



Staff Report

Date: December 12, 2023
To: Advisory Design Review (ADR) Group
From: Alex Lopez-Vega, Assistant Planner
Subject: 65 Wellington Avenue, DRP23-0020

Recommendation

ADR Group consideration and recommendation to the Town Council regarding the merits of the project and consistency with the Design Review criteria and standards of Ross Municipal Code (RMC) Section 18.41.100, [18.41 Design Review](#).

Project Information

Property Owner: Heather and Matt Potts
Applicant: Sutro Architects (John Simenic)
Street Address: 65 Wellington Avenue
Parcel Number: 072-071-08
Zoning: R-1: B-10
General Plan: ML (Medium Low Density)
Flood Zone: X (Minimal Risk)

Project Data

	Code Standard	Existing	Proposed
Lot Area	10,000 SF	11,907 SF	No change
Floor Area (FAR)	20%	3,510 SF (29%)	3,327 SF (28%)
Building Coverage	20%	2,404 SF (20%)	2,429 SF (20%)
Front Setback	25'	24' 3"	No Change
Side Setback (East)	15'	12' 11"	No Change

	Code Standard	Existing	Proposed
Side Setback (West)	15'	2' 9"	No Change
Rear Setback	40'	House 18' 10"	No Change
Building Height	30'	House 28' 8"	House 29' 4"
Parking	3 (1 Covered)	(2 Covered)	No Change
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	7,138 SF	7,193 SF

Project Description

The applicant requests a recommendation to the Town Council for Design Review, Nonconformity Permit, and Hillside Lot Permit. The project consists of interior and exterior remodel of an existing single-family residence, which includes reconfiguring the front stairs of the home and adding a 17 square-foot (SF) porch with an overhang, addition of a primary suite on the second level that will be over existing space. The project will add a new roof that will match the existing roof material. The exterior part of the house will be painted navy blue with a creamy white trim. Additionally, the project will reconfigure parts of the front yard landscape, implement retaining walls, and install a new 6-foot gate. The proposal includes replacing the existing two-door garage with a single, 2-car garage door.

A Nonconformity Permit is required to allow for the existing single-family residence, which is nonconforming with regards to the setbacks, floor area, and parking to be enlarged, extended, and structurally altered, without increasing further into the setback and no increase to the floor area is being proposed.

A separate application has been submitted for ministerial review of a Junior Accessory Dwelling Unit (JADU) Permit to construct a new JADU in the existing habitable basement. The ADU Permit application is not subject to discretionary review.

Project plans are included as Attachment 1; Project Application and Materials are included as Attachment 2.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** to allow for construction of a new building exceeding 200 square feet of a new floor area; fences and gates greater than 48" in height adjacent to the street right-of-way; a project resulting in an increase to the existing roof height; a project resulting in over 1,000 square feet of new impervious landscape surface; and

redevelopment, rehabilitation, and/or renovation of existing landscape over 2,500 square feet.

- **Nonconformity Permit is required pursuant to RMC 18.52.040** to enlarge, extend, reconstruct, or structurally alter existing nonconforming structures.
- **Hillside Permit is required pursuant to RMC Section 18.39.020** for lots with a slope of 30 percent or more.

Background

The project site is an 11,907 square-foot irregular shaped lot on Wellington Avenue. The lot has an existing single-family residence and a detached garage. The property is located on the corner of Wellington and Baywood Avenue. The subject site has an average slope that is greater than 30%.



Discussion

The general purpose of the Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town", low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located;

promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and, preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per RMC Section 18.41.100 can be found here: [18.41 Design Review](#).

Public Comment

A public comment letter was received on December 7, 2023, and included as Attachment 3.

Attachments

1. Project Plans
2. Project Application and Materials
3. Public Comment Letter

ATTACHMENT 1



65 WELLINGTON RESIDENCE

65 WELLINGTON AVE. ROSS, CA 94960

ABBREVIATIONS

&	and	HD.	head	S.L.D.	see landscape drawings
<	angle	HDR.	header	S.M.D.	see mechanical drawings
@	at	HGR.	hanger	S.P.D.	see plumbing drawings
#	pound or number	H.M.	hollow metal	SPEC.	specification
±	plus or minus	HORIZ.	horizontal	SQ.	square
A.B.	anchor bolt	HR.	hour	STA.	station
A.C.	air conditioning	H.R.	handrail	STL	stainless steel
A.D.	area drain	HT.	height	STN.	stone
ADJ.	adjustable	H.W.H.	hot water heater	ST STL	see structural drawings
A.F.F.	above finish floor	I.D.	inside diameter	S.S.D.	standard
AGGR.	aggregate	IN.	inch	STD.	steel
ALT.	alternate	INSUL.	insulation	STN.	store
ALUM.	aluminum	INT.	interior	STOR.	storage
APPROX.	approximate	INTER.	intermediate	STRUC.	structural
ARCH.	architectural	JST.	joist	SUSP.	suspended
B.B.	butcher block	JT.	joint	S.V.	sheet vinyl
BD.	board	LAM.	laminated	S.W.	shear wall
BITUM.	bituminous	LAV.	lavatory	SYM.	symmetrical
B.L.D.G.	building	L.B.	load bearing	SYS.	system
BLK.	block	L.T.FIXT	light fixture	T.O.C.	tread
BLKG.	blocking	LN.	linear	TEL.	telephone
BM.	beam	LN.	line	TEMP.	tempered
B.O.	bottom of	LT.	light	TER.	terrazzo
B.P.	building paper	MACH.	machine	T & G	tongue & groove
B.R.	brick	MAINT.	maintenance	THK.	thick
B.TWN.	between	MAT.	material	THRU.	through
C.	centerline	MAX.	maximum	T.M.E.	to match existing
CAB.	cabinet	MECH.	mechanical	T.N.	toe nailed
CEM.	cement	MEMB.	membrane	T.O.C.	top of concrete
CER.	ceramic	MTL.	metal	T.O.P.	top of plate
CHIM.	chimney	MFR.	manufacturer	T.O.PLY	top of plywood
C.J.	control joint	MIN.	minimum	T.O.W.	top of wall
CLG.	ceiling	MIR.	mirror	T.V.	television
CLKG.	caulking	MISC.	miscellaneous	TYP.	typical
CLOS.	closet	MSRY.	masonry	U.B.C.	uniform building code
CLR.	clear	MTD.	mounted	UNEXC.	unexcavated
C.M.U.	concrete masonry unit	MUL.	mullion	UNF.	unfinished
C.O.	clean out	(N)	new	U.O.N.	unless otherwise noted
COL.	column	N.	north	V.C.T.	vinyl composition tile
CONC.	concrete	N.I.C.	not in contract	VEN.	vener
COND.	condition	NO. ORF	number	VERT.	vertical
CONN.	connection	NOM	nominal	VEST.	vestibule
CONSTR.	construction	N.T.S.	not to scale	V.I.F.	verify in field
CONT.	continuous	O.	owner	VOL.	volume
CPR.	copper	O.A.	overall	W.C.	water closet or wall covering
CPT.	carpet	OBS.	obscure	WD.	wood
CTR.	center	O.C.	on center	WD/D.	washer / dryer
C.W.	cold water	O.D.	outside diameter	W.H.	water heater
D.	dryer	OFF.	office	WO	without
DBL.	double	OPNG.	opening	W.P.	work point
DEPT.	department	OPP.	opposite	W.P.M.	waterproof membrane
DET.	detail	P.	pole	WT.	weight
DIA.	diameter	PAC	pacific	W.R.	water resistant
DIM.	dimension	PBWL	paper backed wire lath	W.W.M.	welded wire mesh
DISP.	dispenser	PERIM.	perimeter	W.W.F.	welded wire fabric
DN.	down	PG & E	pacific gas & electric company		
DR.	door	P.I.P.	poured in place		
D.S.P.	dry standpipe	PL.	plate		
D.W.	dishwasher	P.LAM.	plastic laminate		
DWG.	drawing	PLAS.	plaster		
DWR.	drawer	PLYWD.	plywood		
		PNL.	panel		
		PNT.	paint		
		PR.	pair		
		P.S.I.	per square inch		
		PT.	point		
		P.T.	pressure treated		
		PTD.	pointed		
		Q.T.	quarry tile		
		(R)	existing to be removed		
		R.	riser		
		R.A.	return air		
		RAD.	radius		
		R.C.P.	reflected ceiling plan		
		R.D.	roof drain		
		REC.	recessed		
		REF.	reference		
		REFL.	reflected		
		REFR.	refrigerator		
		REG.	register		
		REIN.	reinforced		
		REMOV.	removable		
		REQD.	required		
		RESIL.	resilient		
		RET.	retaining		
		REV.	revision, revised, reversed		
		RM.	room		
		R.O.	rough opening		
		RWD.	redwood		
		R.W.L.	rain water leader		
		S.	south		
		S.A.D.	see architectural drawings		
		S.C.	solid core		
		S.C.E.D.	see civil engineering drawings		
		SCHED.	schedule		
		S.D.	soap dispenser/dish		
		SECT.	section		
		SEP.	separation		
		SERV.	service		
		SH.	shelf		
		SH.	sprinkler head		
		SHR.	shower		
		SHT.	sheet		
		SHTG.	sheathing		
		SH.	similar		
		SL.	sliding		

PROJECT DIRECTORY

OWNER:	
HEATHER & MATTHEW POTTS 65 WELLINGTON AVE. ROSS, CA 94960	HEATHER POTTS heather711@gmail.com MATTHEW POTTS matthew.potts.17@gmail.com
ARCHITECT:	
SUTRO ARCHITECTS 1055 POST STREET SAN FRANCISCO, CA 94109	STEPHEN SUTRO SSUTRO@SUTROARCHITECTS.COM 415.956.3445. JOHN SIMENIC JSIMENIC@SUTROARCHITECTS.COM
CONTRACTOR:	
GHIRADELLI CONSTRUCTION 945 GROSVENOR PLACE OAKLAND CA 94610	NICK GHIRARDELLI 415-713-3373 Nick.ghirardelli@gmail.com

SYMBOL LEGEND

ROOM NAME	Room name 101 150 SF
WALL TYPE	1
DOOR TYPE	101(E)
WINDOW TYPE	2008(E)
RCP ELEVATION	1
FINISH FLR ELEVATION	1
ELEVATION DAUTM	Name Elevation
SECTION	1 A101
DETAIL	1 A101
ELEVATION	1 Ref A101 1 Ref
INTERIOR ELEVATION	1 Ref A101 1 Ref
COLUMN GRIDLINE	0

SITE DATA:

PROJECT NAME:	POTTS RESIDENCE
PROJECT TYPE:	RESIDENTIAL RENOVATION
PROJECT ADDRESS:	65 WELLINGTON AVE. ROSS, CA 94960
DESCRIPTION OF WORK:	EXISTING SINGLE-FAMILY HOME, CONVERT BASEMENT INTO JADU, 2ND FLOOR ADDITION AT PRIMARY SUITE, INTERIOR REMODEL, NEW ROOF, LANDSCAPE AND RETAINING WALL ADJUSTMENTS AT PROPERTY ENTRY.
BUILDING DATA:	
APPLICABLE BUILDING CODES:	1. 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 GREEN BUILDING CODE 2022 CALIFORNIA ENERGY CODE 2. AND ALL APPLICABLE FEDERAL, STATE, COUNTY, AND ALL LOCAL AMENDMENTS TO THE ABOVE CODE
TYPE OF CONSTRUCTION:	TYPE V
SPRINKLER PROTECTION:	EXISTING: UNSPRINKLERED; PROPOSED: SPRINKLERED
OCCUPANCY TYPE / USE:	R-3 SINGLE FAMILY RESIDENCE
ASSESSOR'S BLOCK / LOT:	072-071-08
ZONING DISTRICT:	R-1, B-10 - SINGLE FAMILY RESIDENTIAL, HILLSIDE LOT PER SLOPE HAZARD ZONE MAP
NO. OCCUPIED FLOORS:	3
NO. OF STORIES:	2 O/ BASEMENT
NO. OF BASEMENTS:	1
WILDLAND URBAN INTERFACE:	YES
MAX. ALLOWABLE HEIGHT:	30'-0"
BUILDING HEIGHT:	EXISTING: 28'-8" PROPOSED: 29'-4 3/4"
LOT AREA:	11,907.8 SF

PROJECT CALCS FOR SINGLE PARCEL:

FLOOR AREAS - HABITABLE AND GARAGE			
	EXISTING SF	PROPOSED SF	
GARAGE	393	393	
BASEMENT	588	145	
JADU	0	466	
LEVEL 1 - HABITABLE	1,316	1,316	
LEVEL 2 - HABITABLE	1,213	1,473	
SUBTOTAL:	3,510	3,793	
FLOOR AREAS:			
	EXISTING SF	PROPOSED SF	
GARAGE	393	393	
BASEMENT	588	145	
LEVEL 1	1,316	1,316	
LEVEL 2	1,213	1,473	
SUBTOTAL:	3,510	3,327	
FLOOR AREA RATIOS:			
ALLOWED	EXISTING	PROPOSED	
20% OR MATCH EXISTING	3,510/11,907.8 = 29%	3,327/11,907.8 = 28%	
BUILDING COVERAGE RATIOS:			
ALLOWED	EXISTING	PROPOSED	
20% OR MATCH EXISTING	2,404 SF / 11,907.8 SF = 20%	2,429 SF / 11,907.8 SF = 20%	
PERVIOUS VS. IMPERVIOUS:			
	EXISTING	PROPOSED	
IMPERVIOUS	7,138 SF / 11,907.8 SF = 60%	7,193 SF / 11,907.8 SF = 60.5%	
PERVIOUS	4,767 SF / 11,907.8 SF = 40%	4,712 SF / 11,907.8 SF = 39.5%	
GRADING IN CUBIC YARDS:			
CUT	FILL	OFF-HAUL	
12	5	7	
PARKING: (2 REQUIRED 1 OF WHICH IS TO BE COVERED PER 18.16.080)			
	EXISTING (SEE A2.4)	PROPOSED (SEE A2.4)	
	2 SPACES COVERED	2 SPACES COVERED	
SETBACK:			
	REQUIRED	EXISTING	PROPOSED
FRONT YARD	25'-0"	24'-3"	24'-3"
REAR YARD	40'-0"	18'-10 1/2"	18'-10 1/2"
SIDE YARDS	25'-0"	E: 43'-2 1/2" W: 1'-6"	E: 43'-2 1/2" W: 1'-6"

SHEET INDEX

ADR SUBMITTAL	SHEET NUMBER	SHEET NAME
■	A0.1	COVER
■	A0.7	CONSTRUCTION MANAGEMENT PLAN
■	A0.8	EROSION CONTROL PLAN
■	A1.0	EXISTING SITEPLAN
■	A1.1	PROPOSED SITEPLAN
■	A1.2	STORY POLE PLAN - PROPOSED
■	A1.3	EXTERIOR LIGHTING & LANDSCAPE PLAN
■	A1.5	VEGETATION MANAGEMENT PLAN
■	A1.6	PROPOSED 3D RENDERING WITH MATERIALITY KEY
■	A2.0	EXISTING - BASEMENT PLAN
■	A2.1	EXISTING - LEVEL 1 PLAN
■	A2.2	EXISTING - LEVEL 2 PLAN
■	A2.3	EXISTING - ROOF PLAN
■	A2.4	EXISTING & PROPOSED - GARAGE
■	A2.5	PROPOSED BASEMENT PLAN
■	A2.6	PROPOSED - LEVEL 1 PLAN
■	A2.7	PROPOSED - LEVEL 2 PLAN
■	A2.8	PROPOSED - ROOF PLAN
■	A4.0	ELEVATION - EXISTING & PROPOSED NORTH
■	A4.1	ELEVATION - EXISTING & PROPOSED SOUTH
■	A4.2	ELEVATION - EXISTING & PROPOSED EAST
■	A4.3	ELEVATION - EXISTING & PROPOSED WEST
■	A4.4	ELEVATIONS - EXISTING & PROPOSED GARAGE
■	A4.5	SECTION - EXISTING/ PROPOSED LONGITUDINAL
■	A4.6	SECTION - EXISTING & PROPOSED CROSS SECTION

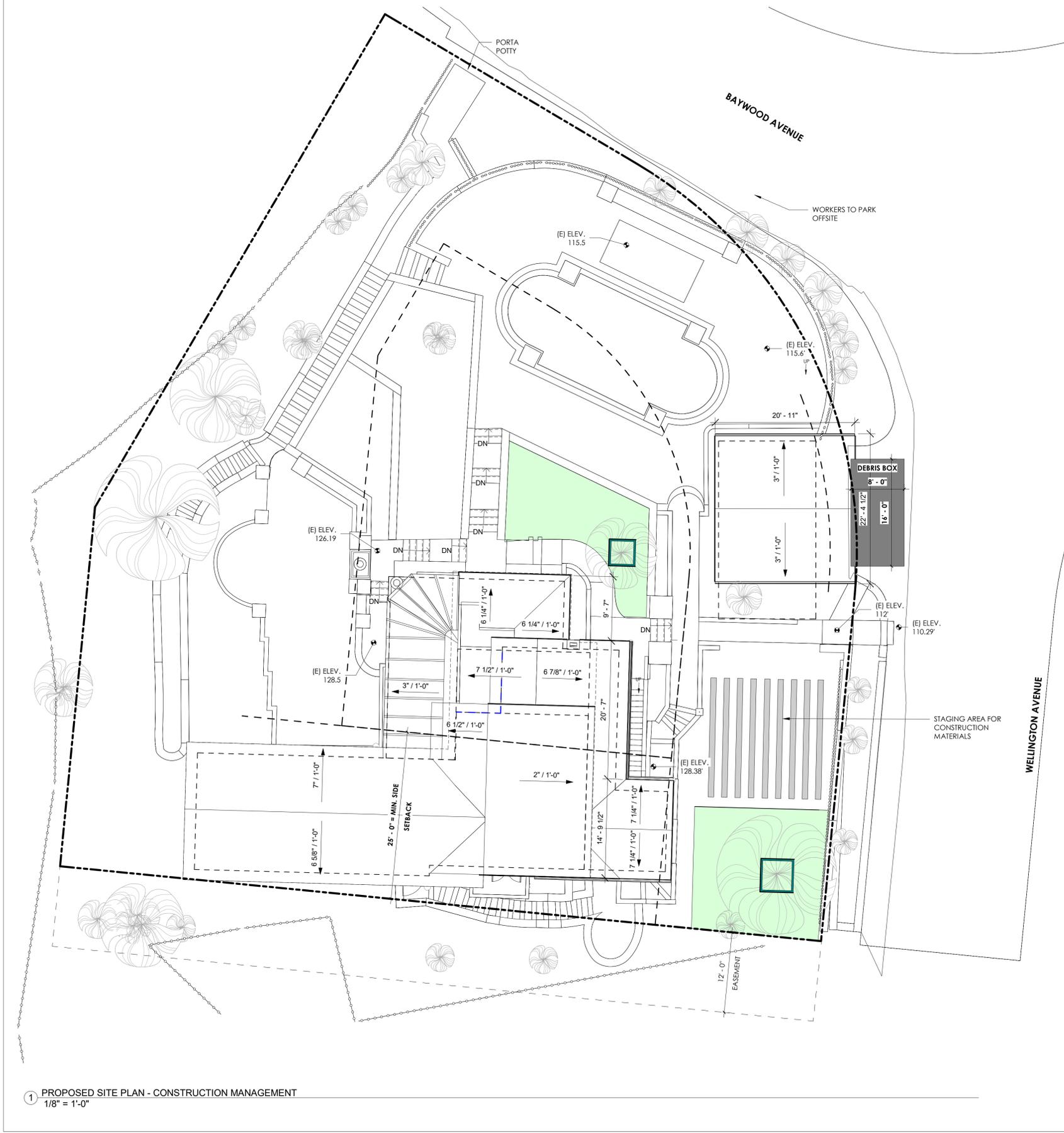
GENERAL NOTES

- VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED UNIFORM BUILDING CODE (UBC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTANT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
- ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.6 GALLONS. ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 2.5 GALLONS PER MINUTE, AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
- SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 420).
- GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (UBC 5406 (D) 5)
- SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 70" OR GREATER ABOVE DRAIN INLET.
- INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

