



Staff Report

Date: March 19, 2024
To: Advisory Design Review Group
From: Alex Lopez-Vega, Assistant Planner
Subject: 200 Lagunitas Road

Recommendation

ADR Group consideration and recommendation to the Town Council regarding the merits of the project and consistency with the Design Review criteria and standards of Ross Municipal Code (RMC) Section [18.41 Design Review](#).

Project Information

Property Owner: Sarah and Scott Niehaus
Applicant: Brooks McDonald
Street Address: 200 Lagunitas Road
Parcel Number: 073-131-23
Zoning: R-1: B-A
General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

Project Description

The applicant is requesting approval for Design Review, and a Demolition Permit. The project proposes to replace the existing siding with cedar shingles and add a stone base. The project includes an interior and exterior remodel of the single-family residence, to include new windows, two horizontal additions by pushing the massing out adding 186 square feet (SF) and two roof dormers to the front of the single-family residence. The project will add 131 SF to the garage for access to a Junior Accessory Dwelling Unit (JADU). A new 115 SF covered entry is also proposed. The project would reduce the overall impervious coverage on the property from 12,186 SF to 12,172 SF.

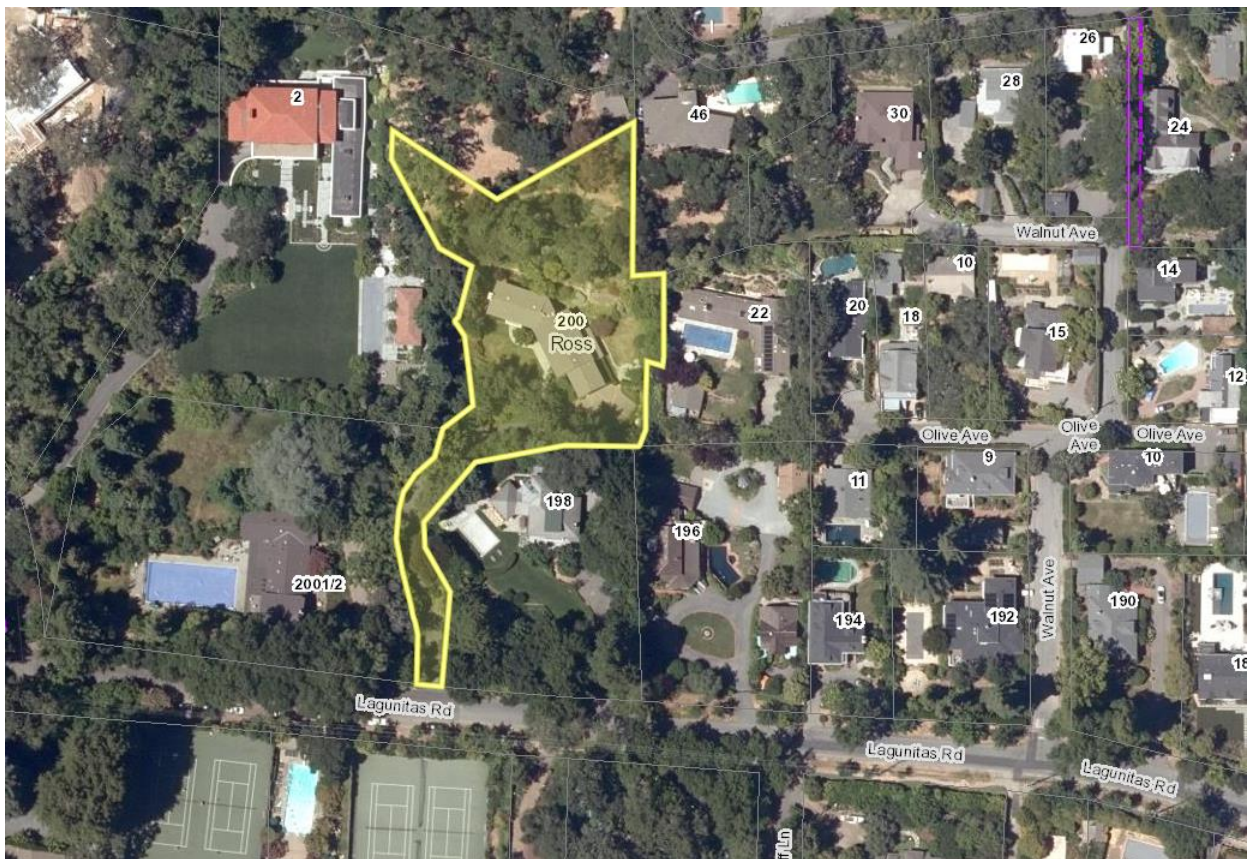
Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** to allow for construction of additions exceeding 200 square feet of a new floor area; and to allow for any project resulting in the removal or alteration of more than twenty-five percent of the exterior walls or wall coverings of a residence.
- **Demolition Permit is required pursuant to RMC 18.50.020** for alteration of more than twenty-five percent of exterior wall coverings of a residence.

