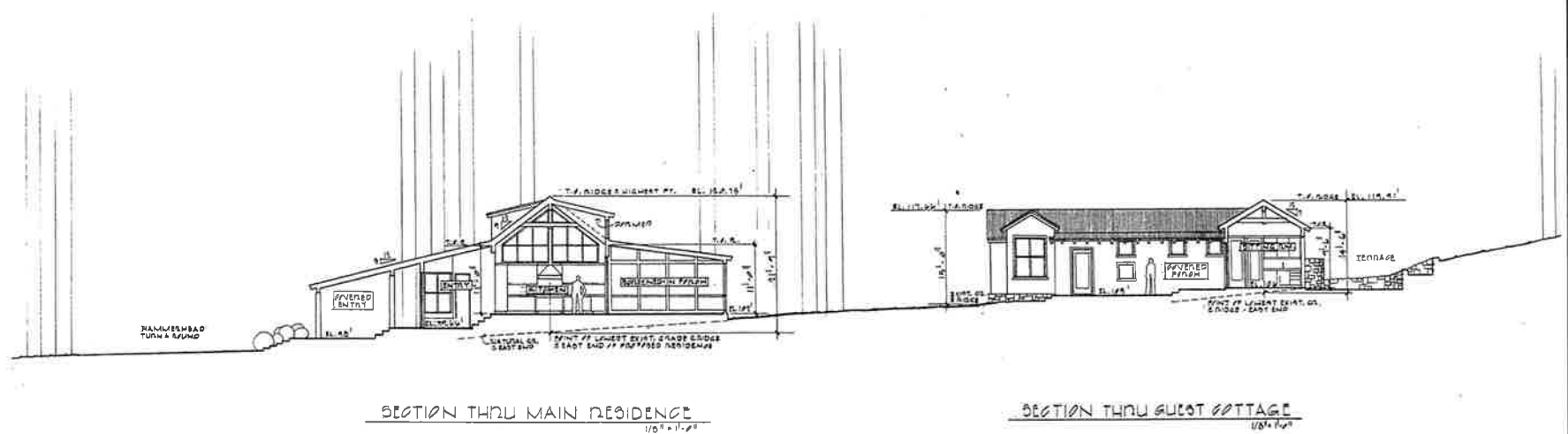
EAST ELEVATION

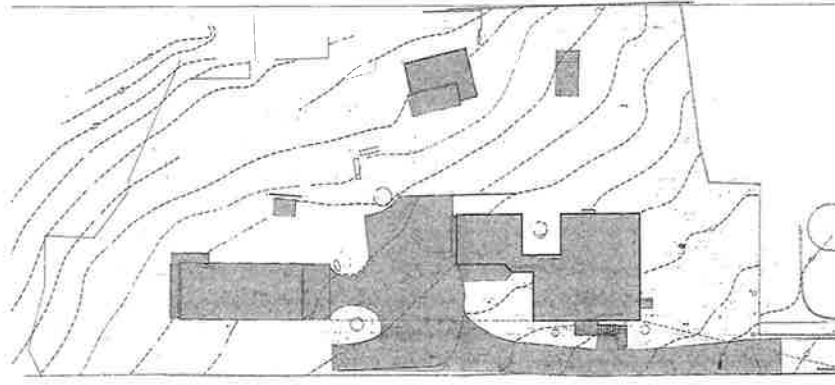


ORCHARD COTTAGE PLAN

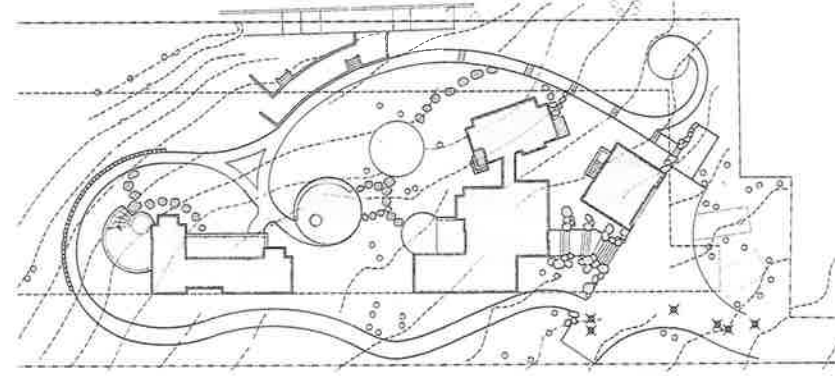
345 sq ft 1/8" = 1'-0"

HODDS RESIDENCE
 187 LAGUNITAS ROAD, NUBBS, CALIFORNIA





EXISTING IMPERVIOUS SURFACES 7482SF



PROPOSED IMPERVIOUS SURFACES 5882SF

- SHEET INDEX**
- LS.2 IMPERVIOUS SURFACES PLAN
 - L1.0 LANDSCAPE SITE & LIGHTING PLAN
 - L1.4 VEGETATION MANAGEMENT PLAN
 - L3.0 CONCEPTUAL PLANTING PLAN
 - L4.0 IRRIGATION ZONE PLAN
 - LS.1 LIGHTING CUT SHEETS

NOT FOR CONSTRUCTION



DATE	ISSUE
03.29.2016	PLANNING SUBMITTAL
05.10.2016	REVISIONS

SCALE: 1"=20'-0"