VICINITY MAP/SITE PLAN



Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of

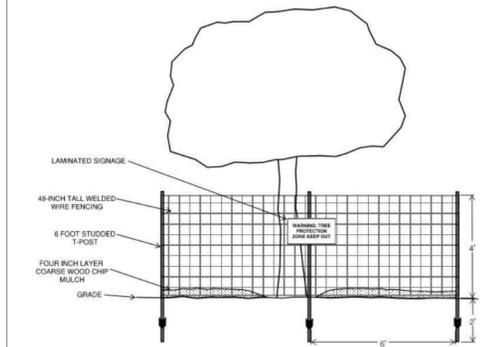


1 PROPOSED SITE PLAN - CONSTRUCTION MANAGEMENT
1/8" = 1'-0"

DESCRIPTION OF CONSTRUCTION MANAGEMENT

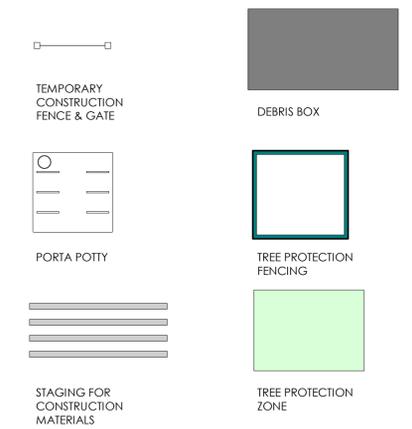
- CONSTRUCTION SCHEDULE:**
 - A) THE PROJECT IS ANTICIPATED TO TAKE 18 MONTHS TO FROM START TO FINISH.
 - B) HOURS OF CONSTRUCTION HOURS WILL BE FROM 8AM TO 5PM, MONDAY TO FRIDAY.
 - C) NO WORK SHALL PERFORMED ON THE FOLLOWING DAYS : DECEMBER 25TH, JANUARY 1ST ,JULY 4TH , LABOR DAY, MLK DAY, MEMORIAL DAY, PRESIDENTS DAY, THANKSGIVING, OR VETERANS DAY.
- SITE ACCESS DURING CONSTRUCTION:**
 - A) PARKING IS AVAILABLE ON THE STREET.
 - B) DEBRIS BOX LOCATION WILL LIKELY NEED AN ENCROACHMENT PERMIT AS THERE IS NO PLACE ON THE PROPERTY.
 - C) CONSTRUCTION MATERIALS WILL BE STORED IN ON THE EXISTING PROPERTY IN THE FRONT YARD
 - D) DELIVERIES & SHORT TERM ACCESS TO BE UTILIZED THROUGH THE FRONT GATE AREA NEXT TO DRIVEWAY OFF OF WELLINGTON AVE.
 - E) ALL NEIGHBORS WILL BE NOTIFIED (2) WEEKS IN ADVANCE OF CONSTRUCTION COMMENCING. IF THEY REQUEST, THE CONTRACTOR WILL PROVIDE CONSTRUCTION BULLETINS AND UPDATES TO THE SCHEDULE. THE NEIGHBORS WILL BE PROVIDED WITH THE CONTRACTORS CONTACT DETAILS.
- CONSTRUCTION CREW, MATERIALS & PARKING:**
 - A) THE AVERAGE CONSTRUCTION CREW IS ANTICIPATED TO BE (6) TO (10) PERSONS EACH DAY DEPENDING ON SUB-CONTRACTORS AND ACTIVITY BEING PERFORMED.
 - B) CONSTRUCTION MATERIALS, TOOLS AND EQUIPMENT WILL BE STORED INSIDE OF THE FENCED PROPERTY LINE.
 - C) ALL MATERIALS STAGING, SAWING AND ASSEMBLY WORK WILL TAKE PLACE ON THE PROPERTY WITHOUT ENCROACHMENT TO THE NEIGHBORS.
 - D) CARPOOLING WILL BE MANDATORY FOR BOTH CONTRACTOR AND SUB-CONTRACTORS TO LIMIT THE AMOUNT OF VEHICLES ON WELLINGTON AVE.
 - E) SHORT TERM PARKING TO OCCUR OFFSITE AND DROP-OFF TO OCCUR THROUGH FRONT GATE OFF OF WELLINGTON AVE, OR SIDE GATE OFF OF BAYWOOD AVE.
- SANITARY FACILITIES:**
 - A) A PORTABLE TOILET WILL BE PLACED ON THE PROPERTY, EASILY ACCESSIBLE FROM THE SIDE GATE ON BAYWOOD AVE, AND HOUSED BY A PLYWOOD STRUCTURE FOR A MORE DEMURE APPEARANCE.

TREE PROTECTION DETAIL



- Four foot tall welded wire fencing shall be used to create the Tree Protection Zone (TPZ) as shown on the Arborist's Map. Orange Plastic construction fencing may be placed on the outside of the wire fencing but is not a substitute for the wire fencing.
- Fencing shall be supported by six foot tall studded metal Tposts installed six feet on center.
- Material storage is not permitted within the TPZ.
- Laminated signs shall be attached to fencing and read "Warning: Tree Protection Zone Keep Out" in English and Spanish. Signs shall be kept visible throughout the project. Failure to comply with the tree protection plan may result in a Stop Work order.

KEY



ADR 08/18/23
SUBMITTAL

CONSTRUCTION MANAGEMENT PLAN

As indicated

A0.7

SUTRO ARCHITECTS
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sutroarchitects.com
1055 Post Street, San Francisco, CA 94109

RESIDENTIAL REMODEL
65 WELLINGTON AVENUE
SAN ANSELMO, CA 94960

8/17/2023 11:44:12 AM

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GENERAL NOTES

- SEE PROPOSED ELEVATIONS AND SECTIONS FOR EXISTING AND PROPOSED GRADE MARKERS WHICH HIGHLIGHTS PROPOSED HEIGHT OF BUILDING.
- SEE WEST ELEVATION FOR NEIGHBOR WINDOW LOCATIONS AND SIZES.

SITEPLAN LEGEND #

---	PROPERTY LINE	N	N
---	AREA OF WORK	PROJECT	TRUE
---	SETBACK LINE		
---	BLDG EXTENTS		
X.XX	ELEVATION MARKER		
[Pattern]	PLANTED AREA	[Symbol]	TREE - TO BE REMOVED
[Pattern]	PLANTING BED	[Symbol]	TREE - EXISTING
[Pattern]	COMPACTED, DECOMPOSED GRANITE OR GEOGRID	[Symbol]	SHRUB AND/OR HEDGE
[Pattern]	CONCRETE	[Symbol]	(E) WD FENCE
[Pattern]	BRICK PAVING	[Symbol]	(E) WD AND WIRE FENCE
		[Symbol]	(E) WIRE FENCE

SITEPLAN KEYNOTES

NO.	NOTE
1	(E) WOOD FENCE. CONFIRM IF 5'-0" ABOVE GRADE. REPLACE IN-KIND TO BE 5'-0" ABOVE GRADE TO COMPLY WITH CA HEALTH & SAFETY CODE SECTION 115923
2	(E) RETAINING WALL
3	EDGE OF PAVEMENT
4	UTILITY VAULT
5	CONCRETE DRIVEWAY
6	STOP SIGN
7	BRICK STEPS
8	BBQ AREA
9	4" STORM DRAIN TO GROUND
10	ELEC. METER
11	(E) CHIMNEY
12	(E) BRICK RETAINING WALL
13	GAS METER
14	PLANTED AREA
15	(N) CONCRETE RETAINING WALL TO FOLLOW GRADE AND/OR STAIRS AS REQ'D
16	WOOD RETAINING WALL
17	(N) STAIR AT GRADE
18	LEVEL OUT EXISTING FRONT LAWN
19	(E) OUTDOOR FIREPLACE
20	(N) FRONT PORCH ENTRY ADDITION OF 17 SF WITH NEW ROOF ABOVE
21	2ND FLOOR ADDITION OVER EXISTING LEVEL 1 SPACE
22	RECONFIGURED ENTRY STAIRS
23	(N) ROOF AND FRAMING
24	(N) FRONT GATES. SEE 1/A4.4. ALL POINTS OF GATE TO BE 6'-0" OR LESS ABOVE GRADE

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EXISTING SITEPLAN

1/8" = 1'-0"

A1.0

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1 EXISTING SITE PLAN
 1/8" = 1'-0"

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7 BAYWOOD AVE.
APN: 072-071-02
LOT 2

23 BAYWOOD AVE.
APN: 072-071-03
LOT 3

55 WELLINGTON AVE.
APN: 072-071-07
LOT 7

65 WELLINGTON AVE.
APN: 072-071-08

1 PROPOSED SITE PLAN
1/8" = 1'-0"

GENERAL NOTES

- SEE PROPOSED ELEVATIONS AND SECTIONS FOR EXISTING AND PROPOSED GRADE MARKERS WHICH HIGHLIGHTS PROPOSED HEIGHT OF BUILDING.
- SEE WEST ELEVATION FOR NEIGHBOR WINDOW LOCATIONS AND SIZES.

SITEPLAN LEGEND #

---	PROPERTY LINE	N	N
---	AREA OF WORK	PROJECT	TRUE
---	SETBACK LINE		
---	BLDG EXTENTS		
X.XX	ELEVATION MARKER		
[Pattern]	PLANTED AREA	[Symbol]	TREE - TO BE REMOVED
[Pattern]	PLANTING BED	[Symbol]	TREE - EXISTING
[Pattern]	COMPACTED, DECOMPOSED GRANITE OR GEOGRID	[Symbol]	SHRUB AND/OR HEDGE
[Pattern]	CONCRETE	[Symbol]	(E) WD FENCE
[Pattern]	BRICK PAVING	[Symbol]	(E) WD AND WIRE FENCE
		[Symbol]	(E) WIRE FENCE

SITEPLAN KEYNOTES

NO.	NOTE
1	(E) WOOD FENCE. CONFIRM IF 5'-0" ABOVE GRADE. REPLACE IN-KIND TO BE 5'-0" ABOVE GRADE TO COMPLY WITH CA HEALTH & SAFETY CODE SECTION 115923
2	(E) RETAINING WALL
3	EDGE OF PAVEMENT
4	UTILITY VAULT
5	CONCRETE DRIVEWAY
6	STOP SIGN
7	BRICK STEPS
8	BBQ AREA
9	4" STORM DRAIN TO GROUND
10	ELEC. METER
11	(E) CHIMNEY
12	(E) BRICK RETAINING WALL
13	GAS METER
14	PLANTED AREA
15	(N) CONCRETE RETAINING WALL TO FOLLOW GRADE AND/OR STAIRS AS REQ'D
16	WOOD RETAINING WALL
17	(N) STAIR AT GRADE
18	LEVEL OUT EXISTING FRONT LAWN
19	(E) OUTDOOR FIREPLACE
20	(N) FRONT PORCH ENTRY ADDITION OF 17 SF WITH NEW ROOF ABOVE
21	2ND FLOOR ADDITION OVER EXISTING LEVEL 1 SPACE
22	RECONFIGURED ENTRY STAIRS
23	(N) ROOF AND FRAMING
24	(N) FRONT GATES. SEE 1/A4.4. ALL POINTS OF GATE TO BE 6'-0" OR LESS ABOVE GRADE

FRONT YARD GRADING:

EXISTING ELEVATION	PROPOSED ELEVATION
1. 120.3'	116.1'
2. 114.6'	115.8'
3. 114.2'	115.8'
4. 116.2'	116.1'

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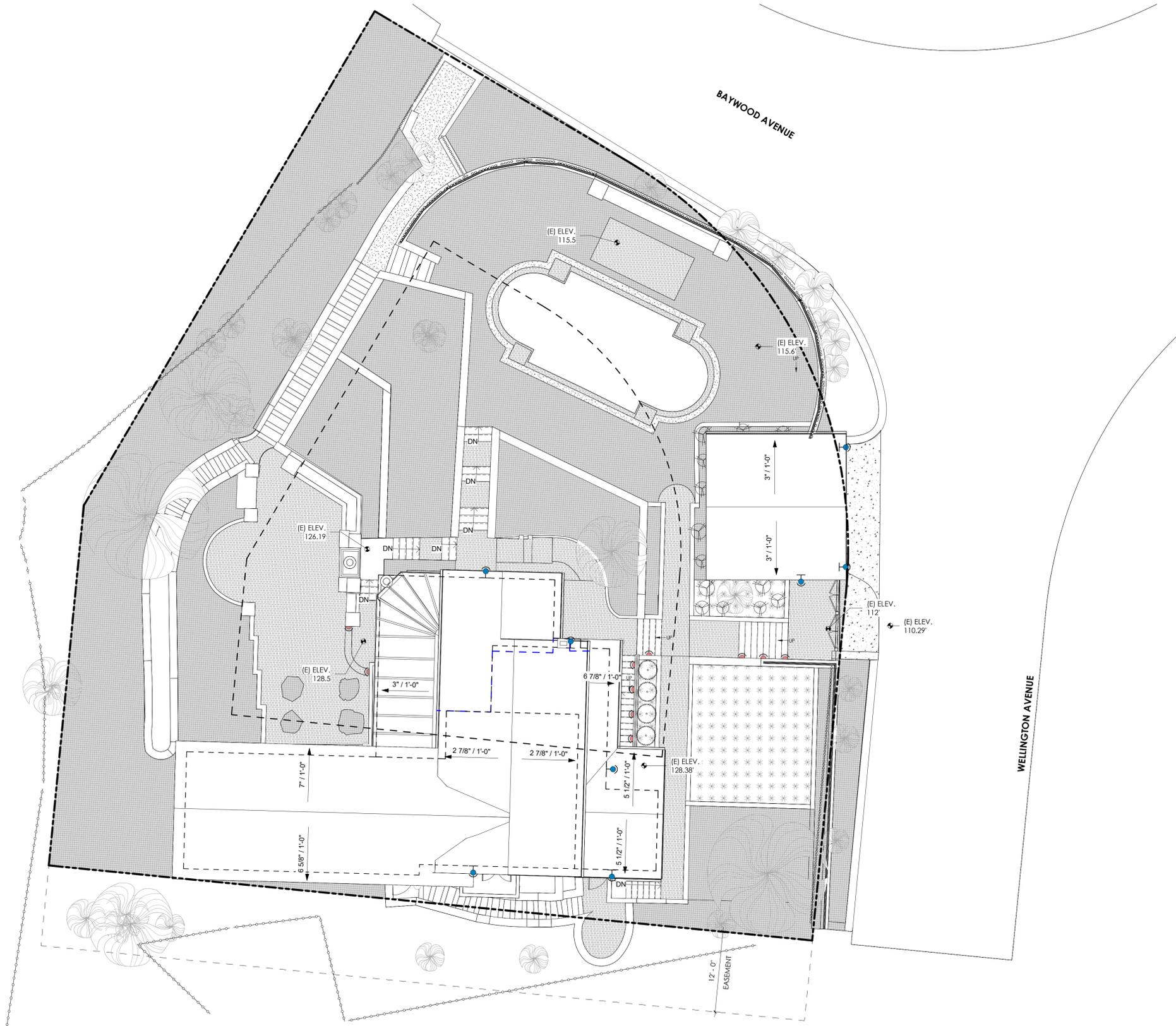
PROPOSED SITEPLAN

1/8" = 1'-0"

A1.1

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LIGHTING LEGEND

1. ALL EXTERIOR LIGHTING TO BE SHIELDED, NO BARE-BULB
2. ALL EXTERIOR LANDSCAPE LIGHTING TO NOT CREATE GLARE, HAZARDS, OR ANNOYANCE FOR ADJACENT PROPERTY OWNERS

(N) WAC HIGH EFFICACY LIGHTING LED STEP LIGHT - BRONZE ON ALUMINUM

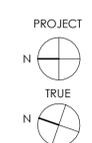


(N) TECH LIGHTING PITCH LED SINGLE OUTDOOR WALL SCONCE - BRONZE



KEY

- CONCRETE
- BRICK PAVEMENT
- EXISTING PLANTING
- PROPOSED PLANTING



1 PROPOSED SITE PLAN - EXTERIOR LIGHTING
1/8" = 1'-0"



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EXTERIOR LIGHTING & LANDSCAPE PLAN