Background

The project site is a 44,431 square-foot lot on Lagunitas Road. The lot has a single-family residence which includes a shed. The property is home to an extensive collection of trees and mature vegetation.



Discussion

The overall purpose of the Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include; provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town", low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental

resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individuals buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per RMC Section 18.41.100 can be found here: [18.41 Design Review](#).

Public Comment

At the time of writing this report, no comments were received from the public regarding the project.

Attachments

1. Project Plans
2. Project Application & Materials

ATTACHMENT 1

NIEHAUS RESIDENCE

200 LAGUNITAS ROAD, ROSS CA 94957 APN# 073-131-23

HORIZONTAL ADDITION AND INTERIOR REMODEL

DR SUBMITAL - 1/19/24

PROJECT DIRECTORY

OWNER:
SARAH & SCOTT NIEHAUS
200 LAGUNITAS RD
ROSS, CA 94960

STRUCTURAL ENGINEER:
TURBIN STRUCTURAL ENGINEERS
655 REDWOOD HIGHWAY, SUITE 308
MILL VALLEY, CA 94941
415-373-9472

ARCHITECT:
BROOKS MCDONALD ARCHITECTURE
1615 BRIDGEWAY
SAUSALITO, CA 94965
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SURVEYOR & CIVIL ENGINEER
DAN HUGHES
MUNSELLE CIVIL ENGINEERING
707.775.8986
DAN@MUNSELLECIVIL.COM

LANDSCAPE ARCHITECT:
DUSTIN MOORE
STRATA LANDSCAPE ARCHITECTURE
415.431.9200
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PROJECT DESCRIPTION

REMODEL WITH HORIZONTAL ADDITIONS TO THE FRONT AND REAR AT 2 FLOORS OF MAIN HOUSE. NEW DORMERS AT MAIN ROOF. REPLACE WINDOWS AND EXTERIOR SIDING MATERIALS. UPGRADE EXISTING MECHANICAL AND ELECTRICAL SYSTEMS.

ALL PROPOSED WORK SHALL CONFORM TO THE ROSS MUNICIPAL CODES. LESS THAN 25% EXTERIOR WALLS OR WALL COVERINGS TO BE REMOVED/ALTERED FOR WINDOW REPLACEMENT.

HOUSE TO BE FULLY SPRINKLERED ON SEPARATE PERMIT PER NFPA 13D.

DEFERRED SUBMITTALS

LANDSCAPE SITE PLAN
LANDSCAPE PLANTING PLANS
VEGETATION MANAGEMENT PLAN
GRADING, DRAINAGE AND UTILITY PLANS
STORMWATER CONTROL PLAN
SPRINKLER PERMIT

PROJECT DATA

PARCEL INFORMATION

PARCEL: 073-131-23
PROPERTY ADDRESS: 200 LAGUNITAS RD
ROSS, CA 94960
LOT AREA: 44,431 SF
EXISTING BLDG COVERAGE: 3717 SF = 8%
PROPOSED BLDG COVERAGE: 4134 SF = 9%
15% ALLOWED PER RMC 18.32.060

EXISTING F.A.R.: 6380 SF = 14.4%
PROPOSED F.A.R.: 6462 SF = 14.5%
ALLOWED PER RMC 18.32.070: 6665 SF = 15%

PROPOSED AREA OF ADDITIONAL DISTURBANCE:

TBD
EXISTING PARKING: 4, 1 ENCLOSED
PROPOSED PARKING: 4, 2 ENCLOSED
5 REQUIRED PER RMC 18.32.040

ZONING INFORMATION

ZONING DISTRICT: R-1-B-A SINGLE FAMILY RESIDENTIAL
PERCENT SLOPE: 31%
TRACT BLOCK: 118100
FLOOD ZONE: X
FRONT YARD (SETBACK): 25' MIN - PROVIDED
REAR YARD (SETBACK): 40' MIN - PROVIDED
SIDE YARD (SETBACKS): 25' MIN - 25' MIN PROPOSED
(ALL ADDITIONS TO BE >25')
30' MAX - 26'-3" PROPOSED
MAX BLDG HEIGHT: 30'

BUILDING INFORMATION

OCCUPANCY: R-3 SINGLE FAMILY RESIDENTIAL
NO. UNITS: 1 EXISTING / 1 PROPOSED
NO. STORIES MAIN HOUSE: 2 EXISTING / 2 PROPOSED
CONSTRUCTION TYPE: V-8
SPRINKLER PROTECTION: FULLY SPRINKLERED ON SEPARATE PERMIT PER NFPA 13-D AND LOCAL STANDARDS

WILDLAND-URBAN INTERFACE: YES. ALL CONSTRUCTION SHALL COMPLY WITH BUILDING STANDARDS IN 2019 CFC CHAPTER 7A AND 2019 CRC SECTION 337. ALL VEGETATION AND CONSTRUCTION MATERIALS ARE TO BE MAINTAINED AWAY FROM THE RESIDENCE DURING CONSTRUCTION (DEFENSIBLE SPACE);

GRADING CALCS:
CUT: 22 CUBIC YARDS
FILL: 22 CUBIC YARDS
EXCESS/OFFHAUL: 0 CUBIC YARDS

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A2.3	PROPOSED SECOND FLOOR PLAN
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A4.4	EXTERIOR ELEVATIONS
A4.5	EXTERIOR ELEVATIONS
A5.0	BUILDING SECTIONS
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1	