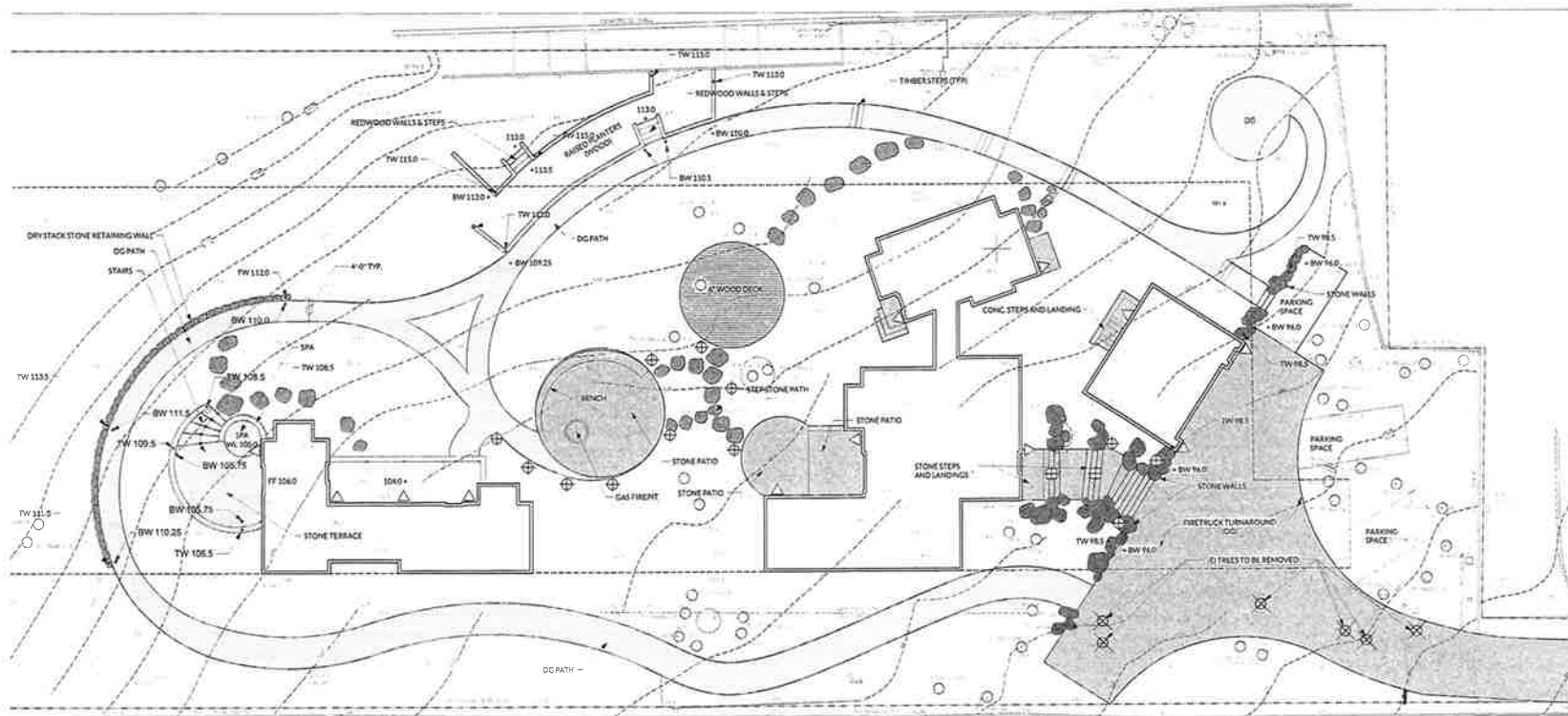


IMPERVIOUS SURFACES PLAN




L0.2

HOBBS RESIDENCE
187 LAGAUNITAS ROAD
ROSS, CALIFORNIA

ARTERRA
LANDSCAPE ARCHITECTS
88 MISSOURI SAN FRANCISCO 94107
T: 415.861.3100 W: artterrad.com
CA License #3502



NOTE: PATHS TO BE LAID OUT ON SITE

LANDSCAPE LIGHTING LEGEND											
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL SPEC	FINISH	WATTS	DIMMABLE	SHIELDED	FRONT	COLOR	SWITCH	LOCATION NOTES
	RECESSED OVERHEAD CAN	SFI	SFALG-DL	WEATHERED BRONZE	7W		YES		2700K		
	ARCHITECTURAL SCONCE	COOPER LIGHTING	MS WP	WEATHERED BRONZE	5W						
	PATHLIGHT			WEATHERED BRONZE	3W		YES		2700K		

DG DECOMPOSED GRANITE

NOT FOR CONSTRUCTION

HOBBS RESIDENCE
187 LAGAUNITAS ROAD
ROSS, CALIFORNIA

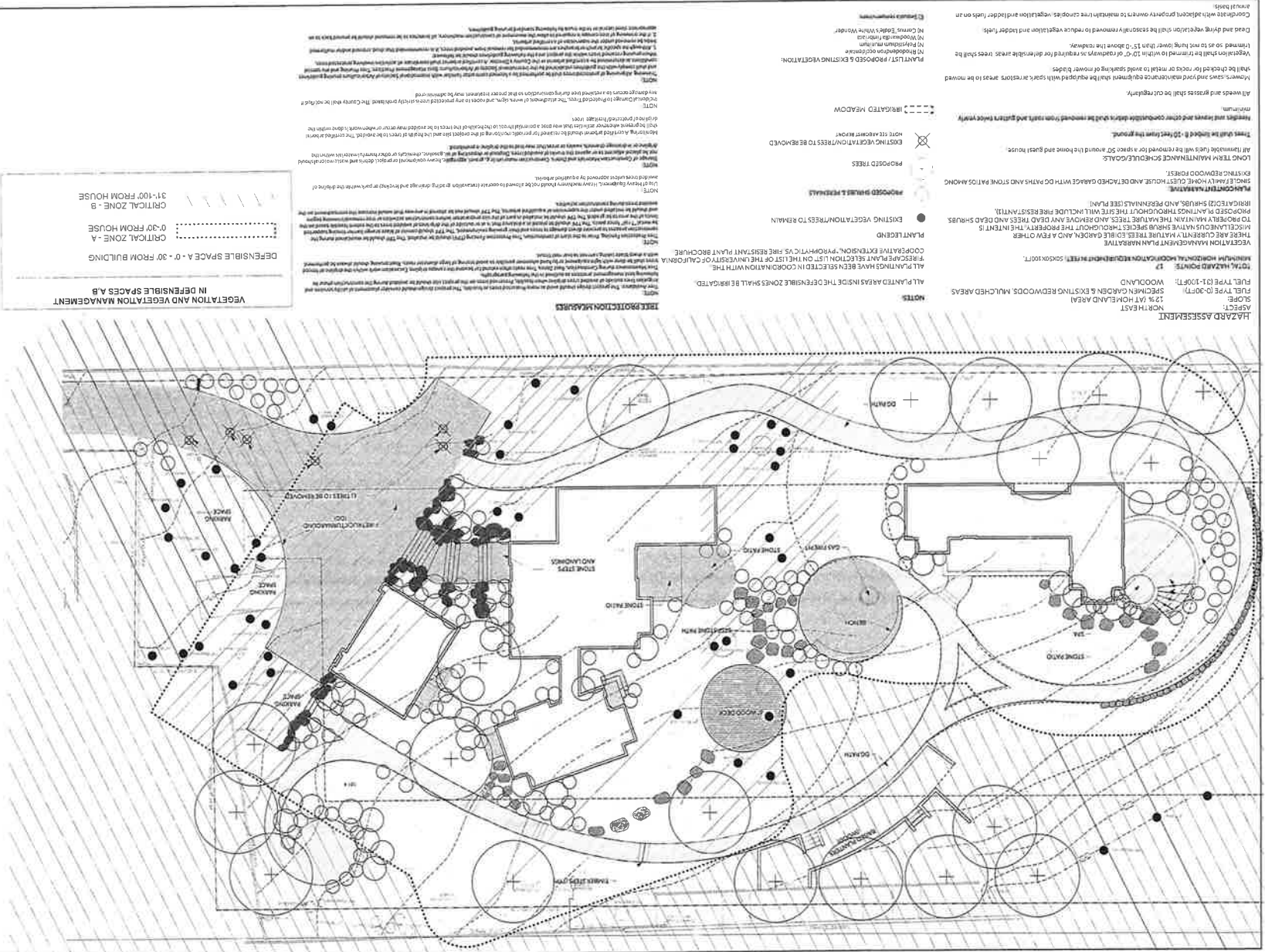


DATE:	ISSUE:
12/21/2015	PRELIMINARY DESIGN REVIEW
03/29/2016	PLANNING SUBMITTAL
05/10/2016	REVISIONS

SCALE: 1"=10'-0"