As indicated

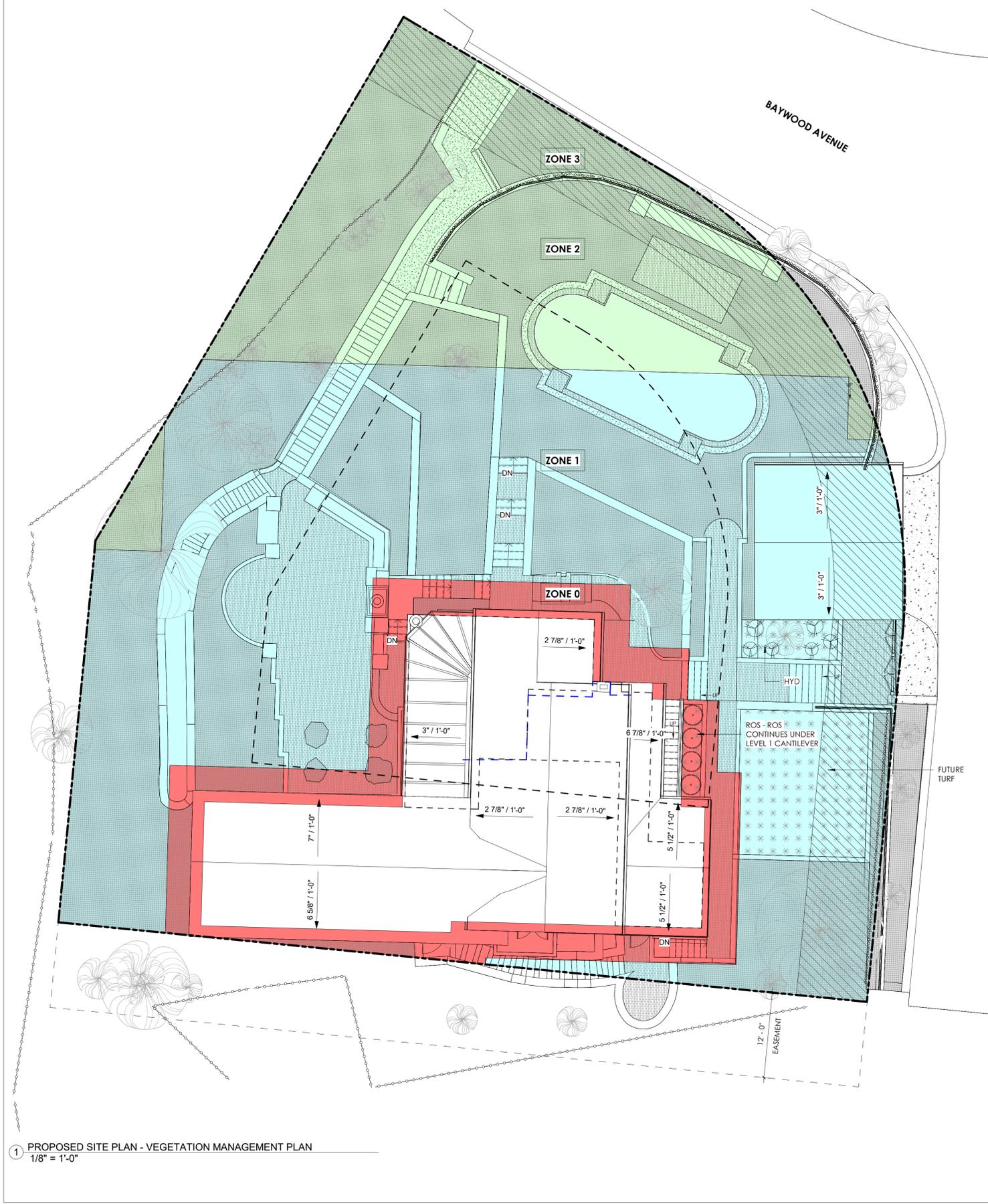
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1 PROPOSED SITE PLAN - VEGETATION MANAGEMENT PLAN
1/8" = 1'-0"

PROJECT CONTACT

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jsimenic@sutroarchitects.com

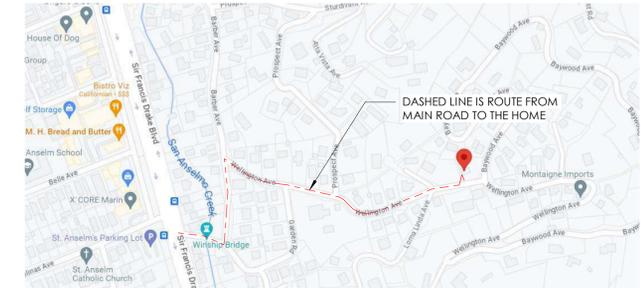
SITEPLAN LEGEND

- PROPERTY LINE
- - - EXISTING BUILDING EXTENTS
- - - PROPOSED BUILDING EXTENTS
- □ □ □ (E) MESH NETTING FENCE
- INDICATES ROOF SLOPE

- BRICK PAVEMENT
- EXISTING PLANTING
- CONCRETE
- FUTURE PLANTING (SEE NARRATIVE BELOW)
- (E) TREES



VICINITY MAP



SYMBOL	COMMON NAME	LATIN NAME	QTY	FIRE RESISTANT	TYPE	EXISTING OR NEW	REMARKS
	ROS	ROSES	10	YES	S	N	IRRIGATED
	HYD	HYDRANGEA	6	YES	H	N	IRRIGATED

HOME IGNITION ZONES

- IMMEDIATE (ZONE 0): 0'-5'**
THE IMMEDIATE ZONE EXTENDS 0-5' FROM YOUR HOUSE. ZONE 0 IS THE AREA CLOSEST TO YOUR HOUSE, INCLUDING THE STRUCTURE ITSELF, DECKS, OUTDOOR FURNITURE, AND THE OUTSIDE WALLS AND COVERINGS. THIS AREA IS MOST VULNERABLE AND SHOULD BE MOST AGGRESSIVELY MAINTAINED FOR FIRE RESISTANCE.
- REMOVE ANY COMBUSTIBLE OUTDOOR FURNITURE.
 - REPLACE JUTE OR FIBER DOOR MATS WITH FIRE RESISTANT MATERIALS.
 - REMOVE OR RELOCATE ALL COMBUSTIBLE MATERIALS, INCLUDING GARBAGE AND RECYCLING CONTAINERS, LUMBER, TRASH, AND PATIO ACCESSORIES.
 - CLEAN ALL FALLEN LEAVES AND NEEDLES REGULARLY. REPEAT OFTEN DURING FIRE SEASON.
 - NO VEGETATION IS RECOMMENDED WITHIN 5' OF STRUCTURES.
 - REMOVE TREE LIMBS THAT EXTEND INTO THIS ZONE. FIRE-PRONE TREE VARIETIES SHOULD BE REMOVED IF THEY EXTEND WITHIN 5' OF STRUCTURES.
 - DO NOT STORE FIREWOOD, LUMBER, OR COMBUSTIBLES HERE, EVEN (ESPECIALLY) UNDER DECKS OR OVERHANGS. MOVE STORED COMBUSTIBLES INSIDE, OR AT LEAST 30' AWAY FROM STRUCTURES.
 - USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER) MAY BE OK.
- INTERMEDIATE ZONE (ZONE 1): 5'-30'**
THE INTERMEDIATE ZONE FROM 5' TO 30' OUT FROM BUILDINGS, STRUCTURES, DECKS, ETC. KEEP ZONE 1 "LEAN, CLEAN, AND GREEN" AND EMPLOY CAREFUL LANDSCAPING TO CREATE BREAKS THAT CAN HELP INFLUENCE AND DECREASE FIRE BEHAVIOR.
- REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION).
 - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YOUR YARD, ROOF AND RAIN GUTTERS.
 - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
 - REMOVE BRANCHES THAT HANG OVER YOUR ROOF AND KEEP DEAD BRANCHES 10 FEET AWAY FROM YOUR CHIMNEY.
 - REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS.
 - REMOVE FIRE-PRONE PLANTS AND CHOOSE ONLY FIRE-RESISTANT VARIETIES. IRRIGATE REGULARLY.
 - REMOVE LIMBS TO A HEIGHT OF 10' ABOVE THE GROUND (OR 1/3 THE HEIGHT OF THE TREE) TO PROVIDE CLEARANCE AND TO ELIMINATE A "FIRE LADDER".
 - USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER) MAY BE OK.
- EXTENDED ZONE (ZONE 2): 30'-100'**
THE EXTENDED ZONE FROM 30' TO 100' (OR MORE, IF REQUIRED DUE TO STEEP SLOPES, NEARBY VEGETATION CONDITIONS, AND/OR YOUR LOCAL FIRE DEPARTMENT), THE GOAL HERE IS NOT TO ELIMINATE FIRE BUT TO INTERRUPT FIRE'S PATH AND KEEP FLAMES SMALLER AND ON THE GROUND. THIS ZONE SHOULD INCLUDE AT A MINIMUM:
- CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
 - CREATE HORIZONTAL SPACING BETWEEN SHRUBS, TREES AND VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES.
 - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES IF EROSION CONTROL IS AN ISSUE.
- ACCESS ZONE (ZONE 3): 0'-10'**
EXTENDS 10 FEET HORIZONTALLY FROM THE EDGE ON EITHER SIDE OF THE ROAD OR DRIVEWAY.
- WITHIN THIS ZONE, PLANTINGS SHALL BE FIRE RESISTANT AND SHALL NOT EXTEND WITHIN THE 14 FOOT VERTICAL.
 - CLEARANCE ABOVE THE SURFACE OF THE ROADWAY OR DRIVEWAY, AS REQUIRED FOR EMERGENCY ACCESS.
 - ALL LANDSCAPE SHALL MEET THE REQUIREMENTS FOR SEPARATION AS STATED IN THE ZONE 2 ABOVE

VEGETATION MANAGEMENT PLAN NARRATIVE

- 1. EXISTING CONDITIONS**
A. THERE ARE CURRENTLY MATURE TREES AND A FEW OTHER MISCELLANEOUS NATIVE SHRUB SPECIES LOCATED THROUGHOUT THE PROPERTY.
- 2. PROPOSED SCOPE**
A. THE INTENT OF THIS PLAN IS TO PROPERLY MAINTAIN THE MATURE BAY AND REDWOOD TREES WITH SELECTIVE PRUNING AND REMOVAL OF ALL DEAD MATERIAL PER FIREWISE STANDARDS. THE EXISTING SHRUBS AND LANDSCAPING IN THE FRONT OF THE HOME WILL BE REPLACED WITH AN IRRIGATED LAWN, AND A ROW OF IRRIGATED SHRUBS IN FRONT-OF AND BEHIND THE NEW PROPOSED STUCCO AND IRON FENCE. THE HARDSCAPE AT THE SIDE OF THE HOME WILL BE BROKEN UP BY PLANTING OF MARINSAFE SPECIES. LOW SHRUBS ON THE HILLSIDE BEHIND THE HOME WILL BE THINNED AND MAINTAINED REGULARLY TO KEEP CLEAR OF DRY PLANT MATERIAL.
- 3. FUTURE PLANTING**
A. ANY FUTURE PLANTINGS THROUGHOUT THE SITE WILL INCLUDE FIRE-RESISTANT, IRRIGATED SHRUBS, PERENNIALS, AND GROUND COVERS AS IN THE FIRESAFE MARIN PLANTING LISTS LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS
- 4. LONG TERM MAINTENANCE SCHEDULE AND SAFETY PRACTICES**
A. ALL FIRE PRONE FUELS AND DEAD MATERIAL WILL BE REMOVED WITHIN 100' OF THE HOME.
B. REMOVE BRANCHES BENEATH LARGE TREES FOR A 6-FOOT MINIMUM CLEARANCE.
C. NEEDLES AND LEAVES AND OTHER COMBUSTIBLE DEBRIS AND LITTER SHALL BE REMOVED FROM ROOFS AND GUTTER AT MINIMUM TWICE YEARLY.
D. ALL WEEDS AND GRASSES SHALL BE CUT REGULARLY TO A HEIGHT OF 4" OR LESS.
E. VEGETATION SHALL BE TRIMMED TO WITHIN 10' HORIZONTALLY OF ROADWAYS, AND TREES SHALL BE TRIMMED AS NOT TO OVERHANG ROADWAYS AND PROVIDE 14' OF CLEARANCE VERTICALLY.
F. ALL DEAD AND DYING VEGETATION SHALL BE REMOVED SEASONALLY TO REDUCE VEGETATION VOLUME AND LADDER FUELS.
G. COORDINATE WITH ADJACENT PROPERTY OWNERS TO MAINTAIN TREE CANOPIES, VEGETATION AND LADDER FUELS ON AN ANNUAL BASIS.
H. NO NATIVE GRASSES SHALL BE PLANTED WITHIN HOME IGNITION ZONES 1 AND 2.
I. ALL PLANTED AREAS INSIDE HOME IGNITION ZONES 1 AND 2 SHALL BE IRRIGATED.
J. ALL PLANTINGS SHALL BE SELECTED IN COORDINATION WITH THE FIRESAFE MARIN PLANTING LIST LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS. OTHER FIRE-RESISTANT PLANTS CAN BE UTILIZED WITH PRIOR APPROVAL OF THE FIRE CODE OFFICIAL. REGARDLESS OF PLANT SELECTION, SHRUBS SHALL BE SPACED SO THAT NO CONTINUITY EXISTS BETWEEN GROUND FUELS AND TREE CROWNS, SUCH THAT A GROUND FIRE WILL NOT EXTEND INTO THE TREE CANOPY.

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VEGETATION MANAGEMENT PLAN

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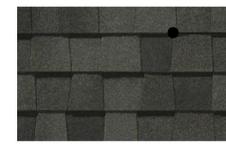
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MATERIALITY KEY



1

ROOF MATERIAL:
ASPHALT ROOF SHINGLES
CERTAIN TEED MAX DEF MOIRE
BLACK



2

HOUSE MATERIAL:
EXISTING LAP SIDING



3

HOUSE COLOR:
HALE NAVY HC-154; FINAL
COLOR TBD



4

TRIM:
WHITE DOVE OC-17; FINAL
COLOR TBD



5

**PLANTERS: MATCH EXISTING
STONE**



6

**PAVING: MATCH EXISTING
BRICK**

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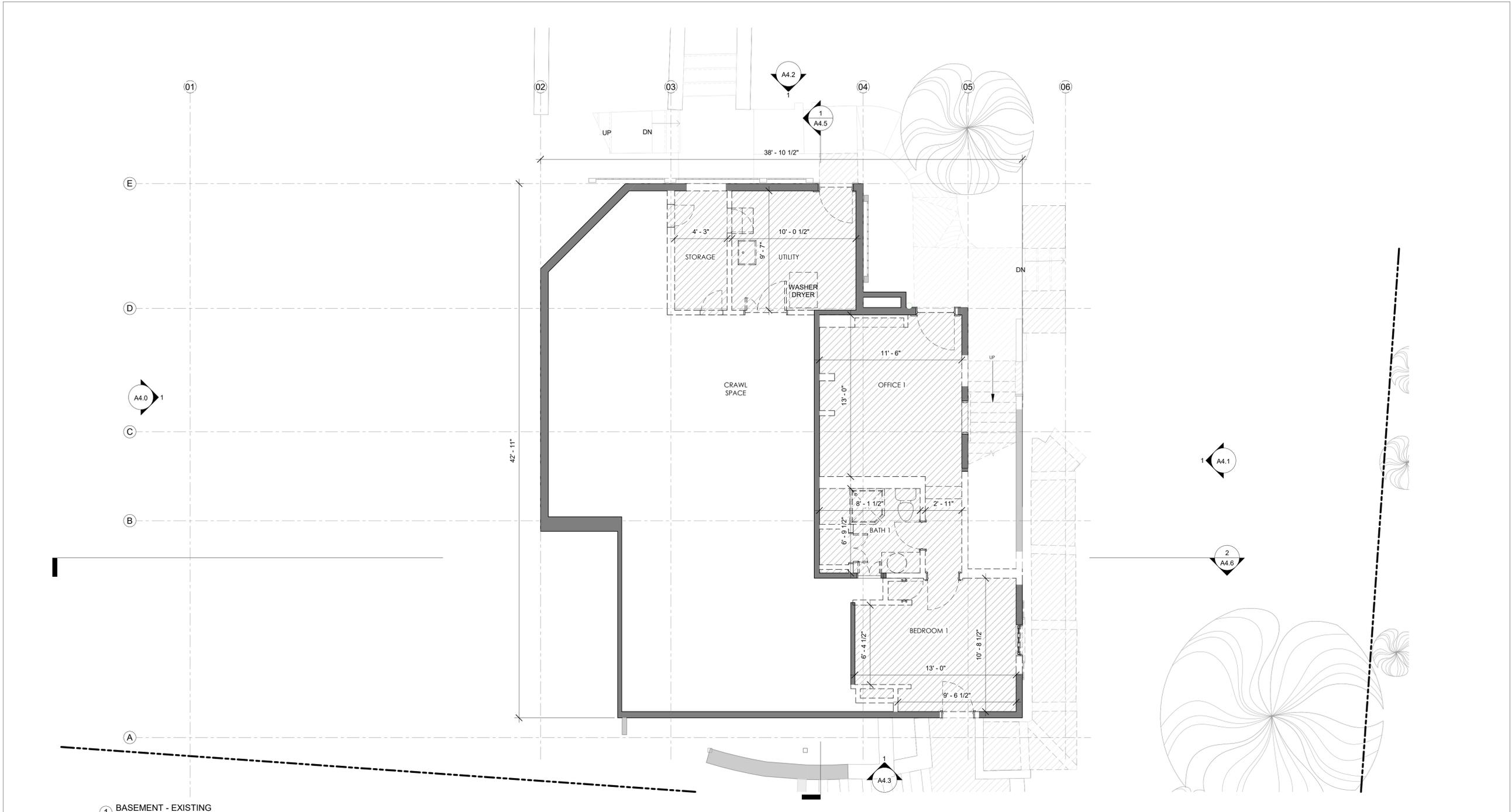
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PROPOSED 3D
RENDERING WITH
MATERIALITY KEY

1/2" = 1'-0"

A1.6

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1 BASEMENT - EXISTING
1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

1. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
3. DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED, NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

DEMOLITION KEYNOTES

WALL LEGEND

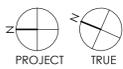
- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED.
- EXISTING ELEMENTS TO BE DEMOLISHED.
- NEW WALLS