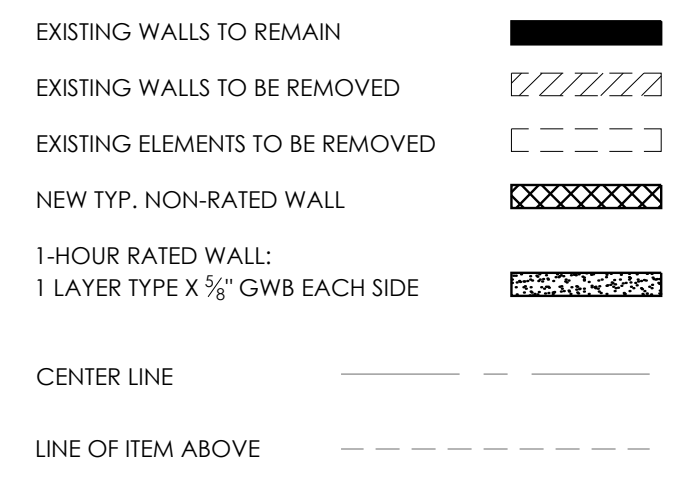
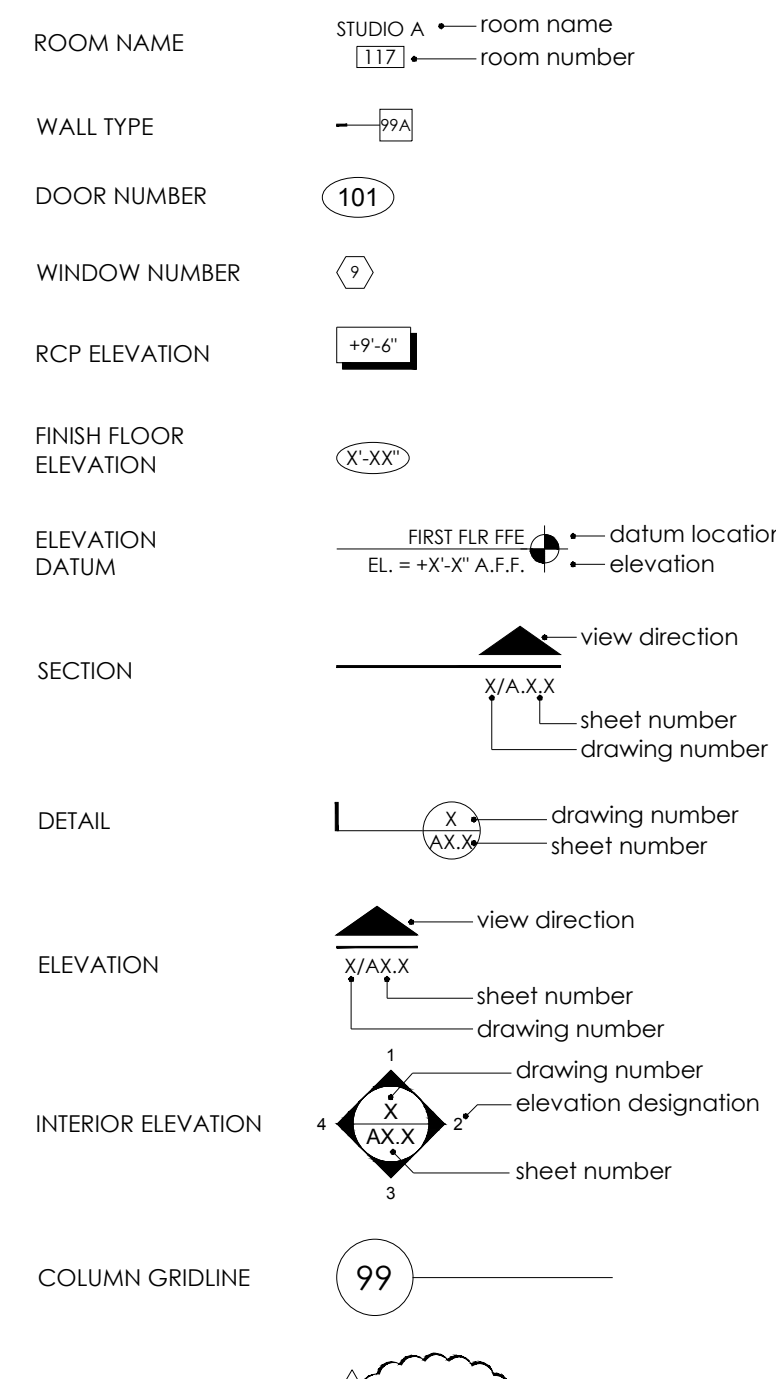
GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), AND THE CALIFORNIA ELECTRICAL CODE (CEC) AND ANY OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
4. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
6. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
7. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
8. [IF APPLICABLE:] SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 420). PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF CALGREEN 4.303.1.1 THROUGH 4.303.1.4.4, AND BE INSTALLED IN ACCORDANCE WITH CPC AND SHALL MEET THE APPLICABLE REFERENCE STANDARDS
9. [IF APPLICABLE:] GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 5406 [D] 5)
10. [IF APPLICABLE:] SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.
11. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST M-1R AND TITLE 24 ENERGY REPORT (ATTACHED ONLY IF APPLICABLE). INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.
12. SEE SHEET CG FOR OTHER MANDATORY MEASURES APPLICABLE TO THIS PROJECT