LANDSCAPE SITE
& LIGHTING
PLAN

L1.0



NOT FOR CONSTRUCTION

VEGETATION
MANAGEMENT
PLAN

2



HOBBS RESIDENCE
187 LAGAUNITAS ROAD
ROSS, CALIFORNIA

ARTERRA
LANDSCAPE ARCHITECTS
88 MISSOURI SAN FRANCISCO 94107
T: 415.861.3100 W: arterrasf.com
CA License #3502



DATE:	ISSUE:
03.14.2014	PLANNING SUBMITTAL
05.10.2014	REVISIONS

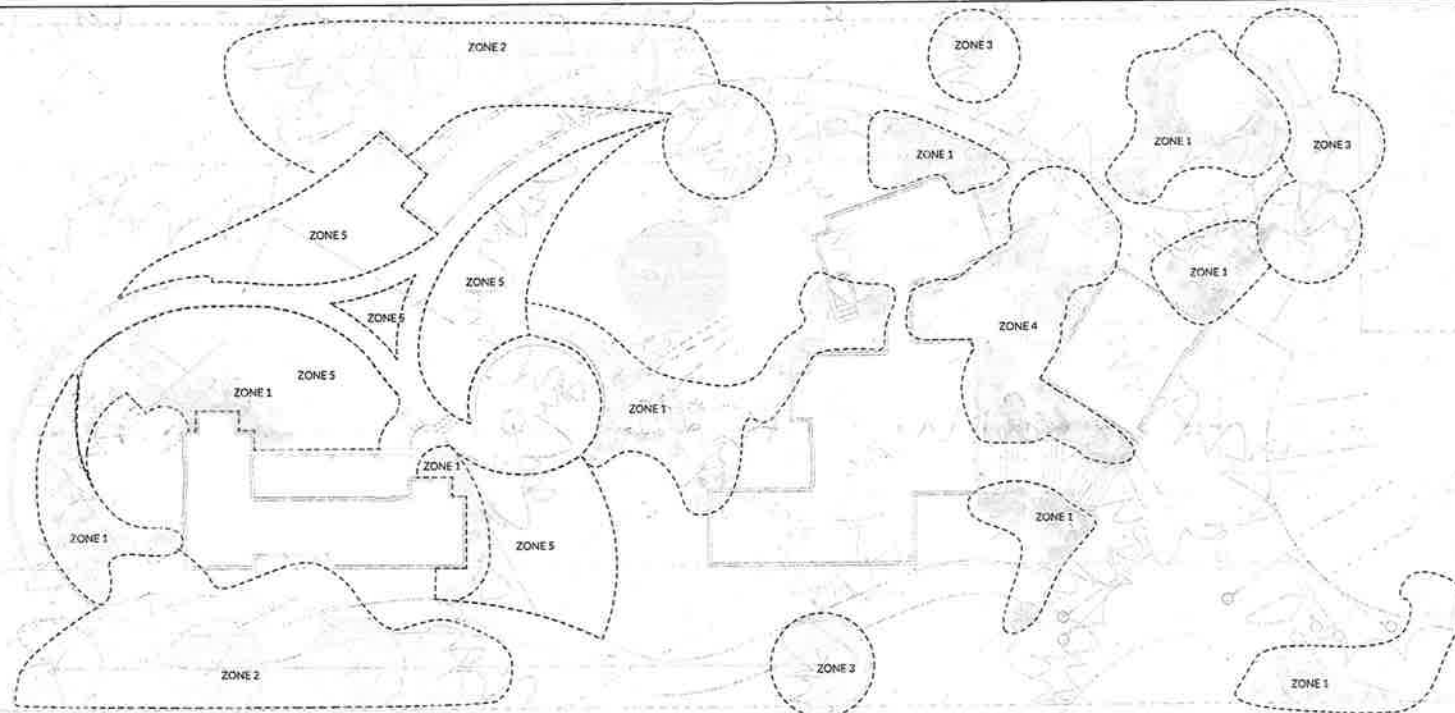
SCALE: 1"=10'-0"



**IRRIGATION
ZONE
PLAN**

L4.0

NOT FOR CONSTRUCTION



IRRIGATION DESIGN NOTES

This specification is to establish performance standards for a drip-irrigation system.

Contractor shall visit site and verify all conditions shown on plans prior to commencement of any work.

The irrigation system shall be installed in conformance with all applicable state and local codes and ordinances by a licensed landscape contractor and experienced technician. The contractor shall obtain all necessary permits and fees.

Install (1) hose bib on irrigation main line. Confirm final location on site with L.A.

The irrigation system shall be designed to operate according to the available psi at point of connection (p.o.c.) confirm available psi prior to construction.

Use only one type series head on any valve/circuit. Do not mix head types or manufacturers.

Irrigation equipment to be installed per manufacturer's instructions.

Contractor to confirm location of existing utilities and underground structures prior to the excavation of trenches. Contractor shall repair any damage caused by, or during performance of this work at no additional cost to the owner.

Contractor to guarantee complete and even coverage of irrigation in all planter areas. Low-drainage system shall have complete, overlapping and even coverage, with valves sufficient to address different sun aspects, if applicable to planting design.

The contractor shall also and locate all lines and shoves as required parallel pipes may be installed in a common trench. Pipes shall have a three inch horizontal separation and are not to be installed directly above one another.

Backfill trenches with material free of rocks. Excavations to be backfilled to 90% compaction minimum. Contractor to repair surface materials for one year after completion of work.

Install backflow preventer as per local code and according to manufacturer's specifications. Final location to be discreet and hidden from view. Confirm final location on site with L.A. Backflow preventer shall be installed plumb and in alignment with adjacent pavement edges or structures.

Valve locations are diagrammatic. Locate in groundcover areas. Locate 12" min. from walks, walls, fences and parallel or perpendicular to them. Verify final locations with landscape architect.

Controller location is diagrammatic. Verify with L.A. Contractor to supply power and internet connection to controller, as required by the manufacturer.

Set operation of irrigation controller between the hours of 10:00 am and 7:00 pm. Coordinate establishment irrigation schedule with manufacturer and coordinate with Gardener.

Install on site weather station if specified in the hours of the most extreme conditions of the site (highest wind, summer). Weather station should be hidden from view. Confirm final location with L.A.

Flush main supply lines prior to the installation of remote control valves. Flush lateral lines prior to the installation of irrigation heads or emitters.

Irrigation control wire shall be #14 u.L. approved for direct burial. Common wire to be white in color. Wires to individual control valves to be a color other than white. Splices are to be made within a valve box using a crimp type copper wire connector with a heat-shrink waterproof jacket. In-line splices shall be soldered. Leave twenty-four inches of wire coil at each remote control valve wire connector to allow valve terminal removal without disconnecting control wires.

Install one (1) spare control wire for every six (6) stations on the controller along the entire main line. Spare wires shall be the same color (one with a white stripe) and of a different color than other control wires. Long 30' excess wire into each single valve box and into one valve box in each group of valves.