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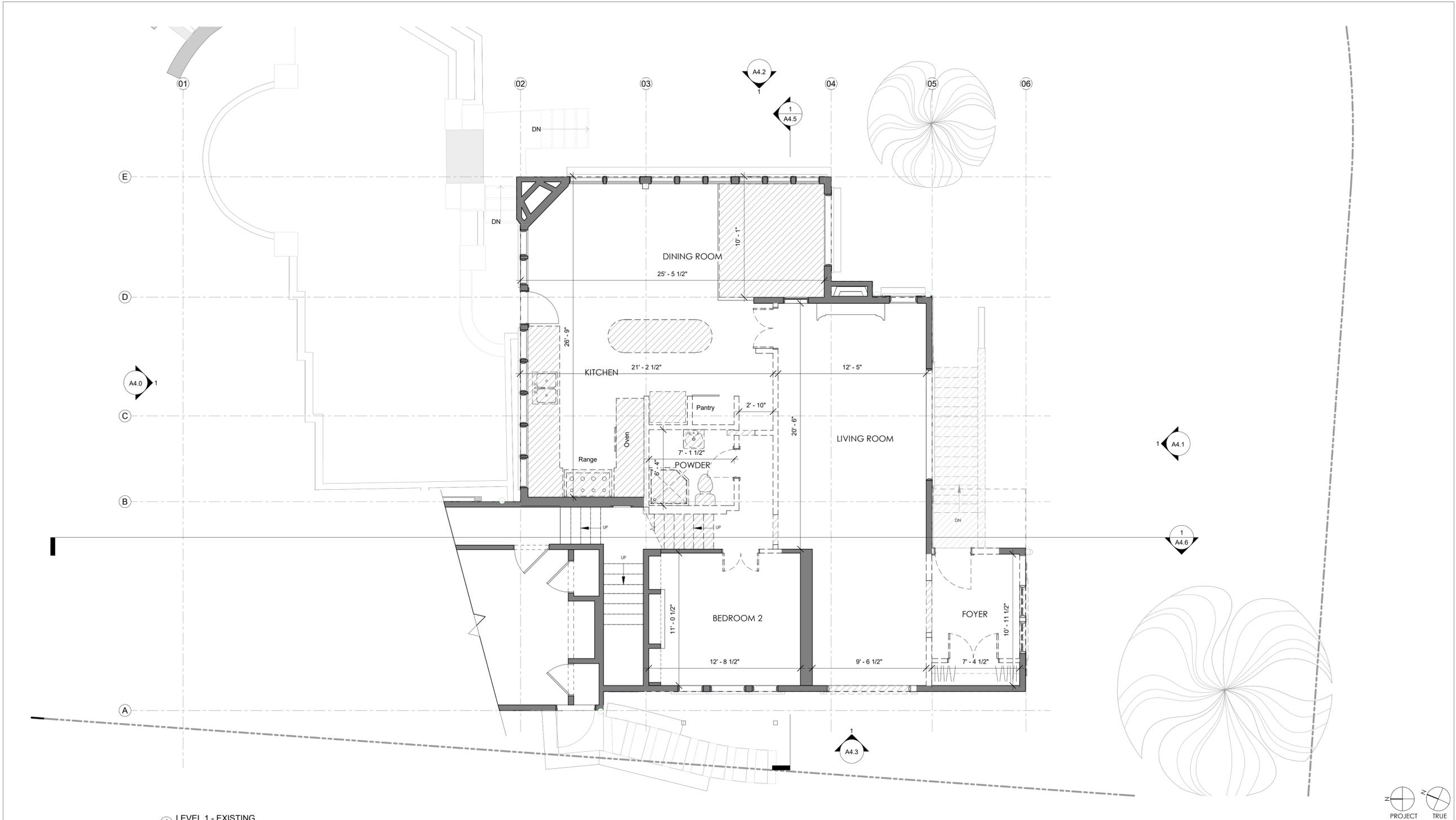
EXISTING - BASEMENT PLAN

As indicated

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1 LEVEL 1 - EXISTING
1/4" = 1'-0"

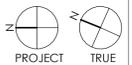
DEMOLITION PLAN GENERAL NOTES

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DEMOLITION KEYNOTES

WALL LEGEND

- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- - - EXISTING PARTITION TO BE REMOVED.
- - - - EXISTING ELEMENTS TO BE DEMOLISHED.
- ▨ NEW WALLS



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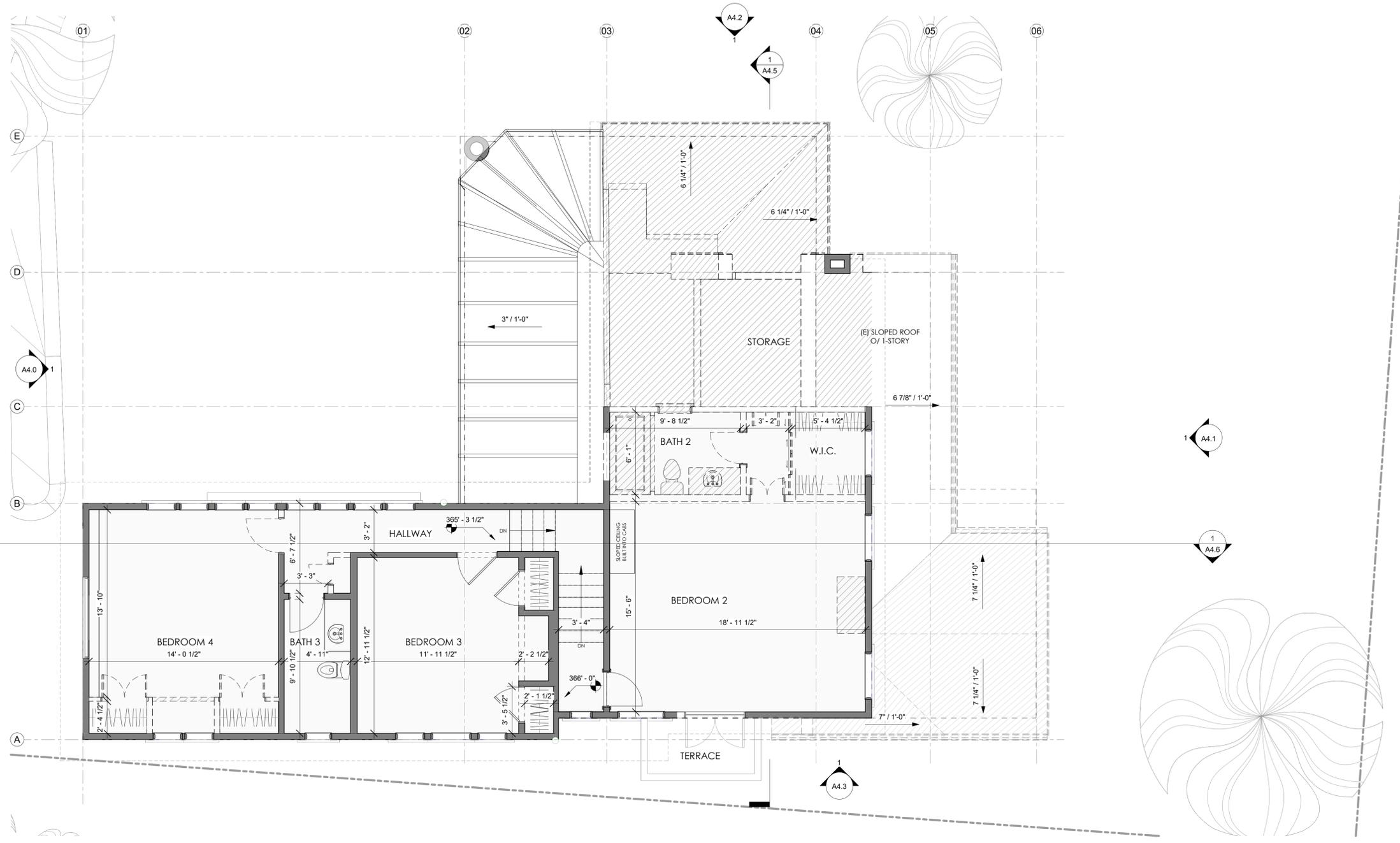
EXISTING - LEVEL 1 PLAN

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1 LEVEL 2 - EXISTING
1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

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DEMOLITION KEYNOTES

WALL LEGEND

- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- - - EXISTING PARTITION TO BE REMOVED.
- - - - EXISTING ELEMENTS TO BE DEMOLISHED.
- ▣ NEW WALLS

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EXISTING - LEVEL 2 PLAN

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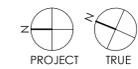
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1 ROOF - EXISTING PLAN
1/4" = 1'-0"



DEMOLITION PLAN GENERAL NOTES

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DEMOLITION KEYNOTES

--	--	--

WALL LEGEND

- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED.
- EXISTING ELEMENTS TO BE DEMOLISHED.
- NEW WALLS



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EXISTING - ROOF PLAN

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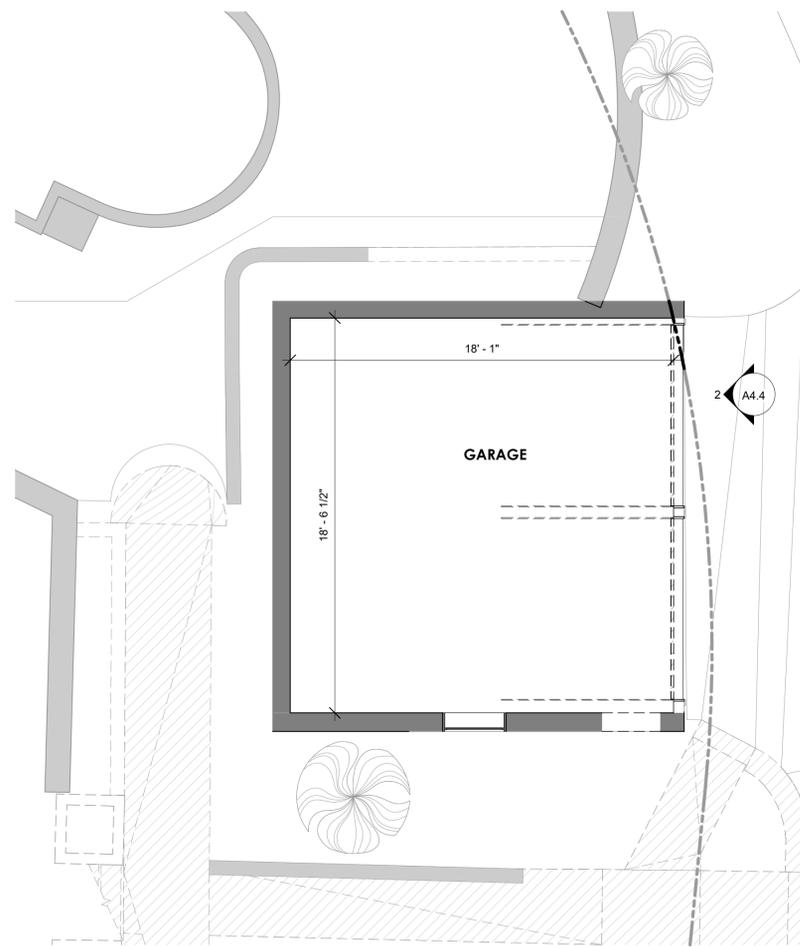
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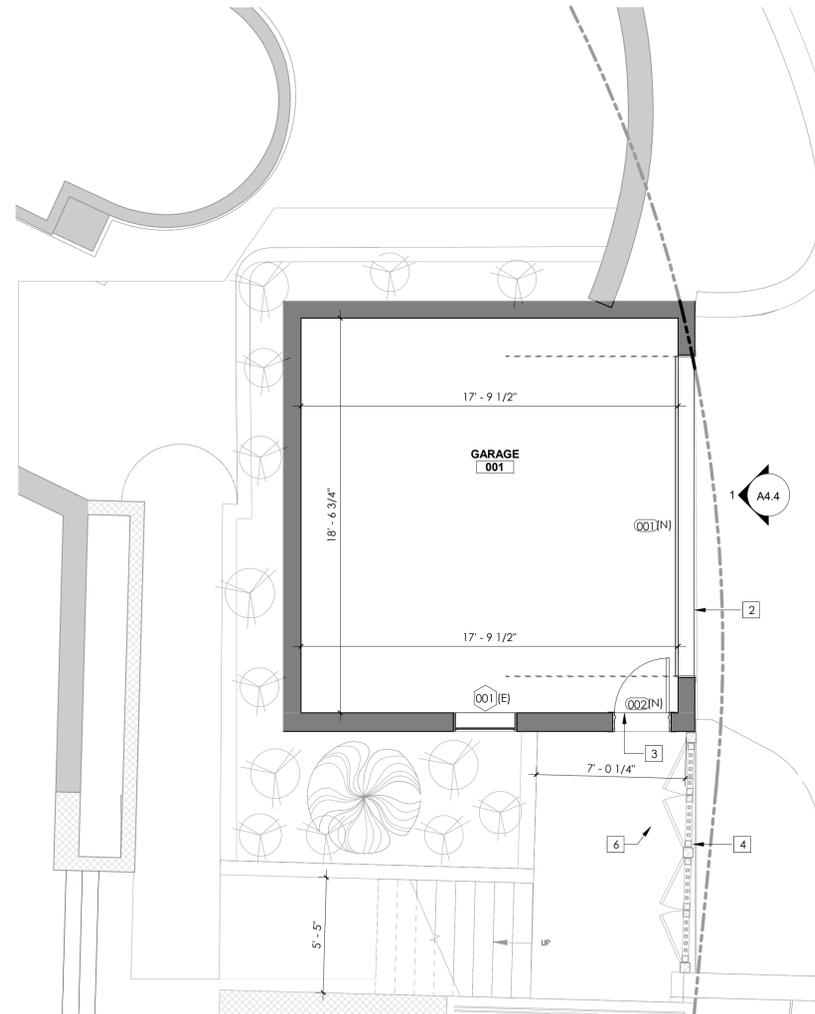
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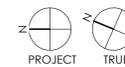
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3 GARAGE - EXISTING
1/4" = 1'-0"



1 GARAGE - CONSTRUCTION PLAN
1/4" = 1'-0"



CONSTRUCTION PLAN GENERAL NOTES

- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
- NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

PLUMBING NOTES:

- DISHWASHERS SHALL BE INSTALLED WITH AN APPROVED AIR GAP PER MANUFACTURER'S INSTRUCTIONS ON THE DISCHARGE SIDE OF THE MACHINE.
- ALL HOSE BIBBS SHALL BE PROTECTED WITH A LISTED NON-REMOVABLE BACKFLOW PREVENTER OR ATMOSPHERIC VACUUM BREAKER INSTALLED 6" MIN ABOVE THE HIGHEST POINT OF USAGE.
- IF A RECIRCULATING DOMESTIC HOT WATER SYSTEM IS INSTALLED, THE RECIRCULATING SECTIONS SHALL BE INSULATED FOR THEIR ENTIRE LENGTH (R4 MIN UP TO 1 1/2" AND R6 MIN FOR 2" OR GREATER DIAMETER.)

HVAC NOTES:

- APPLY DUCT MASTIC ON ALL HVAC DUCT JOINTS AND SEAMS.
- VENTILATE BATHROOMS PER C.M.C. TYP. FANS TO BE ENERGY STAR PER HVI STANDARDS WITH HUMIDITY/MOISTURE SENSOR (SEE SPEC.) AIR FLOW TO BE VERIFIED.
- RANGE HOOD FAN TO BE 100 CFM MIN.
- HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
- HVAC FILTER TO BE HIGH EFFICIENCY (MERV 8+)
- HOT WATER HEATER TO PROVIDE 80 GALLONS MINIMUM AT FIRST HOUR RECOVERY RATE

CONSTRUCTION KEYNOTES

#	Sheet Note
1	VENTILATION OF BATHROOMS TO MEET REQUIREMENTS OF 2013 CGBSC 4.506; "INDOOR AIR QUALITY AND EXHAUST" HUMIDITY CONTROLLED EXHAUST FANS, ENERGY STAR RATED AND DUCTED TO EXTERIOR OF BUILDING
2	REPLACE 2 (E) GARAGE DOORS W/ A SINGLE LARGER GARAGE DOOR. DOOR TO HAVE A SINGLE-RECESSED PANEL.
3	ADD NEW SIDE ENTRY DOOR TO GARAGE.
4	NEW WOOD ENTRY GATE TO MATCH STYLE OF (E) ADJACENT WOOD FENCE. MAX. 7'-0"
5	EXPANDED AND COVERED ENTRY
6	LOWERED PATIO AREA ADJACENT TO (E) GARAGE
7	REFRAME (E) ROOF SO THAT THE PEAK OF THE GABLE IS CENTERED OVER THE (E) LEVEL 2 MASS

WALL LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- 1-HR RATED WALL
- EGRESS ROUTE
- (H) (E) - EXISTING WINDOW TAG
- (R) - REPLACE (N) - NEW
- (X) (E) - EXISTING DOOR TAG
- (N) - NEW



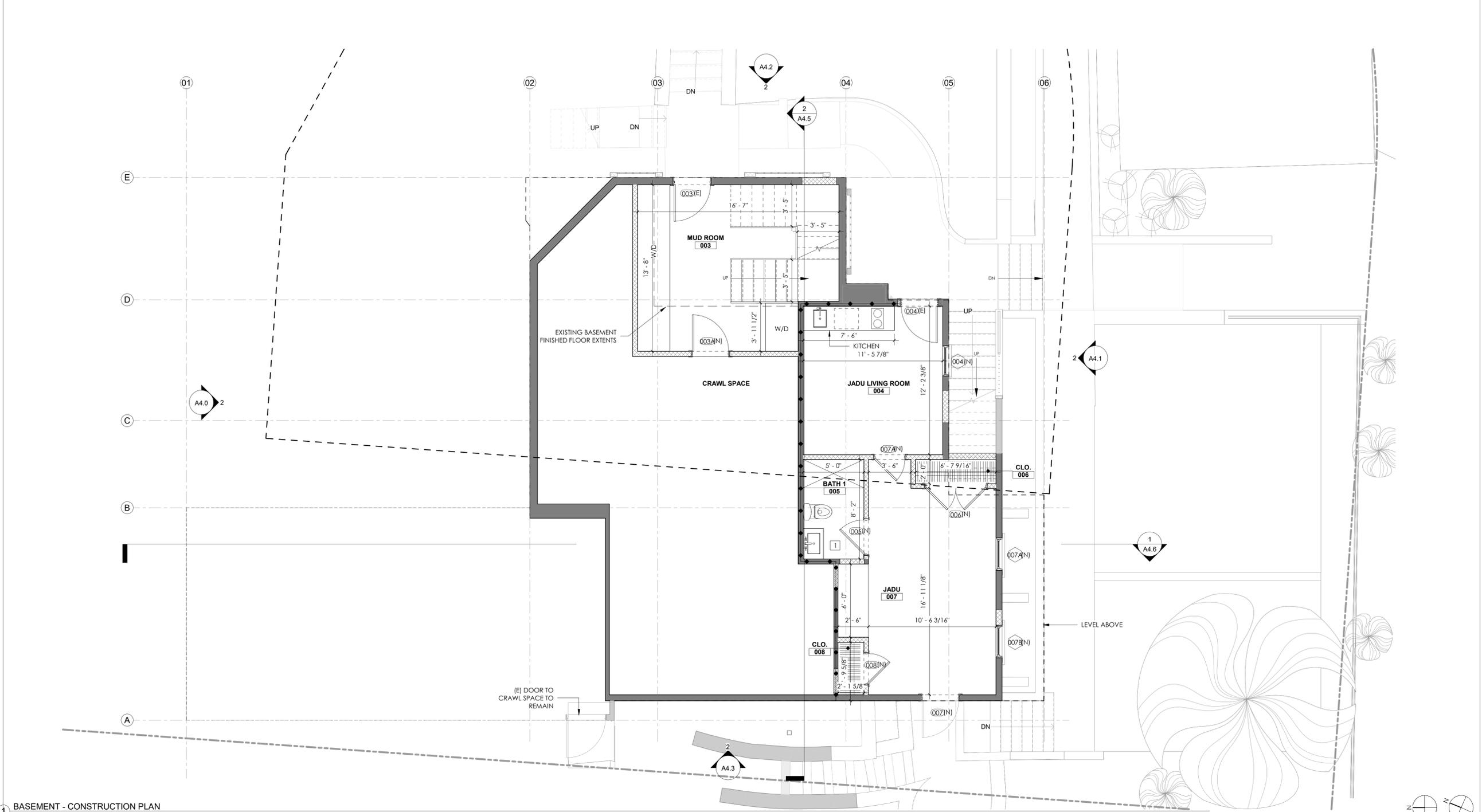
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SUBMITTAL