ABBREVIATIONS

A.D.	AREA DRAIN	GALV	GALVANIZED	REF	REFERENCE
A.S.F.	ABOVE SUB FLOOR	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	REFR	REFRIGERATOR
ADJ	ADJUSTABLE	GL	GLASS	REG	REGISTER
AFF	ABOVE FINISH FLOOR	GND	GROUND	REIN	REINFORCED
ALUM	ALUMINUM	GWB	GYPSUM WALLBOARD (SHEETROCK)	REQ'D	REQUIRED
ARCH	ARCHITECTURAL	H.B.	HOSE BIB	RET	RETURN
ATTN	ATTENTION	HDWR	HARDWARE	REV	REVISED
BLKG	BLOCKING	HDR	HEADER	RHM	ROOM
BLDG	BUILDING	HP	HIGH POINT	R.O.W.	RIGHT OF WAY
BD	BOARD	HORIZ	HORIZONTAL	RWL	RAIN WATER LEADER
BTWN	BETWEEN	ID	HEIGHT	S.A.D.	SEE ARCHITECTURE DRAWINGS
B.O.	BY OWNER	HT	INSIDE DIMENSION	SCHED	SCHEDULE
CAB	CABINETS	INCH	INCH	SHTG	SHEATHING
CL	CENTERLINE	INSUL	INSULATION	SIM	SIMILAR
CLO	CLOSET	INT	INTERIOR	SPEC	SPECIFICATION
CLG	CEILING	JB	JUNCTION BOX	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT	JT	JOINT	SF	SQUARE FEET
COL	COLUMN	LAM	LAMINATED	S.M.D.	SEE MECHANICAL DRAWINGS
CONC	CONCRETE	LAV	LAVATORY	S.S.D.	SEE STRUCTURAL DRAWINGS
CONT	CONTINUOUS	LP	LOW POINT	SS	STAINLESS STEEL
CP	CENTER POINT	LT	LIGHT	STD	STANDARD
C.T.	CERAMIC TILE	MECH	MECHANICAL	STL	STEEL
DIA	DIAMETER	MIN	MINIMUM	STRUC	STRUCTURAL
DBL	DOUBLE	MR	MOISTURE RESISTANT	SUSP	SUSPENDED
DET	DETAIL	MTL	METAL	T	TREAD
DN	DOWN	(N)	NEW	TBD	TO BE DETERMINED
DEPT	DEPARTMENT	N.I.C.	NOT IN CONTRACT	TEMP	TEMPERED
DW	DISHWASHER	NOM	NOMINAL	T.T.	TOP OF
DWG	DRAWINGS	NTS	NOT TO SCALE	T.T.P.	TOP OF PLATE
DWR	DRAWER	OC	ON CENTER	T.T.C.	TOP OF CONCRETE
EA	EACH	OD	OUTSIDE DIMENSION	T.T.W.	TOP OF WALL
EJ	EXPANSION JOINT	OH	OVERHEAD	THK	THICK
ELEC	ELECTRICAL	OPN'G	OPENING	TYP	TYPICAL
ELEV	ELEVATION	OPP	OPPOSITE	UNON	UNLESS OTHERWISE NOTED
EQ	EQUAL	PLF	PROPERTY LINE	UNFN	UNFINISHED
(E)	EXISTING	PLAS	PLASTER	VAR	VARIES
EXT	EXTERIOR	PLYWD	PLYWOOD	VCT	VINYL COMPOSITE TILE
F.O.F.	FACE OF FINISH	PT	POINT	VEST	VESTIBULE
F.O.S.	FACE OF STRUCTURE	PTD	PAINTED	VIF	VERIFY IN FIELD
FAU	FORCED AIR UNIT	QTY	QUANTITY	WC.	WATER CLOSET
FIN	FINISH	R	RISER	WD	WOOD
FLR	FLOOR	RAD	RADIUS	W.R.	WATER RESISTANT
F.R.	FIRE RATED	RCP	REFLECTED CEILING PLAN	WT	WEIGHT
GA	GUAGE	RD	ROOF DRAIN		