The irrigation contractor shall be responsible for the installation of shovels and conduits of sufficient size under all paved areas.

COMPONENT SCHEDULE

BACKFLOW PREVENTER - FISCO #200-1" OR APPROVED EQUAL
CONTROL VALVES - TORO REMOTE CONTROL VALVE, TPV SERIES
MAIN LINES - 1120 SCH 40 PVC SOLVENT WELD PIPE WITH SCH 40 PVC SOLVENT WELD FITTINGS, 1/2" COVER MIN.
LATERAL LINES - 1120 SCH 40 PVC SOLVENT WELD PIPE WITH SCH 40 PVC SOLVENT WELD FITTINGS, 1/2" COVER MIN.
SLEEVES - 1120 CLASS 200 PVC PLASTIC PIPE, 24" COVER MIN.
CONTROLLER - TORO INTELLIGENT, 4 STATION CONTROLLER, WALL MOUNT IN MECHANICAL ROOM, ET EVERYWHERE DATA SERVICE WITH TWO YEAR SUBSCRIPTION
RAIN SENSOR - TORO WIRELESS RAIN SENSOR
SPRAY HEADS - TORO 1/2" SERIES 0.6
VALVE BOXES - PLASTIC, BY CARSON, BLACK
HOSES - 3/4" CHAMPION, 1/2" VACUUM BREAKER
GATE VALVE - NIBCO (UNTESTED)

DRIP SYSTEM SCHEDULE

IN-LINE EMITTER TUBING - Netafim Techline 0.8 g.p.h. - 180 G/201
IN-LINE FILTER - TORO DRIP ZONE KIT - INCL. REMOTE CONTROL VALVE, WYE FILTER WITH 100 MESH SCREEN, AND PRESSURE REGULATOR/ KIRI BALL VALVE

DRIP SYSTEM NOTES

Locate in-line filter, pressure regulator and valve in valve boxes.

Locate emitter discharge within the watering basin of each plant. See planting plan for exact location and size of plants to determine location of emitters. Secure above grade emitter lines to finish grade with plastic staples.

One quarter inch tubing to receive a n.e.d. bug tape and tubing stakes at the discharge ends by 'sello'. Tubing lengths to be no greater than 25 feet.

In-line emitter tubing shall be installed as a continuous loop and system. Run tubing @ 12" o.c., both ways. Install tubing on top of finish grade and under mulch. Each plant to be uniformly contained between three emitter points (triangle).

In-line emitter tubing shall be installed as a continuous loop and system. Run tubing @ 8-12" o.c., both ways. Install tubing on top of finish grade and under mulch. Each plant to be uniformly contained between three emitter points (triangle).

For trees, 36" to 48" box

Ring each with 2-3 loops of at least 8 emitter points via distribution tubing. Refer to planting plan for location and quantity of lines.

For trees, 18 gallon - 24" box

Ring each with 2-3 loops of at least 8 emitter points via distribution tubing. Refer to planting plan for location and quantity of lines.

For 5 gallon shrub

Provide 2 emitter points along in-line tubing, in a triangular pattern, with all points reaching the root ball. Refer to planting plan for location and quantity of shrubs.

For 4" and 5" gallon shrub shall receive 2 emitter points via distribution tubing, with all points reaching the root ball. Refer to planting plan for location and quantity of shrubs.

Contractor shall warrant that the irrigation system will be free from defects in material and workmanship for a period of one year after completion of work.


Contractor shall maintain a set of "as-built" drawings throughout the construction and prepare and deliver a legible copy of the plan to the owner upon completion of the work and before final payment. The irrigation plan shall indicate locations of all underground pipes, location of shovels, location of valves and any other information necessary for long-term maintenance of the system.

Contractor shall provide a valve schedule that includes a brief description of the area covered. One copy to go in the controller and one copy to go in the owner's binder.

Contractor to provide 1 irrigation binder to the owners, at final walk through. Binder to include as-built drawings, valve schedule, manufacturers operating instructions and warranty and repair information.

IRRIGATION ZONES

ZONE1, IN-LINE DRIP, LOW WATER, SHRUBS AND PERENNIALS, SHADE/PART SHADE
ZONE2, IN-LINE DRIP, LOW WATER, TREES SUNPART SUN, SUNPART SUN
ZONE3, IN-LINE DRIP, LOW WATER, MIXED TREES, SHRUBS SHADE/PART SHADE
ZONE4, IN-LINE DRIP, MEDIUM WATER, SHRUBS AND ORNAMENTAL GRASSES, SUNPART SUN
ZONE5, IN-LINE DRIP, LOW WATER, MEADOW, SUN PART SUN



Model: SRJ-SK18
Finish: Matte Bronze

Path / Area Light

DESCRIPTION

Model: SRJ-SK18
Material: Solid Brass
Electrical: 9-15V
Engine: FS-300-Corva-TA-105
Lumens: 105
Color Temp: 2700K
Mounting: 1/2" NPT, Dual Pin Spike Incl.
LED: None

OPTIONAL


Model: SRJ-SK18-ECO
Material: Solid Brass
Electrical: 9-15V
Engine: FS-300-Corva-TA-105
Lumens: 105
Color Temp: 2700K
Mounting: 1/2" NPT, Dual Pin Spike Incl.
LED: None

ORDERING INFORMATION

Model	Finish	Wattage	Lumens	Color Temp.	Electrical
SRJ-SK18	MBB	3W	105	2700K	9-15V

WWW.SPJLIGHTING.COM

3 PATH LIGHT
L5.1



Model: 882-WP Series
Finish: Matte Bronze

Architectural Sconce

DESCRIPTION

Model: 882-WP Series
Material: Solid Brass
Electrical: 9-15V
Engine: FS-300-Corva-TA-105
Lumens: 105
Color Temp: 2700K
Mounting: 1/2" NPT, Dual Pin Spike Incl.
LED: None

OPTIONAL


Model: 882-WP Series
Material: Solid Brass
Electrical: 9-15V
Engine: FS-300-Corva-TA-105
Lumens: 105
Color Temp: 2700K
Mounting: 1/2" NPT, Dual Pin Spike Incl.
LED: None

ORDERING INFORMATION

Model	Finish	Wattage	Lumens	Color Temp.	Electrical
882-WP Series	MBB	3W	105	2700K	9-15V

WWW.SPJLIGHTING.COM

2 ARCHITECTURAL SCONCE
L5.1



Model: SPJ-LSQ-DL
Finish: Matte Bronze

Recessed Overhead Can

DESCRIPTION

Model: SPJ-LSQ-DL
Material: Solid Brass
Electrical: 9-15V
Engine: FS-300-Corva-TA-105
Lumens: 105
Color Temp: 2700K
Mounting: 1/2" NPT, Dual Pin Spike Incl.
LED: None

OPTIONAL

Model: SPJ-LSQ-DL
Material: Solid Brass
Electrical: 9-15V
Engine: FS-300-Corva-TA-105
Lumens: 105
Color Temp: 2700K
Mounting: 1/2" NPT, Dual Pin Spike Incl.
LED: None