EXISTING & PROPOSED - GARAGE

As indicated

A2.4

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1 BASEMENT - CONSTRUCTION PLAN
1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

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- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
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PLUMBING NOTES:

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HVAC NOTES:

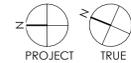
- APPLY DUCT MASTIC ON ALL HVAC DUCT JOINTS AND SEAMS.
- VENTILATE BATHROOMS PER C.M.C. TYP. FANS TO BE ENERGY STAR PER HVI STANDARDS WITH HUMIDITY/MOISTURE SENSOR (SEE SPEC.) AIR FLOW TO BE VERIFIED.
- RANGE HOOD FAN TO BE 100 CFM MIN.
- HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
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- HOT WATER HEATER TO PROVIDE 80 GALLONS MINIMUM AT FIRST HOUR RECOVERY RATE

CONSTRUCTION KEYNOTES

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4	NEW WOOD ENTRY GATE TO MATCH STYLE OF (E) ADJACENT WOOD FENCE. MAX. 7'-0"
5	EXPANDED AND COVERED ENTRY
6	LOWERED PATIO AREA ADJACENT TO (E) GARAGE
7	REFRAME (E) ROOF SO THAT THE PEAK OF THE GABLE IS CENTERED OVER THE (E) LEVEL 2 MASS

WALL LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- 1-HR RATED WALL
- EGRESS ROUTE
- WINDOW TAG
- REPLACE (N) - NEW
- DOOR TAG



ADR SUBMITTAL 08/18/23

PROPOSED BASEMENT PLAN

As indicated

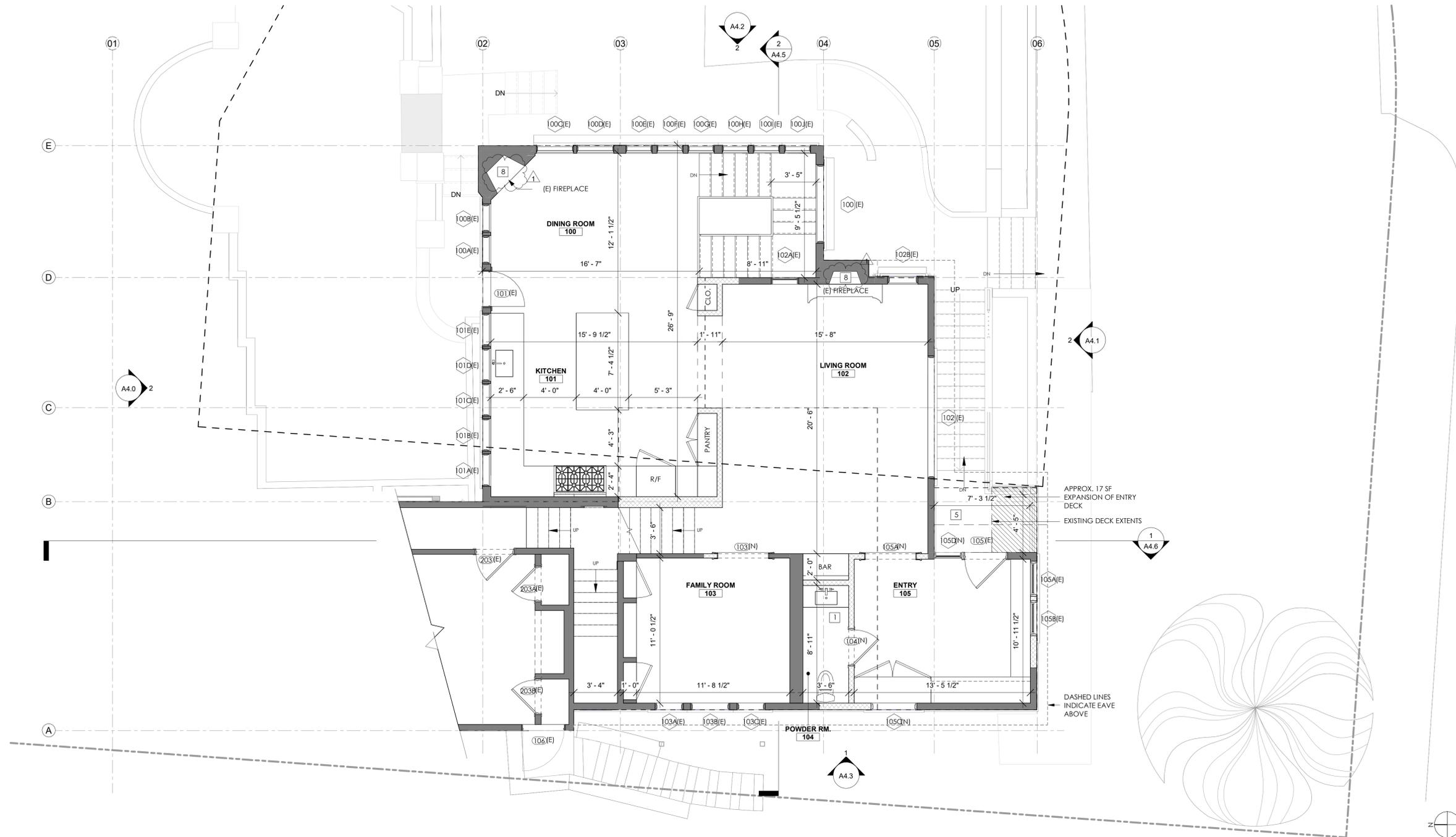
A2.5

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1 LEVEL 1 - CONSTRUCTION PLAN
1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
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- PLUMBING NOTES:**
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- HVAC NOTES:**
- APPLY DUCT MASTIC ON ALL HVAC DUCT JOINTS AND SEAMS.
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 - HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
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CONSTRUCTION KEYNOTES

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4	NEW WOOD ENTRY GATE TO MATCH STYLE OF (E) ADJACENT WOOD FENCE. MAX. 7'-0"
5	EXPANDED AND COVERED ENTRY
6	LOWERED PATIO AREA ADJACENT TO (E) GARAGE
7	REFRAME (E) ROOF SO THAT THE PEAK OF THE GABLE IS CENTERED OVER THE (E) LEVEL 2 MASS
8	(N) GAS INSERT AT EXISTING FIREPLACE.

WALL LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- 1-HR RATED WALL
- EGRESS ROUTE
- (H) - EXISTING WINDOW TAG
- (R) - REPLACE WINDOW TAG
- (N) - NEW WINDOW TAG
- (XXX) - EXISTING DOOR TAG
- (R) - REPLACE DOOR TAG
- (N) - NEW DOOR TAG



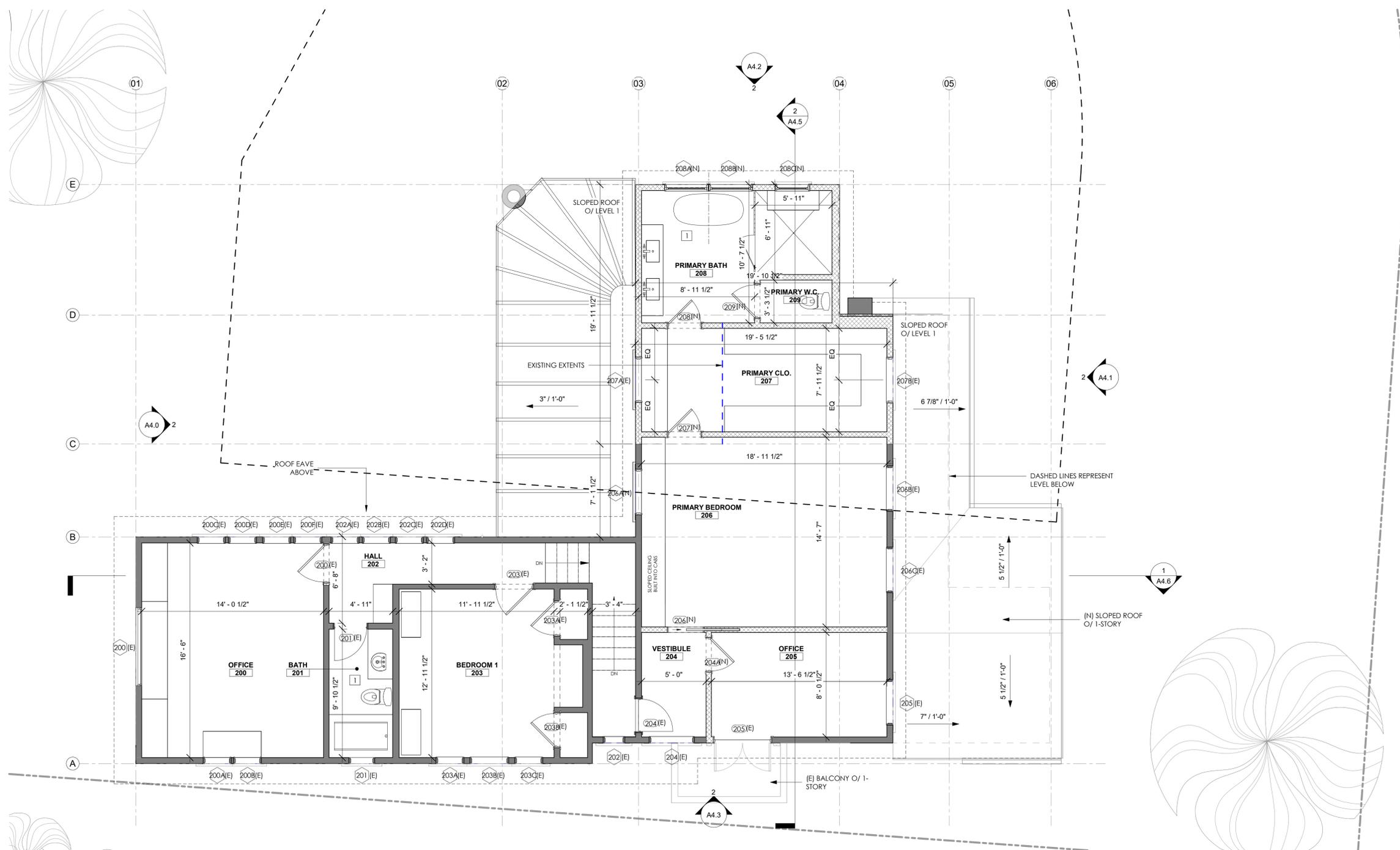
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PROPOSED - LEVEL 1 PLAN

As indicated

A2.6

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1 LEVEL 2 - CONSTRUCTION PLAN
1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

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CONSTRUCTION KEYNOTES

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6	LOWERED PATIO AREA ADJACENT TO (E) GARAGE
7	REFRAME (E) ROOF SO THAT THE PEAK OF THE GABLE IS CENTERED OVER THE (E) LEVEL 2 MASS

WALL LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- 1-HR RATED WALL
- EGRESS ROUTE
- WINDOW TAG
- DOOR TAG
- (E) - EXISTING
- (R) - REPLACE
- (N) - NEW
- (XXX) - EXISTING
- (R) - REPLACE
- (N) - NEW



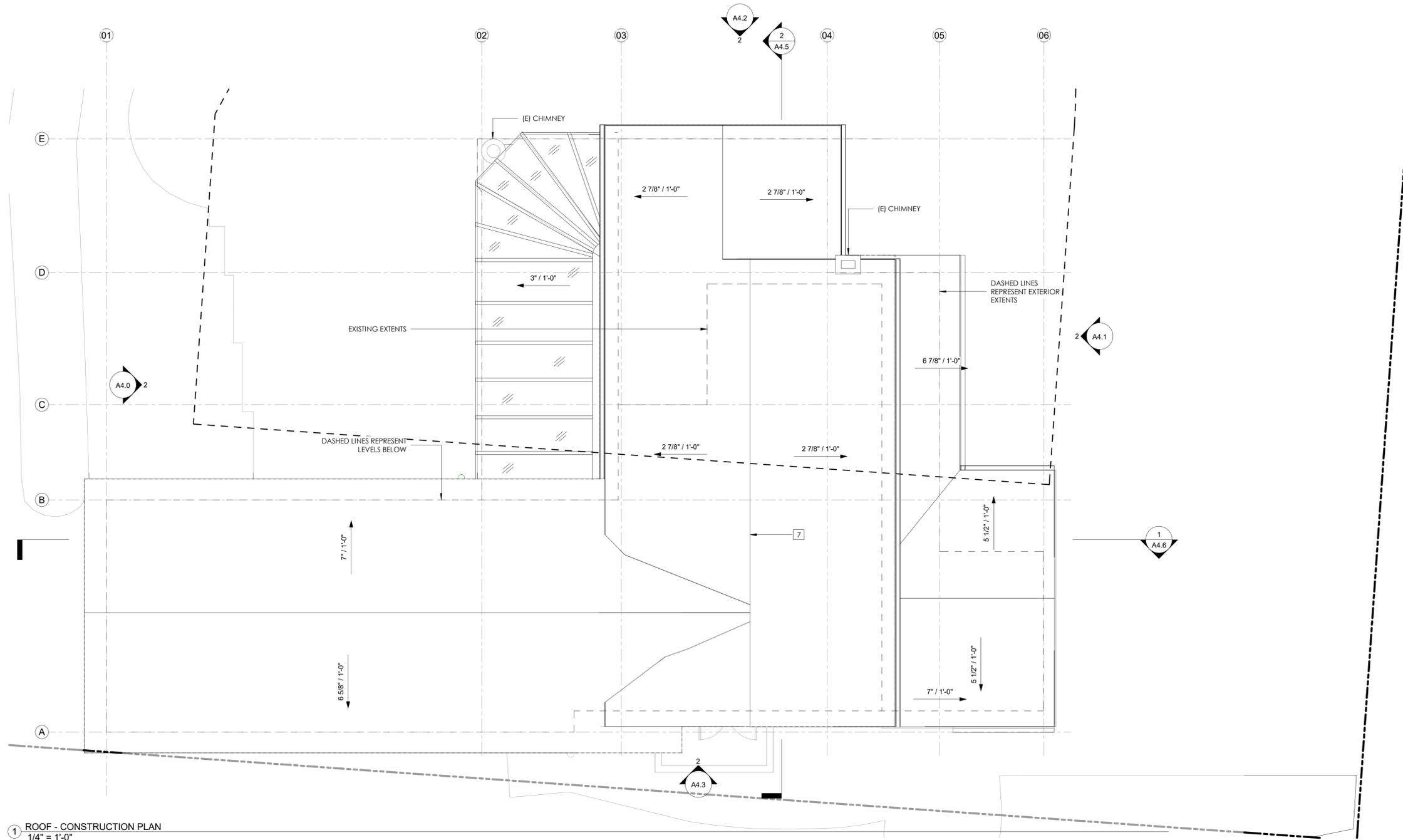
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PROPOSED - LEVEL 2 PLAN

As indicated

A2.7

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1 ROOF - CONSTRUCTION PLAN
1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

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WALL LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- 1-HR RATED WALL
- EGRESS ROUTE
- (E) - EXISTING WINDOW TAG
- (R) - REPLACE WINDOW TAG
- (N) - NEW WINDOW TAG
- (E) - EXISTING DOOR TAG
- (R) - REPLACE DOOR TAG
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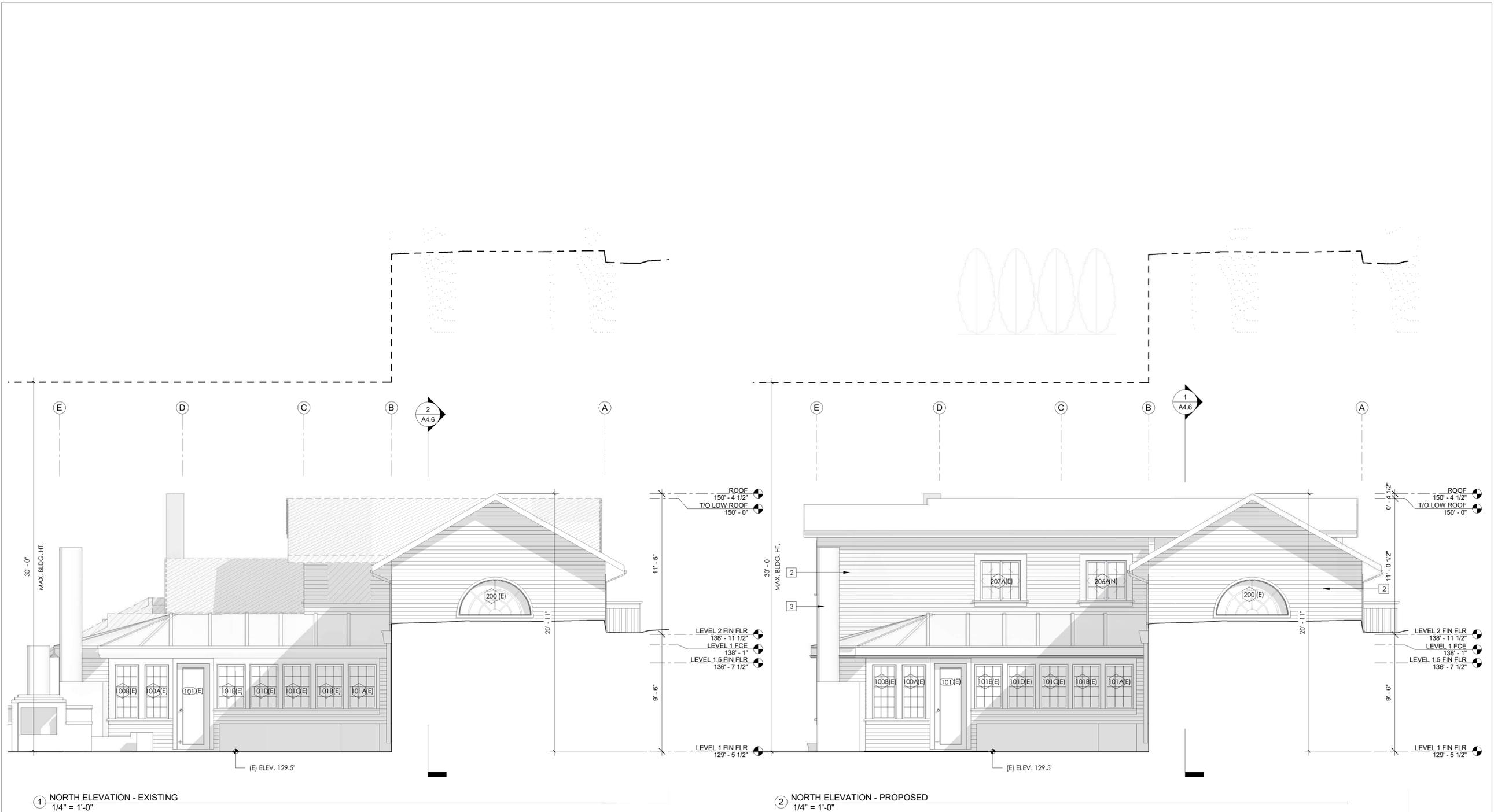
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PROPOSED - ROOF PLAN

As indicated

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1 NORTH ELEVATION - EXISTING
1/4" = 1'-0"

2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES	DEMOLITION KEYNOTES	CONSTRUCTION PLAN GENERAL NOTES	CONSTRUCTION KEYNOTES	LEGEND
<p>1. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.</p> <p>2. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.</p> <p>3. DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.</p>		<p>1. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.</p> <p>2. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.</p> <p>3. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.</p>	<p># Sheet Note</p> <p>1 (N) ROOF TO MATCH EXISTING</p> <p>2 (E) WOOD SIDING</p> <p>3 (E) CHIMNEY TO REMAIN</p> <p>4 (N) EXTERIOR BRACKETS</p> <p>5 (N) PLANTING</p> <p>6 (N) GARAGE DOOR</p> <p>7 REUSE (E) WINDOWS</p> <p>8 (N) WINDOWS, MATCH (E) WINDOWS</p> <p>9 (N) GATES; 6'-0" MAX. ABOVE GRADE</p>	<p>--- PROPERTY LINE</p> <p>--- EXISTING PARTITION TO REMAIN</p> <p>--- NEW WALLS</p> <p>--- EXISTING PARTITION TO BE REMOVED.</p> <p>--- EXISTING ELEMENTS TO BE DEMOLISHED.</p> <p># (E) - EXISTING (R) - REPLACE (N) - NEW</p> <p>XXX (E) - EXISTING (R) - REPLACE (N) - NEW</p> <p>WINDOW TAG</p> <p>DOOR TAG</p>

DEMOLITION/CONSTRUCTION ELEV.
12" = 1'-0"



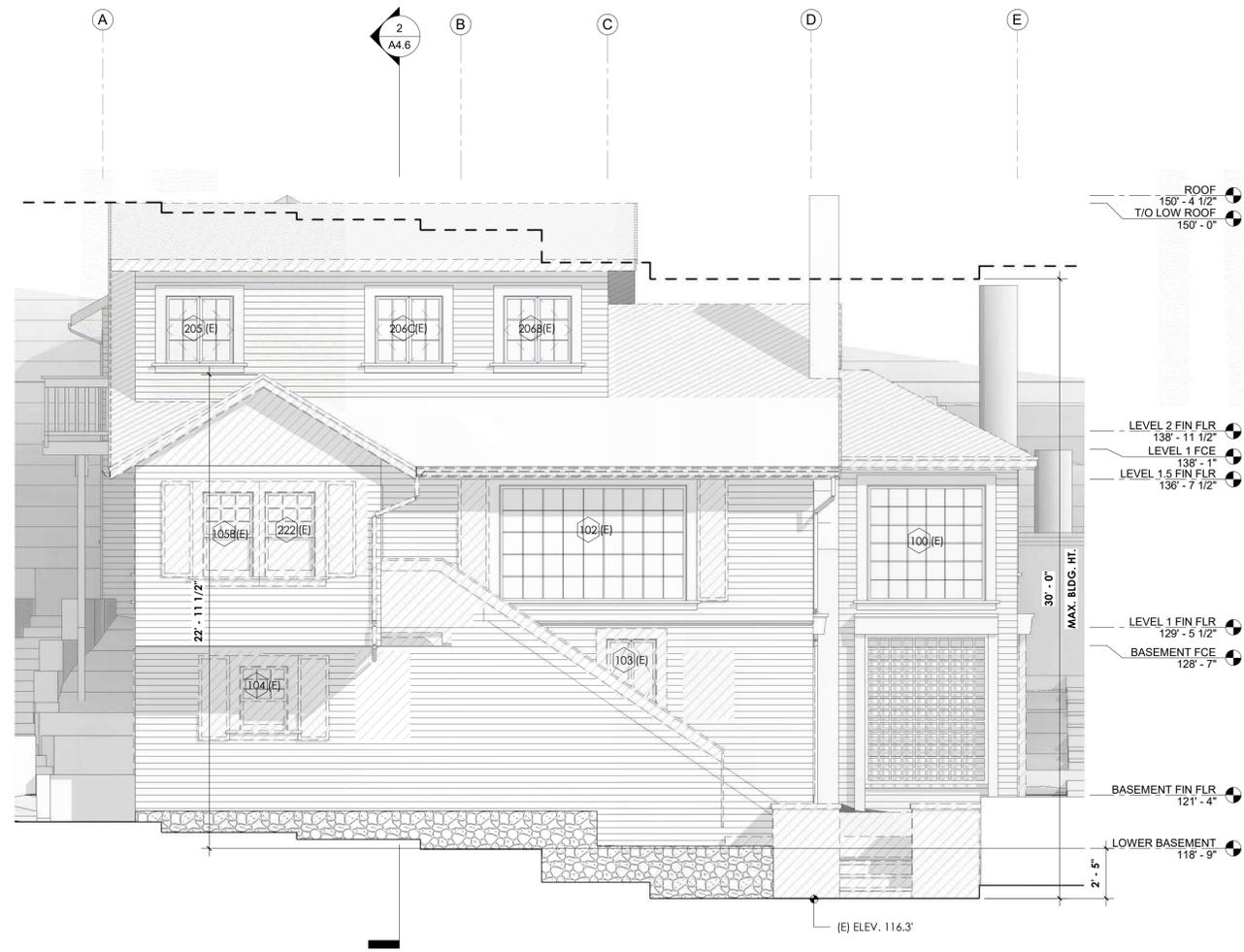
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ELEVATION - EXISTING & PROPOSED NORTH

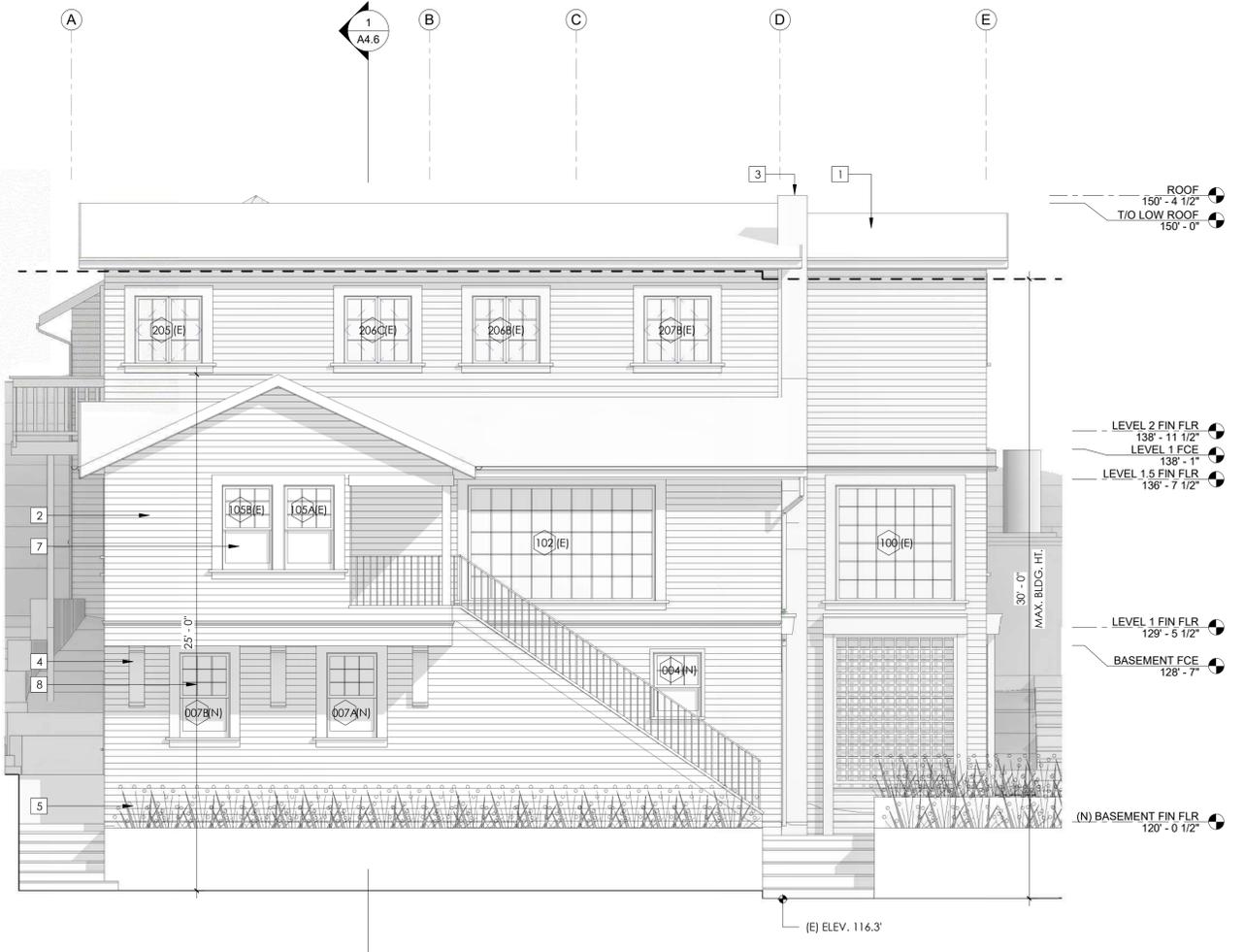
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1 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"



2 PROPOSED SOUTH
1/4" = 1'-0"

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DEMOLITION KEYNOTES

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CONSTRUCTION KEYNOTES
Sheet Note
1 (N) ROOF TO MATCH EXISTING
2 (E) WOOD SIDING
3 (E) CHIMNEY TO REMAIN
4 (N) EXTERIOR BRACKETS
5 (N) PLANTING
6 (N) GARAGE DOOR
7 REUSE (E) WINDOWS
8 (N) WINDOWS, MATCH (E) WINDOWS
9 (N) GATES: 6'-0" MAX. ABOVE GRADE

LEGEND	
	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW WALLS
	EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE DEMOLISHED.
	WINDOW TAG
	REPLACE
	NEW
	EXISTING
	REPLACE
	NEW
	DOOR TAG



ADR SUBMITTAL 08/18/23

ELEVATION - EXISTING & PROPOSED SOUTH

As indicated

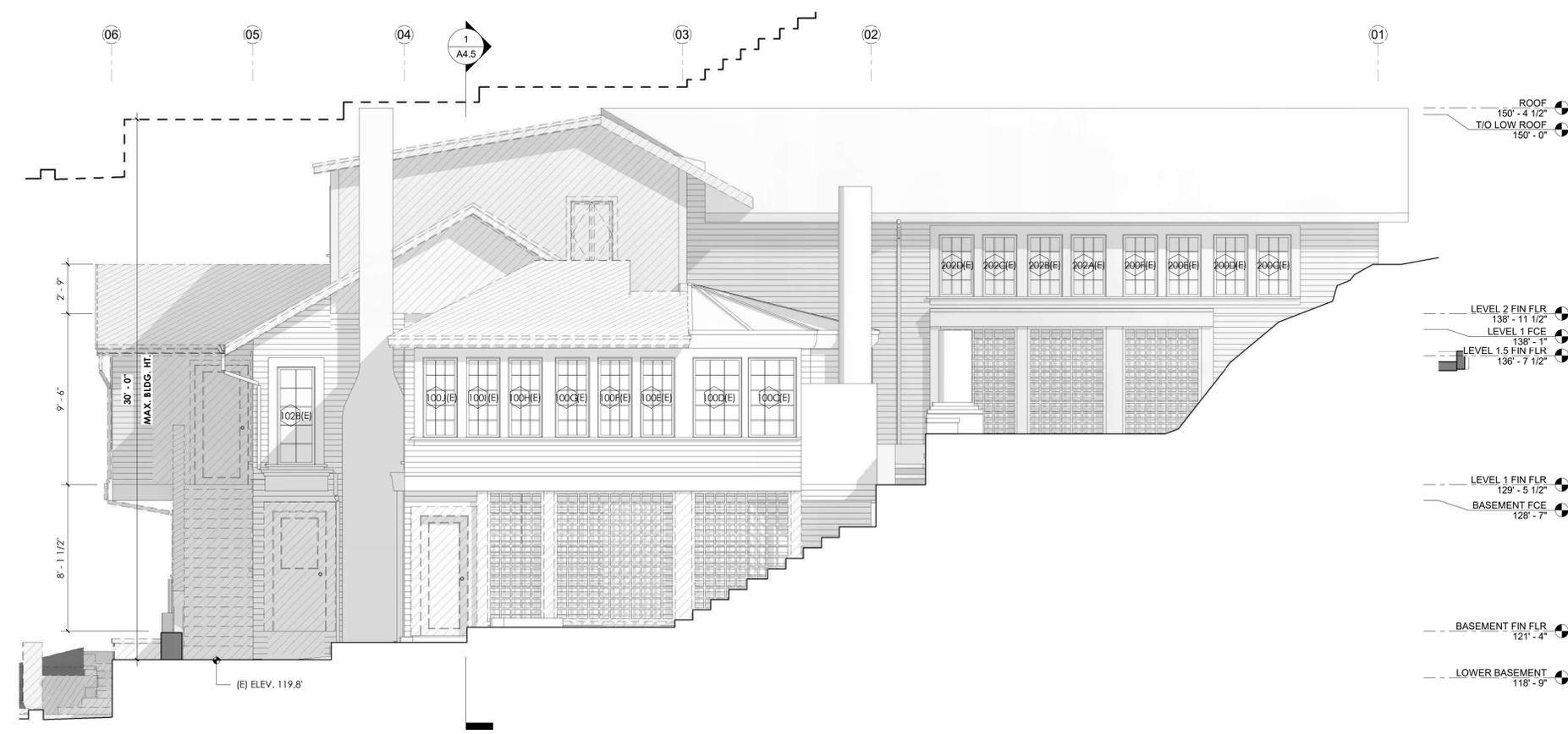
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65 WELLINGTON AVENUE
SAN ANSELMO, CA 94960

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1 EAST ELEVATION - EXISTING
1/4" = 1'-0"



2 PROPOSED EAST
1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

1. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
3. DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

DEMOLITION KEYNOTES XX

CONSTRUCTION PLAN GENERAL NOTES

1. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
2. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
3. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS, ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

CONSTRUCTION KEYNOTES XX

#	Sheet Note
1	(N) ROOF TO MATCH EXISTING
2	(E) WOOD SIDING
3	(E) CHIMNEY TO REMAIN
4	(N) EXTERIOR BRACKETS
5	(N) PLANTING
6	(N) GARAGE DOOR
7	REUSE (E) WINDOWS
8	(N) WINDOWS, MATCH (E) WINDOWS
9	(N) GATES: 6'-0" MAX. ABOVE GRADE

WALL LEGEND

- PROPERTY LINE
- EXISTING PARTITION TO REMAIN
- NEW WALLS
- EXISTING PARTITION TO BE REMOVED.
- EXISTING ELEMENTS TO BE DEMOLISHED.
- # (E) - EXISTING WINDOW TAG
- (R) - REUSE
- (N) - NEW
- XXX (E) - EXISTING DOOR TAG
- (R) - REUSE
- (N) - NEW

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco, CA 94109

RESIDENTIAL REMODEL
65 WELLINGTON AVENUE
SAN ANSELMO, CA 94960



ADR SUBMITTAL 08/18/23

ELEVATION - EXISTING & PROPOSED EAST

As indicated

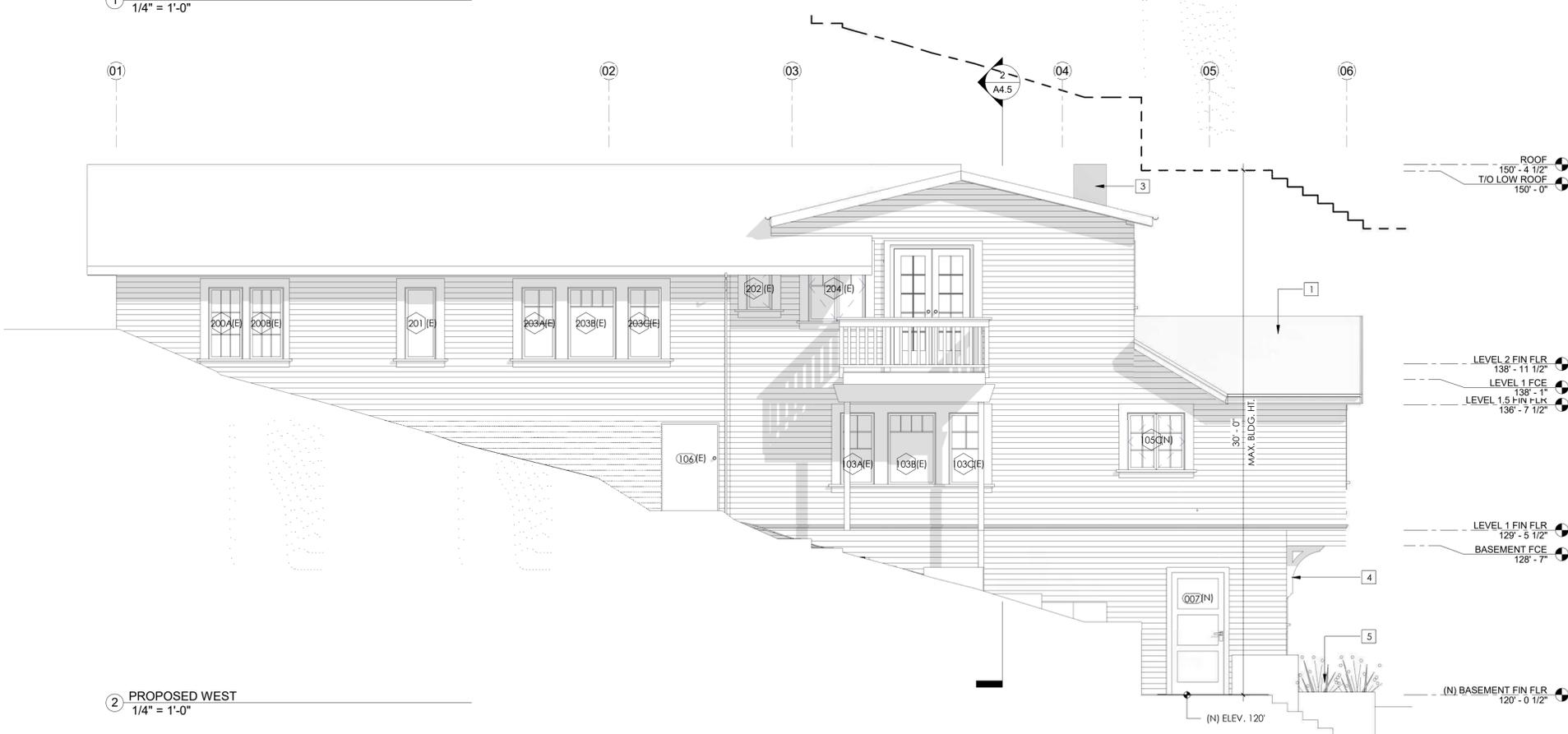
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8/17/2023 11:45:07 AM