ORDERING INFORMATION

Model	Finish	Wattage	Lumens	Color Temp.	Electrical
SPJ-LSQ-DL	MBB	3W	105	2700K	9-15V

WWW.SPJLIGHTING.COM

1 RECESSED OVERHEAD CAN
L5.1

HOBBS RESIDENCE
187 LAGUNITAS ROAD
ROSS, CALIFORNIA



DATE: ISSUE:
03.28.2018 PLANNING SUBMITTAL
05.10.2018 REVISIONS

SCALE: NTS

**LIGHTING
CUT
SHEET**

L5.1

ARTERRA
LANDSCAPE ARCHITECTS
888 MISSOURI SAN FRANCISCO 94107
T: 415.861.3100 W: artterra.com
CA License #9502

SYMBOLS

EXISTING

- TREE / TREE TO BE REMOVED
- ⊕ POWER POLE (WITH GUY)
- SANITARY SEWER - CLEANOUT
- SANITARY SEWER - MANHOLE
- STORM DRAINAGE - DROP INLET
- STORM DRAINAGE - MANHOLE
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- FOUND / SET - MONUMENT AS NOTED

LINETYPES

EXISTING

- BOUNDARY LINE
- CONTOUR - MAJOR
- CONTOUR - MINOR
- EASEMENT
- FENCE - WIRE
- FENCE - WOOD
- FLOWLINE / SWALE
- FENCE - WOOD
- IRRIGATION
- OVERHEAD UTILITY
- RETAINING WALL
- RIGHT OF WAY
- STORM DRAIN
- TREE DRIPLINE

BASIS OF TOPOGRAPHY

A TOPOGRAPHIC SURVEY PERFORMED BY DAVID HARP & ASSOCIATES, DATED 9/25/2014 AND REVISED TO INCLUDE EASTERLY SIDE OF 188 LAGUNITAS 11/01/2014.

BENCHMARK

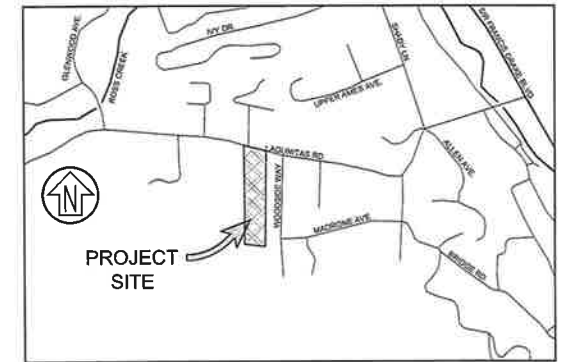
SPOT ELEVATIONS AND 7' CONTOURS SHOWN ON THIS MAP ARE BASED ON AN ASSUMED VERTICAL DATUM AND THE ELEVATION OF 105.00 ASSIGNED TO THE THRESHOLD OF THE MAIN ENTRANCE DOOR AS SHOWN (SEE BENCHMARK)

BASIS OF BEARINGS

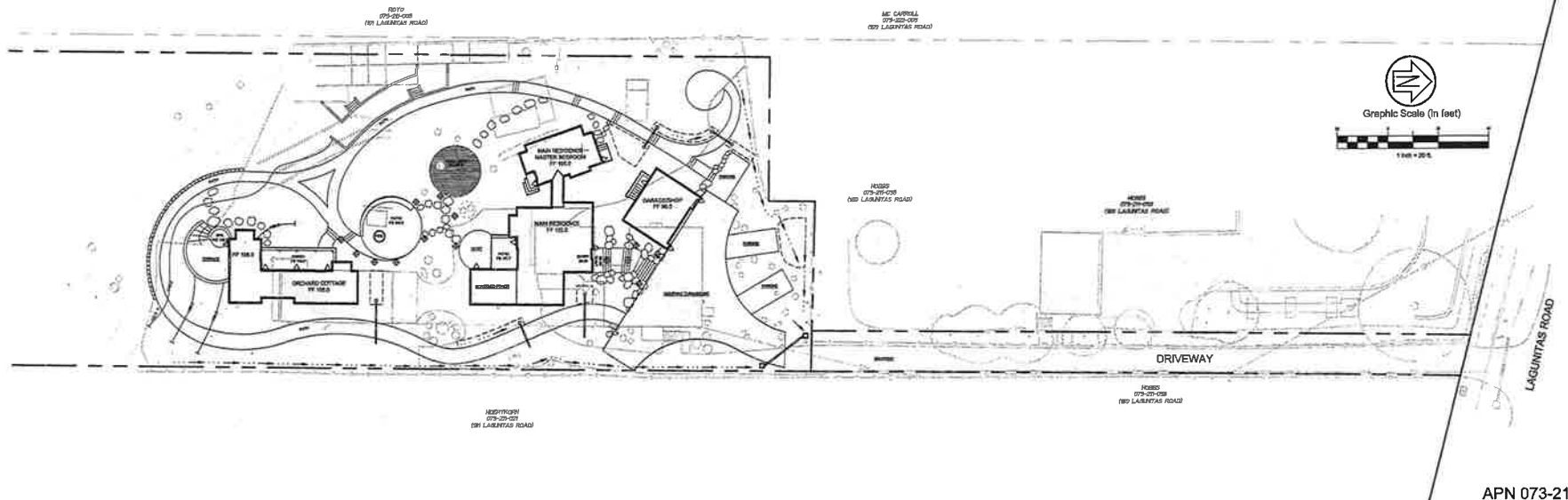
BOUNDARY LINES SHOWN ARE BASED ON THE RECORD OF SURVEY 18 RE 44, MARIN COUNTY RECORDER, MONUMENTS SHOWN THEREON, AND FIELD VERIFIED. THE DEED AND EASEMENT DATA IS BASED ON THE FIRST AMERICAN TITLE REPORT POLICY #3280400.

IMPERVIOUS AREA SUMMARY

LOT SIZE	3.52 AC.
EXISTING IMPERVIOUS SURFACE:	7,015 S.F.
PAVEMENT	3,265 S.F.
HARDSCAPE / PORCH / DECK	988 S.F.
BUILDING	2,754 S.F.
PROPOSED CHANGE IN IMPERVIOUS SURFACE:	443 S.F.
FINAL IMPERVIOUS SURFACE:	7,458 S.F.
AREA TO BE DISTURBED DURING CONSTRUCTION	0.51 AC.



PROJECT SITE

VICINITY MAP
SCALE: NTS

APN 073-211-039

Rev.	Date	Description	Designed	Drawn	Checked
1	05/11/16	ISSUED TO CLIENT FOR DESIGN REVIEW SUBMITTAL	-	-	WFL
2	05/20/16	ISSUED TO CLIENT FOR DESIGN REVIEW SUBMITTAL	-	-	WFL
3	03/09/16	ISSUED TO CLIENT FOR SUBMITTAL	-	-	WFL
4	11/16/15	ISSUED TO CLIENT FOR REVIEW	SAB	SAB	WFL

CSW ST2

CSW/Stuber-Strook Engineering Group, Inc.
 Civil & Structural Engineers | Surveying & Mapping | Environmental Planning
 Land Planning | Construction Management
 45 Leverett Court
 Novato, CA 94949
 Tel: 415.883.8850
 Fax: 415.883.8835
 www.cswst2.com

City: Ross
 County: Marin
 State: California

187 LAGUNITAS ROAD
PRELIMINARY SITE PLAN
 LANDS OF HOBBS

Sheet
C1

Scale: 1" = 20'
 Date: 11/18/2015
 Project Number: S-1421-02
 Plan File: D-5275-01

ROYO
073-211-008
(191 LAGUNITAS ROAD)

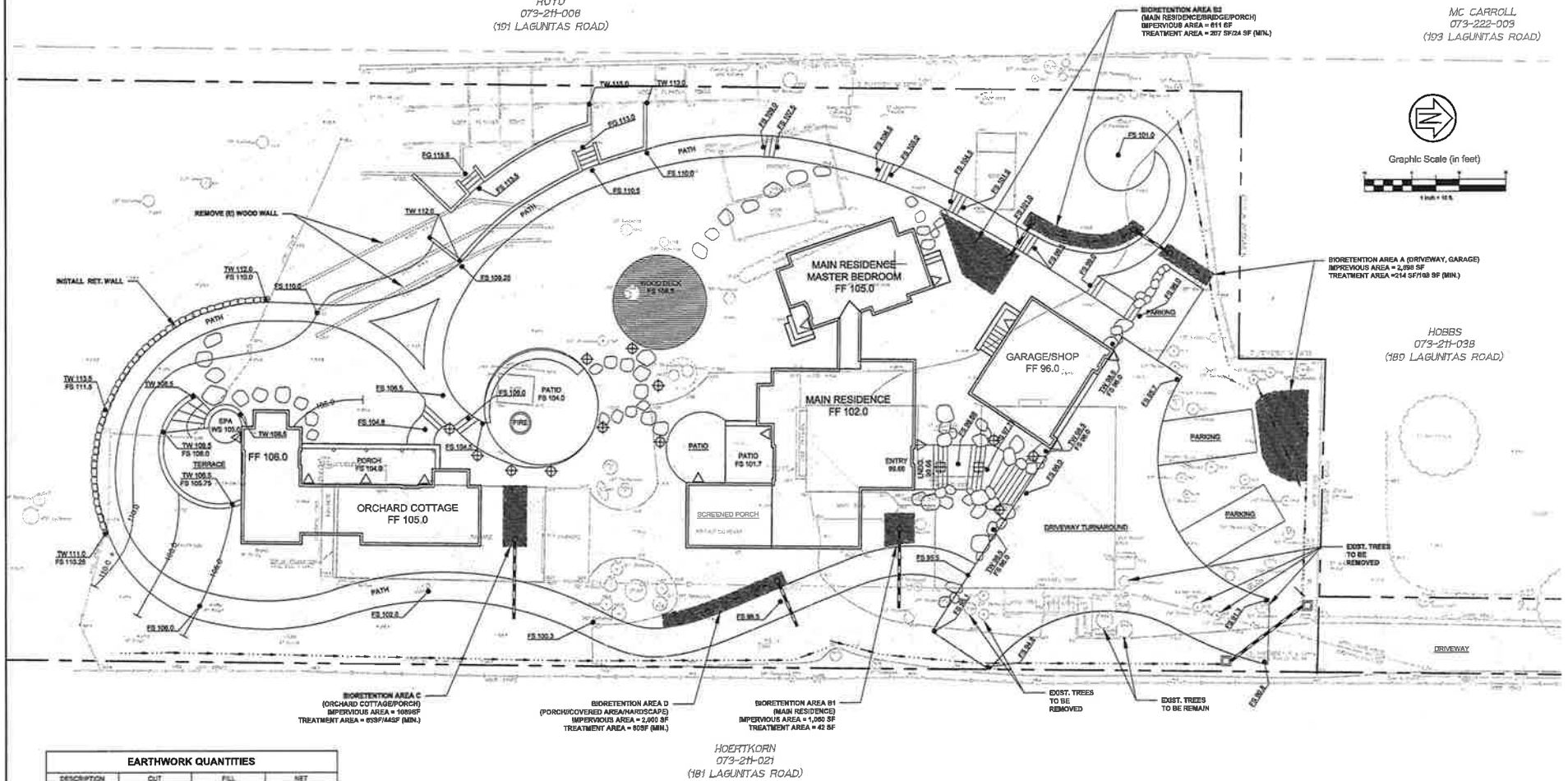
MC CARROLL
073-222-003
(193 LAGUNITAS ROAD)



Graphic Scale (in feet)



HOBBS
073-211-038
(189 LAGUNITAS ROAD)



EARTHWORK QUANTITIES

DESCRIPTION	CUT	FILL	NET
ON-SITE	150 CY	-	150 CY <CUT>
DRIVEWAY	80 CY	-	80 CY <CUT>
TRENCH SOILS	180 CY	-	180 CY <CUT>
FOUNDATION SPILLS	100 CY	-	100 CY <CUT>
SHRINKAGE	-	-	-
TOTAL	360 CY	-	360 CY <EXPORT>

NOTE:
EARTHWORK QUANTITIES ARE APPROXIMATE ONLY. THEY DO NOT ACCOUNT FOR
DEMOLITION OR REMOVAL OF EXISTING SITE IMPROVEMENTS.

Rev	Date	Description	Designed	Drawn	Checked
1	10/1/11	ISSUED TO CLIENT FOR DESIGN REVIEW SUBMITTAL	-	-	WFL
2	10/1/11	ISSUED TO CLIENT FOR DESIGN REVIEW SUBMITTAL	-	-	WFL
3	10/1/11	ISSUED TO CLIENT FOR SUBMITTAL	-	-	WFL
4	10/1/11	ISSUED TO CLIENT FOR REVIEW	SAB	SAB	WFL

CSW ST2

CSW/Stuber-Stroob Engineering Group, Inc.
Civil & Structural Engineers | Surveying & Mapping | Environmental Planning
Land Planning | Construction Management
45 Leventon Court
Novato, CA 94949
tel: 415.883.9850
fax: 415.883.9836
http://www.cswst2.com

City
Ross
County
Marin
State
California

187 LAGUNITAS ROAD
PRELIMINARY GRADING PLAN
LANDS OF HOBBS



Sheet
C2
Scale: 1" = 10'
Date: 11/19/2015
Project Number: 5-1421-00
Plan File: D-5219-02

ROYO
073-211-006
(191 LAGUNITAS ROAD)

MC CARROLL
073-222-003
(193 LAGUNITAS ROAD)