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1 WEST ELEVATION - EXISTING
1/4" = 1'-0"



2 PROPOSED WEST
1/4" = 1'-0"

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DEMOLITION KEYNOTES

XX

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CONSTRUCTION KEYNOTES

XX

#	Sheet Note
1	(N) ROOF TO MATCH EXISTING
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3	(E) CHIMNEY TO REMAIN
4	(N) EXTERIOR BRACKETS
5	(N) PLANTING
6	(N) GARAGE DOOR
7	REUSE (E) WINDOWS
8	(N) WINDOWS, MATCH (E) WINDOWS
9	(N) GATES; 6'-0" MAX. ABOVE GRADE

WALL LEGEND

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- EXISTING PARTITION TO BE REMOVED.
- EXISTING ELEMENTS TO BE DEMOLISHED.
- (#) (E) - EXISTING
(R) - REUSE
(N) - NEW
- (XXX) (E) - EXISTING
(R) - REUSE
(N) - NEW
- WINDOW TAG
- DOOR TAG

SUTRO ARCHITECTS

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1055 Post Street, San Francisco, CA 94109

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SAN ANSELMO, CA 94960



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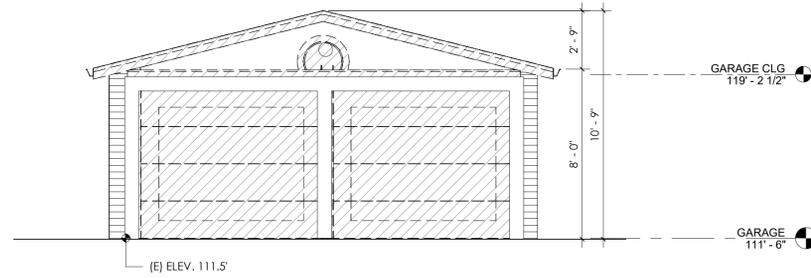
ELEVATION - EXISTING & PROPOSED WEST

As indicated

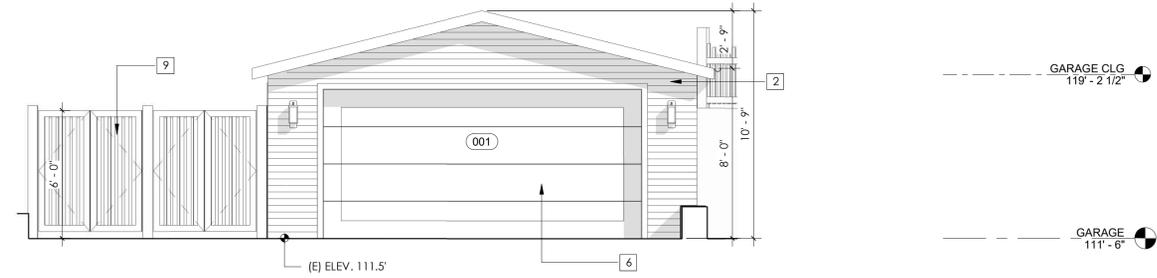
A4.3

8/17/2023 11:45:17 AM

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2 GARAGE EAST ELEVATION - EXISTING
1/4" = 1'-0"



1 GARAGE EAST ELEVATION - PROPOSED
1/4" = 1'-0"

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DEMOLITION KEYNOTES

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LEGEND

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 - EXISTING ELEMENTS TO BE DEMOLISHED.
 - (E) - EXISTING
 - (R) - REPLACE
 - (N) - NEW
 - (XXX) - EXISTING
 - (R) - REPLACE
 - (N) - NEW
- WINDOW TAG
- DOOR TAG



ADR 08/18/23
SUBMITTAL

ELEVATIONS - EXISTING & PROPOSED GARAGE

As indicated

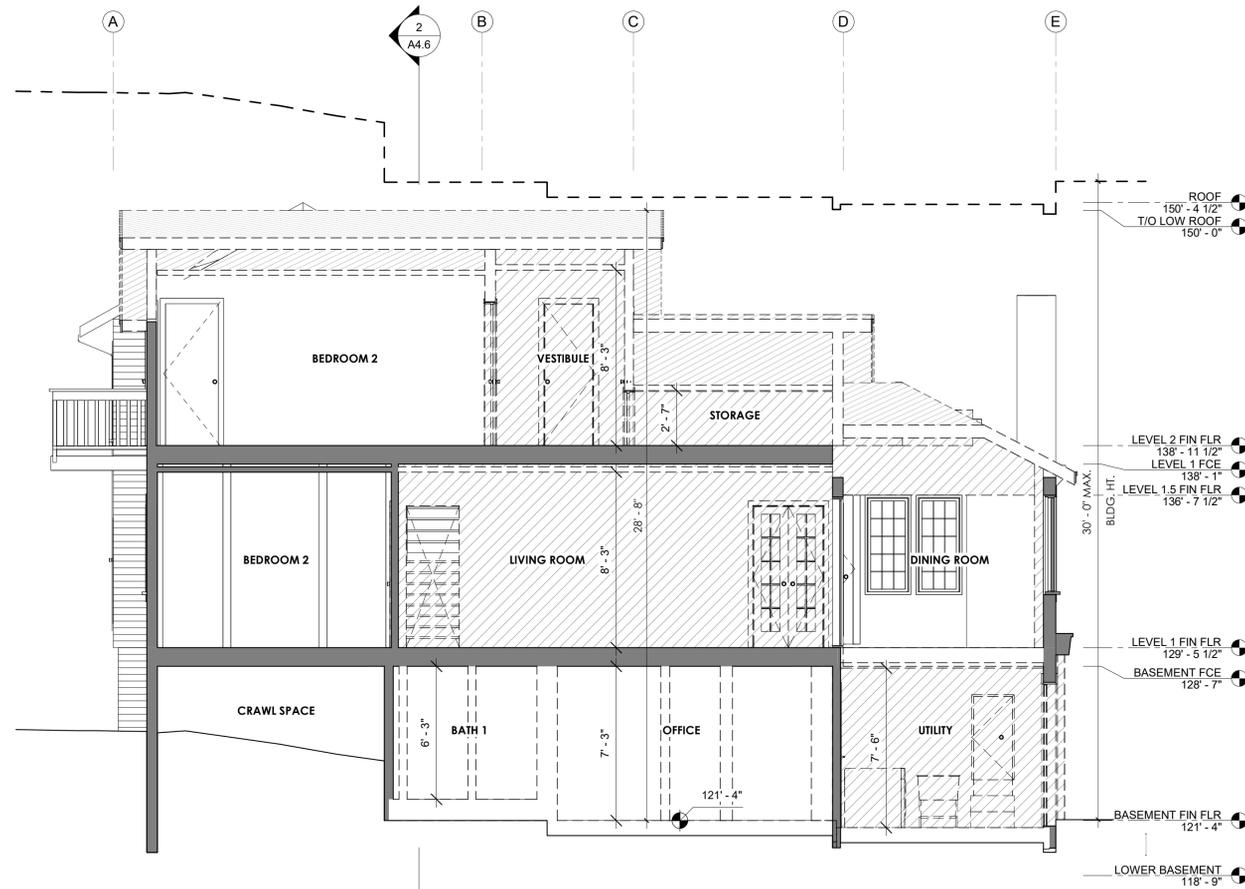
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11/29/2023 9:42:46 AM

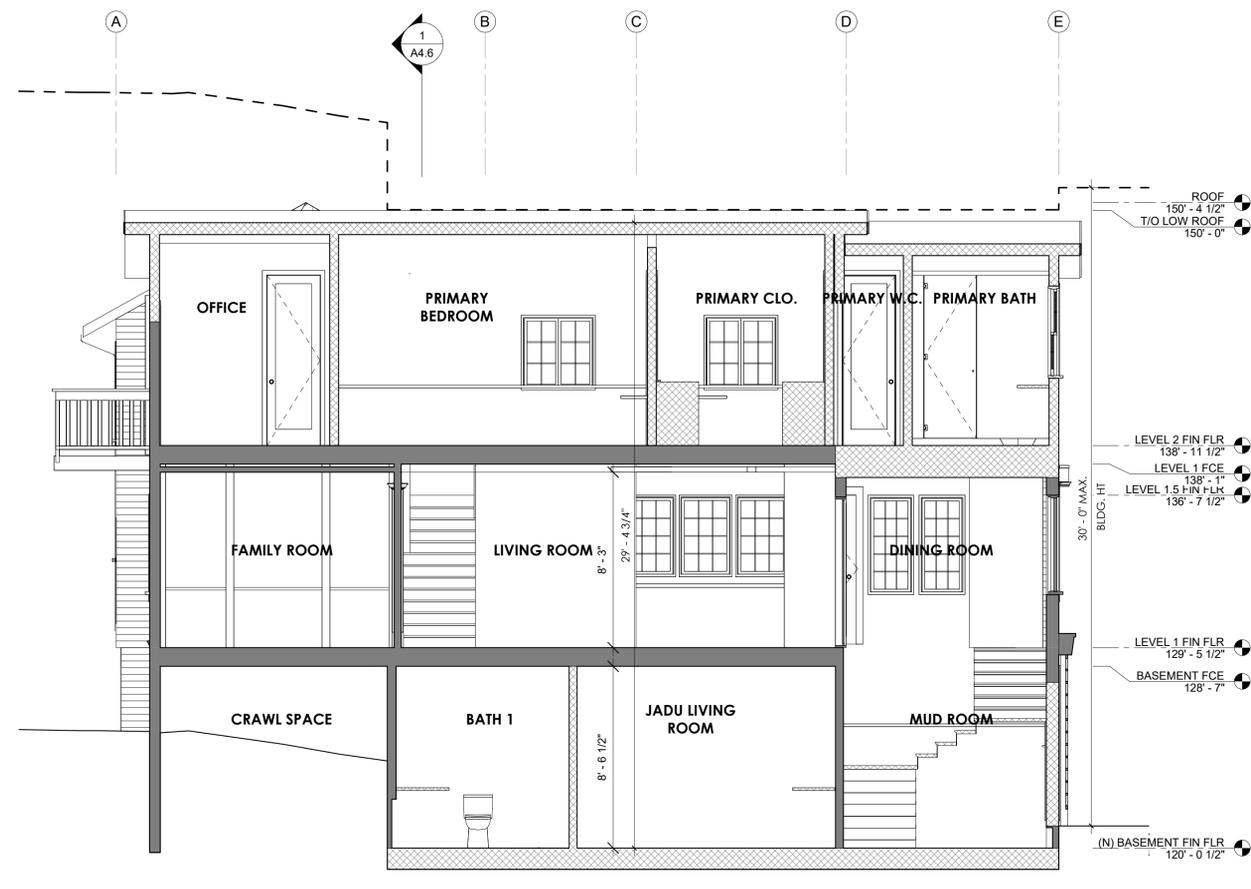
S J T R O A R C H I T E C T S
 415.956.3445
 sutroarchitects.com
 1055 Post Street, San Francisco, CA 94109

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 SAN ANSELMO, CA 94960

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1 BUILDING SECTION - LONGITUDINAL - EXISTING
1/4" = 1'-0"



2 BUILDING SECTION - LONGITUDINAL - PROPOSED
1/4" = 1'-0"

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CONSTRUCTION KEYNOTES

LEGEND

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- (R) - REPLACE
- (N) - NEW
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- (R) - REPLACE
- (N) - NEW
- WINDOW TAG
- DOOR TAG



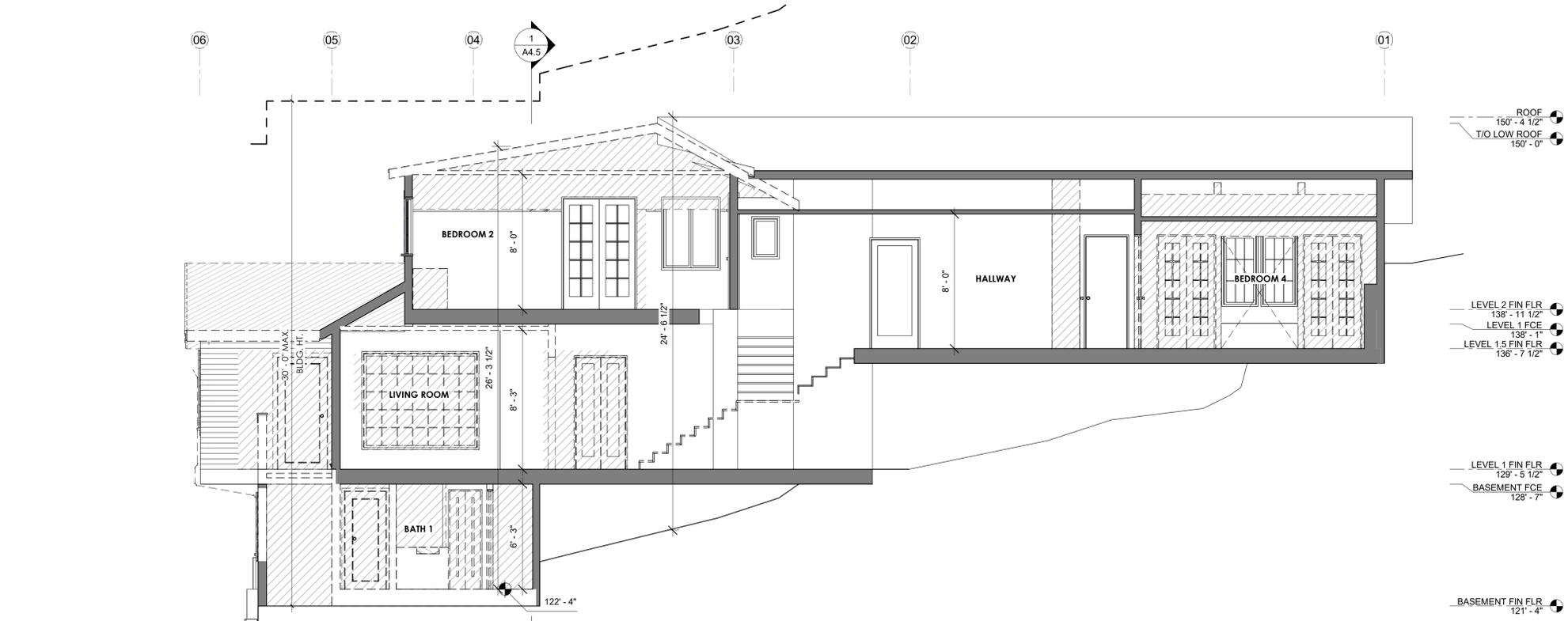
ADR SUBMITTAL 08/18/23

SECTION - EXISTING/ PROPOSED LONGITUDINAL

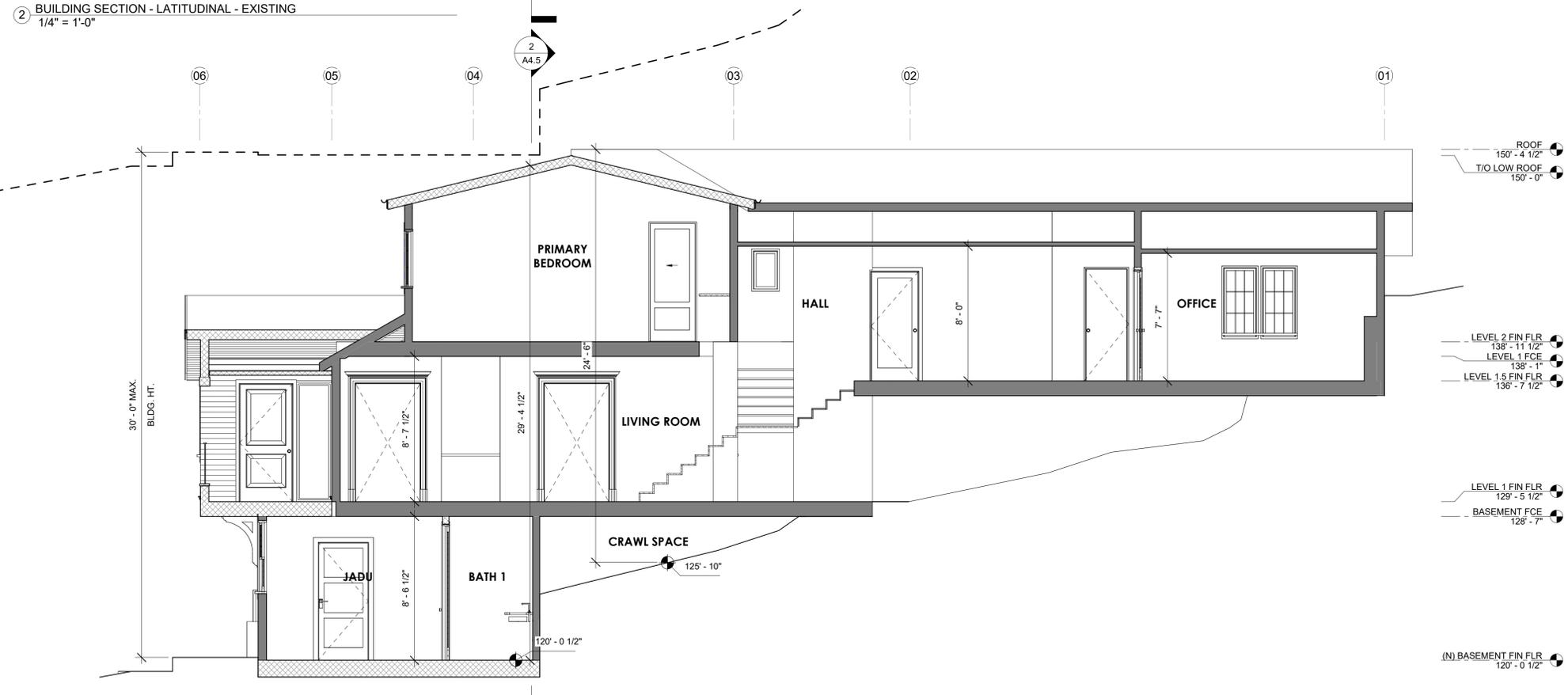
As indicated

A4.5

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2 BUILDING SECTION - LATITUDINAL - EXISTING
1/4" = 1'-0"