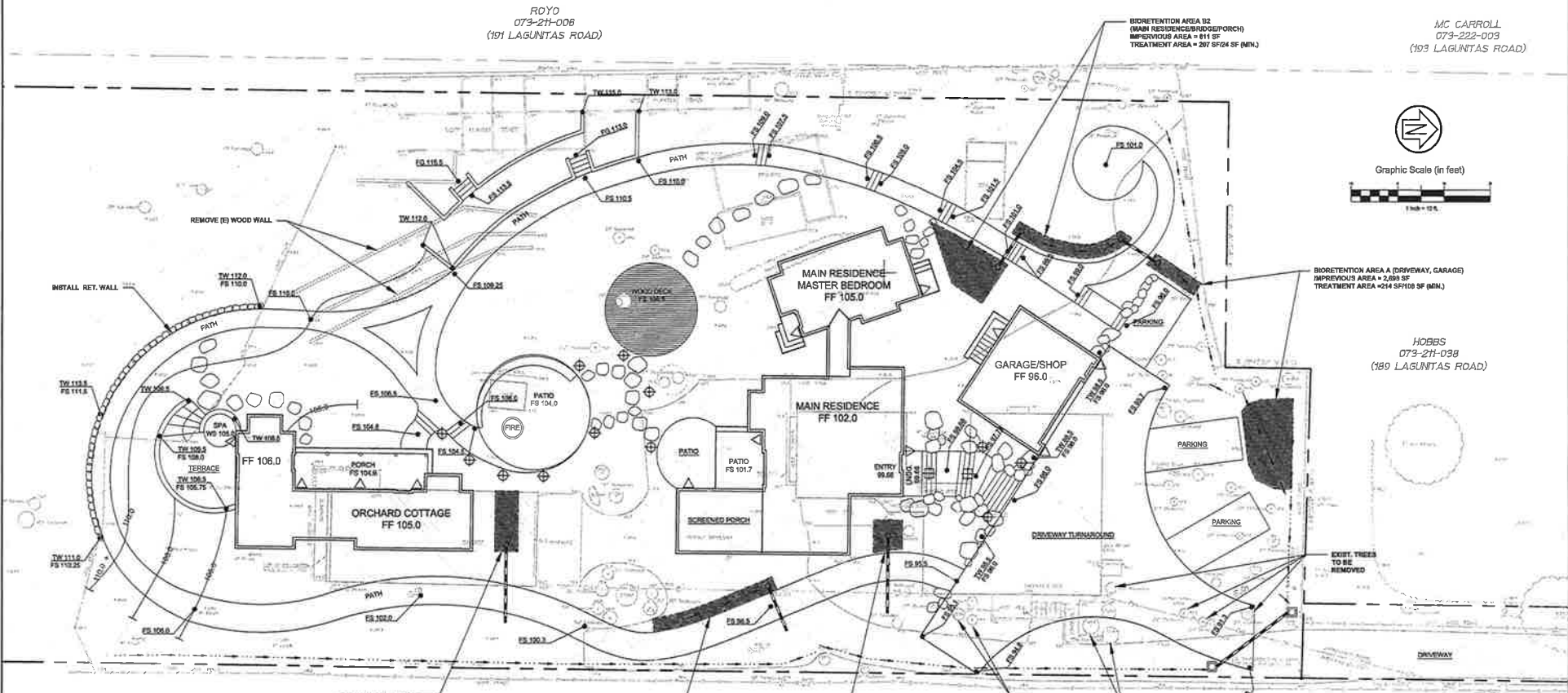


Graphic Scale (in feet)

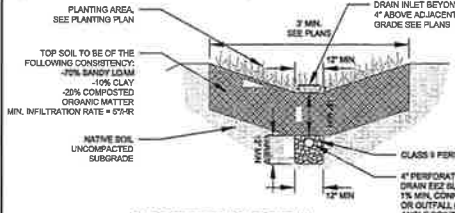


BIORETENTION AREA A (DRIVEWAY, GARAGE)
IMPERVIOUS AREA = 2,899 SF
TREATMENT AREA = 214 SF (MIN.)

HOBBS
073-211-038
(189 LAGUNITAS ROAD)



NOTE:
1. BIORETENTION AREAS HAVE A MINIMUM DEPTH OF 8".



BIORETENTION DETAIL

BIORETENTION AREA C
(ORCHARD COTTAGE/PORCH)
IMPERVIOUS AREA = 669 SF
TREATMENT AREA = 659 SF (MIN.)

BIORETENTION AREA D
(PORCH/COVERED AREA/HARDSCAPE)
IMPERVIOUS AREA = 2,000 SF
TREATMENT AREA = 83 SF (MIN.)

BIORETENTION AREA B1
(MAIN RESIDENCE)
IMPERVIOUS AREA = 1,080 SF
TREATMENT AREA = 42 SF

BIORETENTION AREAS					
WATERSHED AREA	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT NEEDED (SF)	TREATMENT AREA	TREATMENT AVAILABLE (SF)
A	2899	---	108	a	214
B	1871	---	66	b	249
C	1089	---	44	c	65
D	2000	---	80	d	80
TOTAL	7458	---	298		608

LEGEND

- BIORETENTION AREA
- SELF-TREATING AREA
- PERVIOUS AREA
- BMP IDENTIFICATION
- WATER SHED IDENTIFICATION
- WATERSHED AREA
- BMP
- BEST MANAGEMENT PRACTICES

Rev	Date	Description	Design	Drawn	Checked
1	01/11/18	ISSUED TO CLIENT FOR DESIGN REVIEW RESUBMITTAL	-	-	WRL
2	02/05/18	ISSUED TO CLIENT FOR DESIGN REVIEW SUBMITTAL	-	-	WRL
3	03/09/18	ISSUED TO CLIENT FOR SUBMITTAL	-	-	WRL
4	11/16/18	ISSUED TO CLIENT FOR REVIEW	SAS	SAS	WRL

CSW ST2
CSW/Stuber-Strook Engineering Group, Inc.
Civil & Structural Engineers | Surveying & Mapping | Environmental Planning
Land Planning | Construction Management
45 Levent Court
Novato, CA 94949
tel: 415.883.9850
fax: 415.883.8535
http://www.cswst2.com

City	Ross
County	Marin
State	California

187 LAGUNITAS ROAD
PRELIMINARY STORMWATER CONTROL
LANDS OF HOBBS



C3
Scale: 1" = 10'
Date: 11/16/2018
Project Number: 51421.00
Plan File: 0-0275.02

ATTACHMENT 5



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Phone (415) 453-1453, Ext. 121

Web www.townofross.org

Fax (415) 453-1950

Email esemonian@townofross.org

NEIGHBOR ACKNOWLEDGEMENT FORM

Written acknowledgement of the proposed development is required from the owners, lessees, and occupants of all abutting property, including property across any street, lane or roadway.

Project Address and Assessor's Parcel No. 187 Lagonitas Rd. Parcel 073-21139

Owner(s) of Parcel James and Helen Hobbs

Architect (Or applicant if not owner) Ross Potter, Potter & Solfjeld Architecture

I am a neighbor of the project site identified above. The applicant has reviewed the project plans with me and I understand the scope of work. My signature below indicates that I am aware of the project and does not constitute approval or disapproval of the project.

Note: the information on this form will become part of the public record for this project and providing personal information is optional.

CLYDE W. OSTER
Neighbor Name(s)

Clyde W. Oster
Neighbor Signature(s)

4.4.16
Date

P.O. Box 2009 (105 LAGONITAS RD)
Neighbor Address

clde@osterfamily.com 415 407 9640
Neighbor Phone Number and Email

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Phone (415) 453-1453, Ext. 121 Fax (415) 453-1950

Web www.townofross.org

Email esemonian@townofross.org

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Project Address and Assessor's Parcel No. 187 Lagunitas Rd. Parcel 073-21139

Owner(s) of Parcel James and Helen Hobbs

Architect (Or applicant if not owner) Russ Potter, Potter & Solfjeld Architecture

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Note: the information on this form will become part of the public record for this project and providing personal information is optional.

Thomas + Mary Cooper

Neighbor Name(s)

Mary Sue Cooper

Neighbor Signature(s)

Thomas A. Cooper

4-5-16

Date

183 Lagunitas Rd. Ross, CA 94957

Neighbor Address

P.O. Box 617

415-721-0236 mrueckertcooper1@gmail.com

Neighbor Phone Number and Email

Alternate Format Information

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Town of Ross

Planning Department

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Fax (415) 453-1950

Email esemonian@townofross.org

RECEIVED
Planning Department

APR 20 2016

Town of Ross

NEIGHBOR ACKNOWLEDGEMENT FORM

Written acknowledgement of the proposed development is required from the owners, lessees, and occupants of all abutting property, including property across any street, lane or roadway.

Project Address and Assessor's Parcel No. 187 Lagunitas Rd. Parcel 073-21139

Owner(s) of Parcel James and Helen Hobbs

Architect (Or applicant if not owner) Russ Potter, Potter & Selfield Architecture

I am a neighbor of the project site identified above. The applicant has reviewed the project plans with me and I understand the scope of work. My signature below indicates that I am aware of the project and does not constitute approval or disapproval of the project.

Note: the information on this form will become part of the public record for this project and providing personal information is optional.

Paris + Martha Royo
Neighbor Name(s)

[Signature]
Neighbor Signature(s)

4/2/16
Date

187 Lagunitas
Neighbor Address

415-453-8587 Paris @ RoyoDev.com
Neighbor Phone Number and Email

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105

ATTACHMENT 6

Heidi Scoble

From: LaDonna <ldorsey66@comcast.net>
Sent: Tuesday, June 07, 2016 8:52 AM
To: Heidi Scoble
Cc: Richard Hoertkorn
Subject: FW: Hobbs 187 Lagunitas Road Proposal

Heidi Scoble
Town of Ross Planner

Dear Ms. Scoble,

I live at 181 Lagunitas Road, I'm the eastern contiguous neighbor to the Hobbs property. The Hobbs are proposing building a compound on their property located at 187 Lagunitas Road.

Previously, the Hobbs illegally created a two or possibly three unit multi-family complex on their site; after considerable annoyance from their college aged tenant, the Ross Town Council aborted the Hobbs plan (the file is replete with the details of that encounter).

Currently AIRBNB advertises that they are "active" in 30,000 cities and have in excess of 1,000,000 short term rentals available for rent. **On their website as of today's date, AIRBNB is advertising 11 residences in Ross that are available for short term rental, up from ZERO advertised last year.**

For more than 100 years, Ross has zealously guarded its hard earned reputation as a prime, quiet residential community. This entrepreneurial assault on our hard earned reputation is, in my view, most undesirable. **The idea that "investors" could apply a whole new metric to their interest in property in our bucolic community trouble me greatly.**

Ross would, in my view, create a precedent if the Hobbs proposal is approved. Furthermore, communities all over the country have fought expensive legal battles to slow or stop these commercial intrusions on their residential environments.

Over the past decades, Ross has successfully preserved its hard fought and well-earned reputation as a high value prime single family residential community. We must be ever vigilant to preserve this reputation from this new 21st Century internet assault.

I'm hopeful that the Ross Town Council will deny the Hobbs application, and address the exponential explosion in short term rentals in Ross.

Respectfully Submitted,

Richard Hoertkorn

Linda Lopez

To: Heidi Scoble
Subject: RE: Revised Email originally sent June 7, 2016

From: LaDonna [<mailto:ldorsey66@comcast.net>]
Sent: Wednesday, June 08, 2016 12:23 PM
To: Heidi Scoble
Cc: Richard Hoertkorn
Subject: Re: Revised Email originally sent June 7, 2016

Ms. Scoble, Richard Hoertkorn has asked that I forward to you the revised email below (originally sent yesterday) for submittal in the staff report. You should discard the previous email.

Thank you,

LaDonna Dorsey

On behalf of Richard C. Hoertkorn

From: rch01@comcast.net [<mailto:rch01@comcast.net>]
Sent: Wednesday, June 08, 2016 12:12 PM
To: LaDonna Dorsey
Subject:

Heidi Scoble
Town of Ross Planner

Dear Ms. Scoble,

I live at 181 Lagunitas Road; I'm the eastern contiguous neighbor to the Hobbs property. The Hobbs' are proposing a 4 building "compound" on their property located at 187 Lagunitas Road. These proposed structures aren't typical of a single family home, rather the design clearly suggests an opportunity for the owner to create a habitable commercial four plex within a prime residential neighborhood. The possibility of the proposed "compound" to be rented to multiple families would surely lead to more noise and activity than anticipated in a prime single family neighborhood.

Previously, the Hobbs illegally created a two or possibly three unit multi-family complex on their site, subjecting neighbors to considerable annoyance from the Hobbs' unsupervised tenant (s); the Ross Town Council aborted the Hobbs illegal commercial plan (the Town file is replete with the details of that encounter).

Currently AIRBNB advertises that they are "active" in 30,000 cities and that they manage in excess of 1,000,000 short term rentals. Additionally, AIRBNB boasts that they are larger than the three largest Hotel chains in the country COMBINED. **On their website as of today's date, AIRBNB is advertising 11 residences in Ross that are available for short term rental, up from ZERO advertised last year.**

For more than 100 years, Ross has zealously guarded its hard earned reputation as a prime, upscale residential community. This entrepreneurial assault on our hard earned reputation is, in my view, undesirable. **The idea that "investors" could apply 21st Century financial metrics to their interests in property in our bucolic community troubles me greatly.** Example: Income of only \$1,000. per weekend (per AIRBNB advertisements) would total \$208,000 in annual

rental income (\$1,000. times 4 units times 52 weeks). To extrapolate further, \$208,000 alone could support additional mortgage debt to a commercial property owner of \$3,630,000 ($\$208,000/12 \times 4.0\%$ interest for 30 years).

Ross would create a precedent if the Hobbs proposal is approved encouraging other “investors” to follow their example. Currently, communities all over the country are fighting expensive legal battles to slow or stop these commercial intrusions on their residential neighborhoods.

Over the past decades, Ross has successfully preserved its hard fought and well-earned reputation as a high value prime single family residential community. We must be ever vigilant to preserve this reputation from this new 21st Century internet assault.

I’m hopeful that the Ross Town Council will deny the Hobbs application, and address the exponential explosion in short term rentals in Ross.

Respectively Submitted,

Richard Hoertkorn
181 Lagunitas Road