1 BUILDING SECTION - LATITUDINAL - PROPOSED
1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

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DEMOLITION KEYNOTES XX

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CONSTRUCTION KEYNOTES XX

WALL LEGEND

	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW WALLS
	EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE DEMOLISHED.
	WINDOW TAG
	(E) - EXISTING
	(R) - REUSE
	(N) - NEW
	(XXX) (E) - EXISTING
	(R) - REUSE
	(N) - NEW
	DOOR TAG

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65 WELLINGTON AVENUE
SAN ANSELMO, CA 94960



ADR SUBMITTAL 08/18/23

SECTION - EXISTING & PROPOSED CROSS SECTION

As indicated

A4.6

8/17/2023 11:45:20 AM

LEGEND:

- AC ASPHALTIC CONCRETE
- BRKRW BRICK RETAINING WALL
- CF CONCRETE FOOTING
- CHM CHIMNEY
- CONC CONCRETE
- DO DRAIN OUTLET
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- GM GAS METER
- GRND GROUND
- GS GROUNDSHOT
- INV INVERT
- RF ROCK FACADE
- RRW ROCK RETAINING WALL
- SD STORM DRAIN
- SSMH SANITARY SEWER MANHOLE
- TBRKRW TOP OF BRICK RETAINING WALL
- THRESH THRESHOLD
- TRRW TOP OF ROCK RETAINING WALL
- TWRW TOP OF WOOD RETAINING WALL
- TYP TYPICAL
- UNKN UNKNOWN
- UTIL UTILITY
- VALT VALT
- WRW WOOD RETAINING WALL

- INDICATES FOUND IRON PIPE AS NOTED
- X101.5 INDICATES GROUNDSHOT
- 12TREE INDICATES TREE SIZE
- INDICATES BOUNDARY LINE
- INDICATES LOT LINE
- INDICATES MAJOR CONTOUR LINE
- INDICATES MINOR CONTOUR LINE
- INDICATES WIRE FENCE
- INDICATES WOOD FENCE
- X — X — X — INDICATES WOOD LATTICE FENCE
- INDICATES ROCK RETAINING WALL

- INDICATES BRICK
- INDICATES CONCRETE

NOTES:

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. THE DATE OF THE FIELD SURVEY WAS OCTOBER 12 AND NOVEMBER 16, 2022.
3. ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
4. CONTOURS SET AT 1 FOOT INTERVALS.

BENCHMARK:

- ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:

THE BEARING, NORTH 18°30'00" WEST, OF THE COMMON LINE BETWEEN LOTS 2 AND 3, IN BLOCK 8 "WINSHIP PARK", 4 RM 33, BETWEEN THE FOUND IRON PIPES AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED ON SEPTEMBER 20, 2004 IN BOOK 2004 OF MAPS AT PAGE 251, IN THE OFFICE OF THE RECORDER OF MARIN COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

TITLE REPORT NOTE:

NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

UTILITY NOTE:

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

HD SCANNING NOTE:

TOPOGRAPHIC DATA DERIVED FROM HIGH DEFINITION SCANNING METHODS.
SCANNER: LEICA P40

TREE NOTE:

TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

RECORD OF SURVEY NOTE:

BOUNDARY DATA SHOWN ON THIS SURVEY IS BASED ON A BOUNDARY SURVEY RESOLVED BY THE LICENSED LAND SURVEYOR AS SHOWN ON THE SURVEYOR'S STATEMENT. PER SECTION 8762 OF THE LAND SURVEYORS' ACT, A RECORD OF SURVEY WILL BE PREPARED AND SUBMITTED TO THE COUNTY OF RECORD AS PART OF THIS SURVEY.

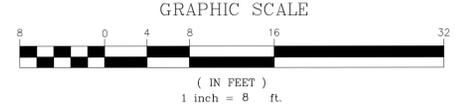
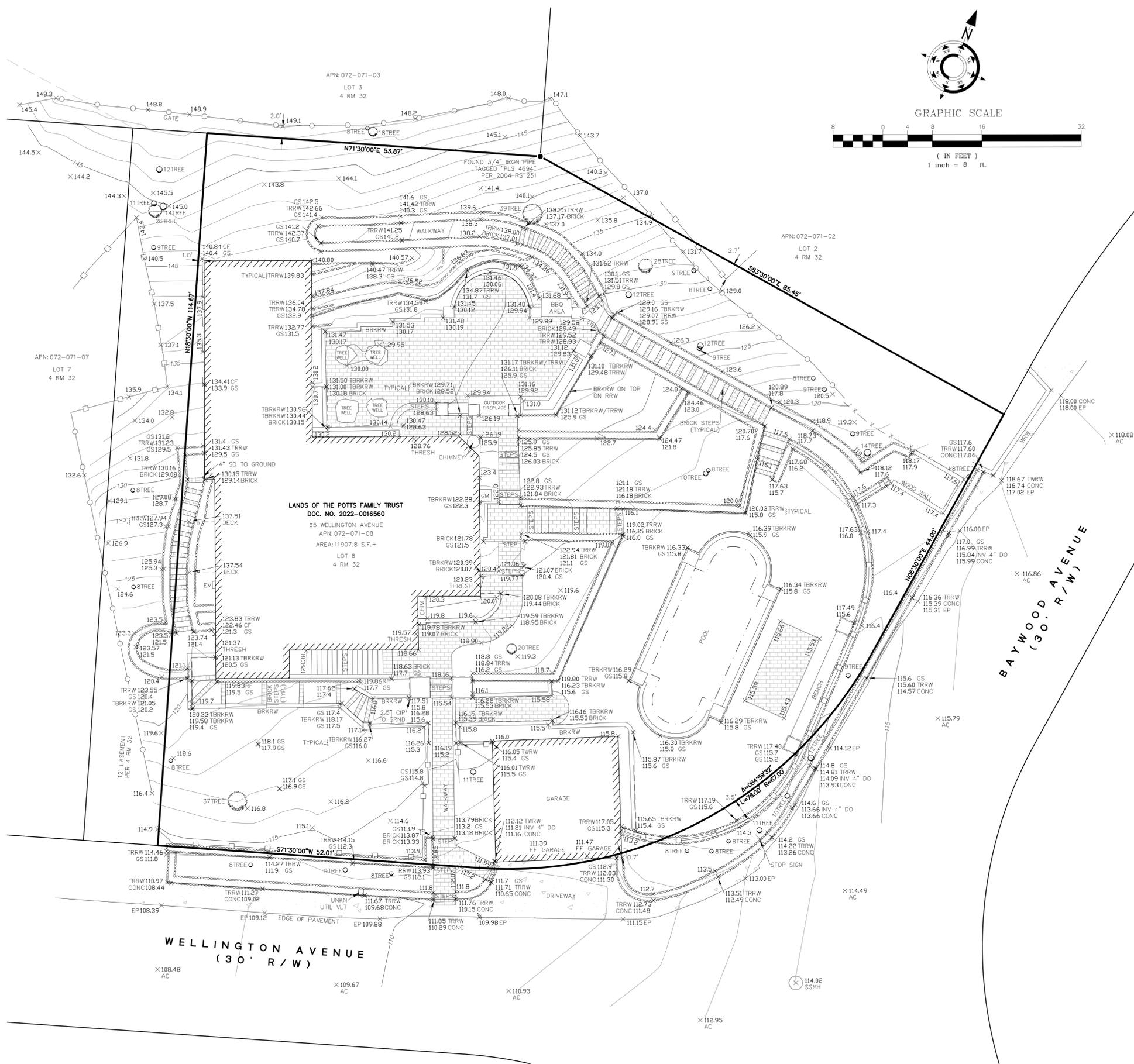
SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

Patrick M. Smith
PATRICK M. SMITH, S. #7539



DATE _____



MUIR CONSULTING
139 CHURCH AVENUE
DANFORTH, CA 95361
(209) 845-8630
SURVEY • HD • GPS • UAV
www.muiconsulting.com



BOUNDARY & TOPOGRAPHIC SURVEY
OF
65 WELLINGTON AVENUE
MARIN COUNTY CALIFORNIA

REVISIONS	JOB NUMBER: 6107-05	DRAWING NAME: 6107-05TOPO.dwg	DATE: 11/22/2022
	DRAWN BY: WCC	CHECKED BY: TJE	
	1 OF 1		

ATTACHMENT 2



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|--|
| <input type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): _____

Project Address: _____

Property Owner: _____

Owner Mailing Address (PO Box in Ross): _____

City/State/Zip: _____ Owner's Phone: _____

Owner's Email: _____

Applicant: _____

Applicant Mailing Address: _____

City/State/Zip: _____ Applicant's Phone: _____

Applicant's Email: jsimenic@sutroarchitects.com

Primary point of Contact Email: Owner Buyer Agent Architect

jsimenic@sutroarchitects.com

To Be Completed by Town Staff:

Date Received: _____

Application No.: _____

Zoning: _____

Planning 5300 _____

Tree Permit 5305 _____

Fee Program Administration 5315-05 _____

Record Management 5316-05 _____

Record Retention 5112-05 _____

Technology Surcharge 5313-05 _____

Date paid: _____ TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: 1

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment:

Existing Parcel Size(s)	Parcel 1:	Parcel 2:
Adjusted Parcel Size(s)	Parcel 1:	Parcel 2:

PARCEL ONE	PARCEL 2
Owners Signature:	Owner's Signature:
Date:	Date:
Owner's Name (Please Print):	Owner's Name (Please Print):
Assessor's Parcel Number:	Assessor's Parcel Number:

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

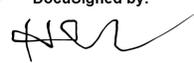
The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment:

CERTIFICATION AND SIGNATURES

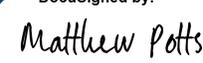
I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

DocuSigned by: 

Owner's Signature: _____ Date: 8/21/2023

AA86704A9B4B487...

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

DocuSigned by: 

Owner's Signature: _____ Date: 8/23/2023

D91F0180FC0D47F...

SIGNATURE:

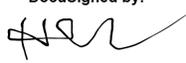
I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

_____, California on _____

DocuSigned by:

AA86704A9B4B487...

DocuSigned by:
Matthew Potts
D91F0186FC8D47F...



Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm _____
Project Landscape Architect _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm _____
Project Engineer _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
Project Arborist _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Written Project Description – *may be attached.*

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

65 Wellington Ave is an existing single family home in the R1-B10 zoning district in Ross, CA. The lot is also a hillside lot due to the sloping portion at the rear of the site. The proposed project will convert the existing habitable basement into a JADU, remodel and add onto the existing primary, remodel the interior, rebuild the existing roof, and reconfigure a portion of the front yard landscape and retaining walls.

The front stairs of the home will be reconfigured, and we propose to make the entry more inviting by adding 17 square feet of porch area. This will allow for someone to stand outside the front door when ringing the doorbell. To complete the porch addition, we are proposing to reframe the roof to overhang the exterior porch addition. Given the existing, nonconforming position of the home on the site and the lot's designation as a hillside lot (which increases setback requirements) we are requesting a modest variance for this work.

The renovation to the primary suite at level 2 will include an addition over existing space below and proposes a reconfigured roof above which has the peak centered over the massing of the space. We think led to a more overall appealing mass.

At the street level we are proposing a single large garage door at the existing garage along with new gates which lead to a flattened entry terrace.

The overall renovation aims to keep the existing character of the home intact. All window and door casings along with siding will match the existing and the house will be painted navy blue with a creamy white trim color. We think this color along with keeping the existing architectural features creates a design which fits in with the neighborhood aesthetic.

Name	Address	Date and nature of contact	Response
Alex and Nick Hudson	66 Wellington Ave	emailed plans and to set up time to discussion 11/13/3	Verbal conversation, they asked if we intend to keep similar landscaping in front of house, particularly the trees closest to street, and we replied yes. Updated them on intention to have workers carpool from SFD to reduce parking burden. They said they have no problem with the project. Sent email confirming conversation on 11/22
Ashley and Nick Ghiradelli	70 Wellington Ave	emailed plans and to set up time to discussion 11/13/3	Sent emailing saying they have no problem and approve of contractor :)
Linda Brown	7 Baywood	emailed plans and to set up time to discussion 11/13/3	Verbal conversation. Linda expressed concerns about parking and workers smoking on her property, we promised to advise Nick (contractor) of these concerns and believe that when he is living in the immediate vicinity and sees this first hand he can manage the workers. Also explained intention to have workers carpool from SFD. Linda said she would support the project, sent email confirming on 11/22. She responded and wants to talk more about parking
Erin and JD Lumpkin	69 Wellington	emailed plans and to set up time to discussion 11/13/3	Sent follow up email on 11/22; they responded that they are 100% supportive and offered to submit a letter.
Joanne Hom and	58 Wellington Ave	got email from Alex Hudson and emailed plans and to respond to any questions pn 11/16/23	Followed up on 11/22 received email approving of project with some requests re cleaning up nails and parking on baywood
Melissa and Bart Welles	55 Fallen Leaf Ave	emailed plans and to set up time to discussion 11/13/3	Asked for images showing impact to the West side of house, sent to them. Followed up on 11.22
Justyna and Michael Llyod	54 Wellington	emailed plans and to set up time to discussion 11/13/3	sent follow up email on 11/22; received a response on 11/27 stating concerns about trucks turning around in their driveway from other projects and damagin their driveway and fence.
Melissa and Craig Slayen	51 Wellington	emailed plans and to set up time to discussion 11/13/3	Also emailed about concerns about parking; shared the plan to commute from SFD, and they approve of project.
unknown	50 Wellington	note: two different families listed in directory not sure of current owner	
Nancy Gilmore	73 Wellington	emailed plans and to set up time to discussion 11/13/3	Emailed with some questions about duration and parking, approved of the project.
Cynthia and Richard Hannum	23 Baywood	emailed plans and to set up time to discussion 11/13/3	After some initial confusion via email about the property line, agreed surveys match. They will be moving their fence to the property line and both of us will look to increase landscaping between the properties. We met with them in person and they approve of the project

ATTACHMENT 3

BROWN & DELZELL, LLP
Attorneys at Law

Workers' Compensation

Linda Joanne Brown*
Karina Kowler Delzell*
David J. Angelo

Rafael Town Center
999 Fifth Avenue
Suite 430
San Rafael, CA 94901

EAMS ID No.: 4870671

Tel: (415) 925-9212

RECEIVED
Planning Department

December 4, 2023

Town of Ross
Attn: Planning Department
P.O. Box 320
Ross, CA 94957

DEC 7 2023

Town of Ross

Dear Planning Commission:

I have only briefly been made aware of major plans that are supposed to occur next door at the property located at 65 Wellington Ave. The proposal apparently includes an interior remodel, the building of an ADU and other design features I don't quite understand.

The most important issue for all of us is the fact that the construction going on here for the last year or so has been so disruptive. The peaceful enjoyment of our community has been ghastly (i.e., no parking and noise starting at 7:30 a.m., not 8:00 a.m.). The house that was recently built by the contractor that the Potts are hiring didn't provide for any kind of parking or transportation to and from the site as normally required by the Town of Ross.

If the same contractor intends to do the proposed work, I fear, again, for the safety and tranquility of the neighborhood. Our neighborhood has endured cigarette burns, cigarette butts, garbage and of course unremitting parking problems.

The current proposal at 65 Wellington involves one main issue for at least two of the closer residents to it. First and foremost, PARKING. There is a proposal for an ADU, but no additional parking is provided. There is a proposal for additional space, but no additional parking is provided. Currently, the parking done by anyone using their residence is either in their limited garage space or, alternatively, on the street. There is no parking in front of their home.

I have raised the issue of parking by e-mail with the residents at 65 Wellington. I have not had any response as to how they are going to handle the additional parking needs of their own residence, let alone the disruption that will be caused to the neighborhood once the contractor begins.

I have been here a long time. Never have I had such proposals not properly brought before counsel or before the individuals that would be negatively affected. I look forward to hearing from you.

Sincerely,



LINDA J. BROWN
LJB:vs

cc: Heather Potts
65 Wellington Ave.
Ross, CA, 94960



Elinor Mann <elliemann58@gmail.com>

To **designreview**



Fri 12/8/2023 9:33 AM

Dear Advisory Design Review Group,

I live at #8 Baywood Ave, nearly across the street from this proposed project. I have studied the 25-page file of drawings dated 8/17/23 that was emailed by Heather Potts to Linda Brown on 11/13/23. I have the following questions and concerns:

In general, I have no objections to the design of the project. I would like clarification on the material and location of the new 6ft fence. Will the fence be stucco and iron or wooden material? It's described both ways in the drawings and no detail is provided. Will it run along the entire Wellington property line, down from the new gate adjacent to the garage? Therefore, will this new fence be replacing the existing white wooden fence, and the three big trees and rock retaining wall/planter in front will be removed? Will any big trees be replanted in the front yard to restore the masking so perfectly provided by the current three front trees? Additionally, will the existing fence and landscaping along the Baywood property line remain unchanged?

My primary concern is the construction management. Since the contractor will be Ghiradelli Construction, the neighborhood is very familiar with just how disruptive and inconvenienced we will be, based on their ongoing work at 70 Wellington. It is of the utmost importance that the workers must use a daily carpool, especially since zero onsite parking will be made available during construction. The neighborhood has already had to endure the last couple years of our streets being filled with contractors' trucks and the resulting dangerous conditions forced upon us.

Since the Baywood-Wellington intersection is such a dangerous corner normally, and the debris box will be encroaching into the street, where will the perimeter construction fence be placed? If the fence is meant to enclose the debris box, then will it assumably be even further into the street? The drawings do not clearly show the location of the construction fence and gate(s).

Lastly, the placement of the portable toilet at the far NE property corner is clearly lacking any consideration for the adjacent property owner whose bedroom windows would be a mere few feet away. This is unacceptable. Why can't it be placed in the opposite corner of the property, in the staging area, where it would not be near anyone's living space?

Thank you in advance for hearing my concerns.

Elinor Mann
8 Baywood Avenue
elliemann58@gmail.com