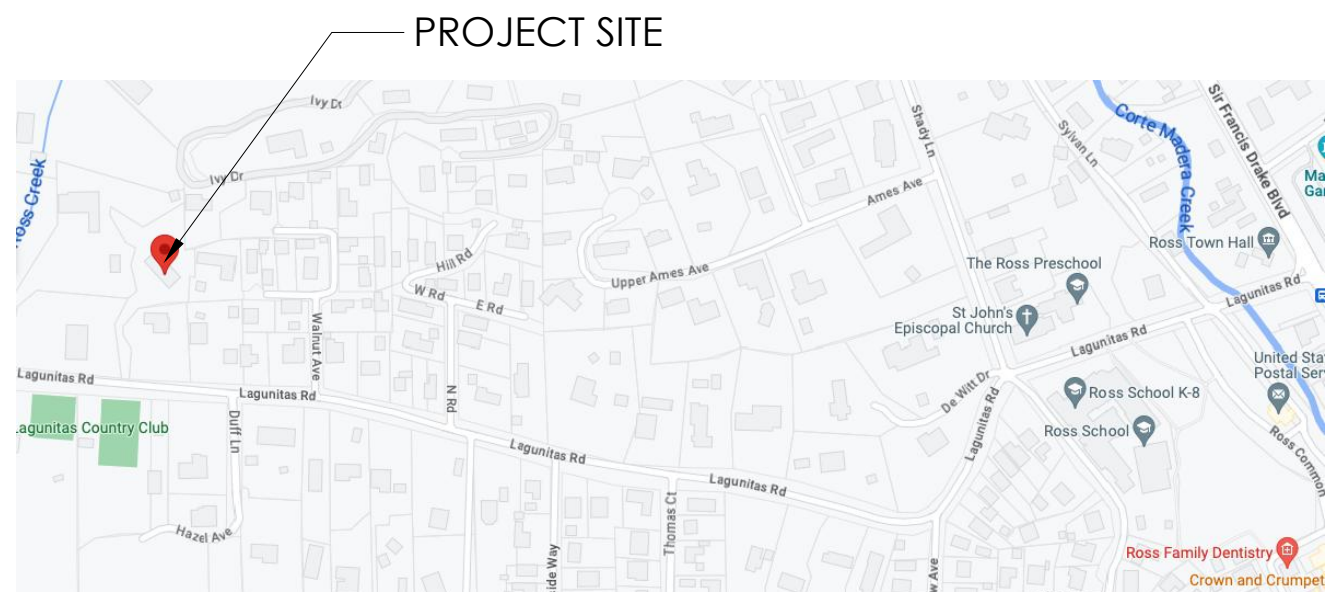
SYMBOL LEGEND



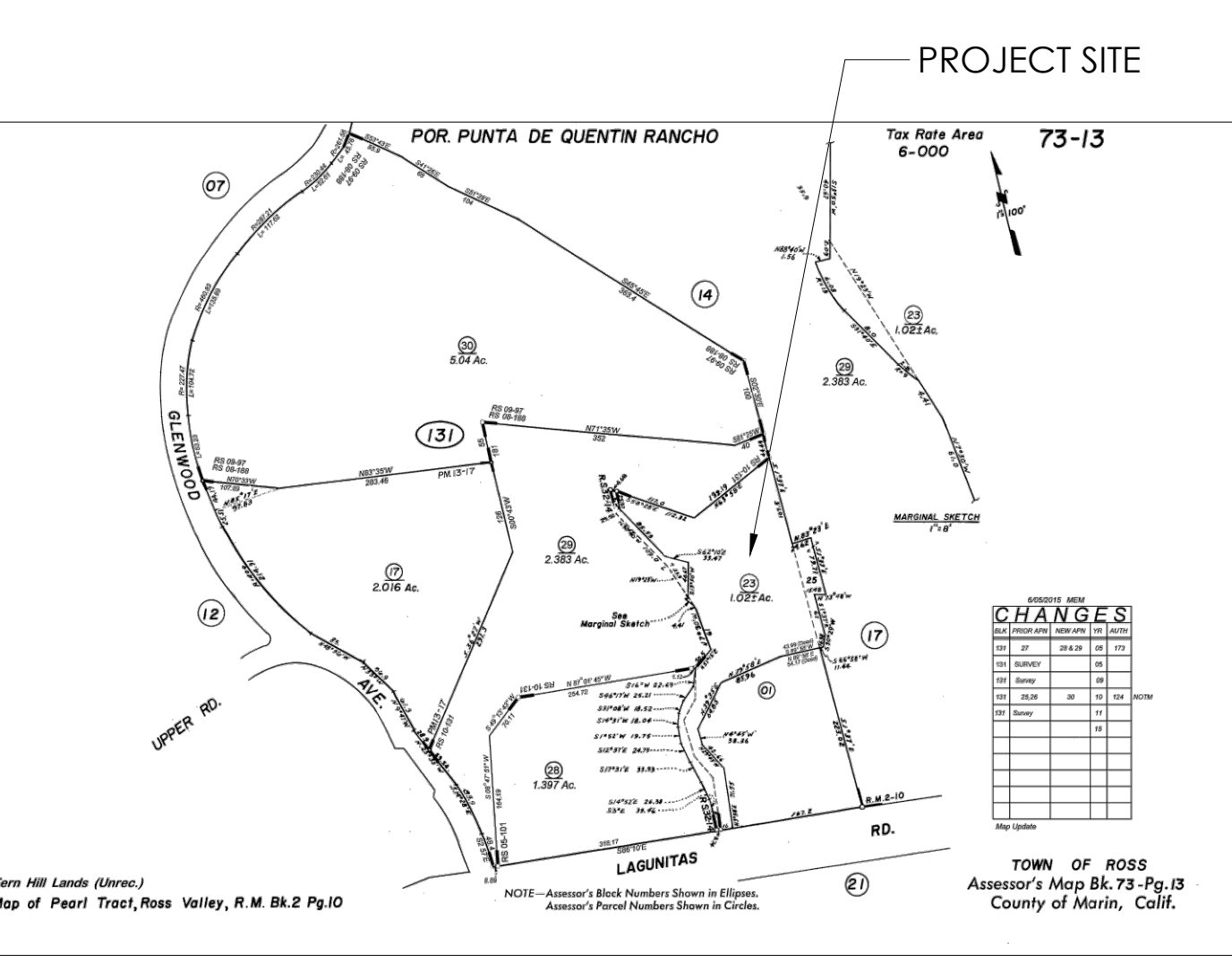
PROPOSED RENDERING



VICINITY MAP



ASSESSOR'S PARCEL MAP



AREA CALCS (SQUARE FEET)

FLOOR	EXISTING	PROPOSED	DELTA
GARAGE	544	675	+131
FIRST FLOOR	2831	3001	+170
SECOND FLOOR	3005	2786*	-219
2ND FLOOR JADU	0	500	+500
TOTAL GROSS	4380	6962	+2582
TOTAL FAR SF (-JADU)	4380	6462	+82
TOTAL FAR %	14.4%	14.5%	+0.1%

LOT AREA: 44,431 SF (MARIN ASSESSOR)
ALLOWED PER RMC 18.32.070: 6665 SF = 15%
*INCLUDES 183SF OF AREA @ 2ND FLOOR OF JADU FOR EGRESS

TOTAL EXISTING IMPERVIOUS AREAS: 12,186 SF
TOTAL EXISTING PERVIOUS AREAS: 32,245 SF
TOTAL PROPOSED IMPERVIOUS AREAS: 12,172 SF (-15 SF NET)
TOTAL PROPOSED PERVIOUS AREAS: 32,259 SF

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA RESIDENTIAL CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA PLUMBING CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA ELECTRICAL CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA FIRE CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA ENERGY CODE WITH LOCAL AMENDMENTS
- 2022 CALIFORNIA GREEN BUILDING CODE WITH LOCAL AMENDMENTS
- 2022 TOWN OF ROSS MUNICIPAL CODE

THE EXPOSED UNDERSIDE OF A CANTILEVERED FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AND EXTERIOR WALL SHALL BE PROTECTED BY ONE OF THE FOLLOWING:

- NONCOMBUSTIBLE MATERIAL
- IGNITION-RESISTANT MATERIAL
- ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
- THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE FLOOR PROJECTION INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
- THE UNDERSIDE OF A FLOOR PROJECTION ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3

ALL (N) DECKING & STAIRS TO BE 1-1/4" MIN THICK SOLID CON HEART REDWOOD (LISTING 81 10-2041-0002) OR 1X6 IPE BY REDWOOD EMPIRE (LISTING 81 10-2065-0001) PER SFM 12-7A-4 & 12-7A-5

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

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NIEHAUS RESIDENCE
200 LAGUNITAS ROAD, ROSS CA 94957
APN #073-131-23

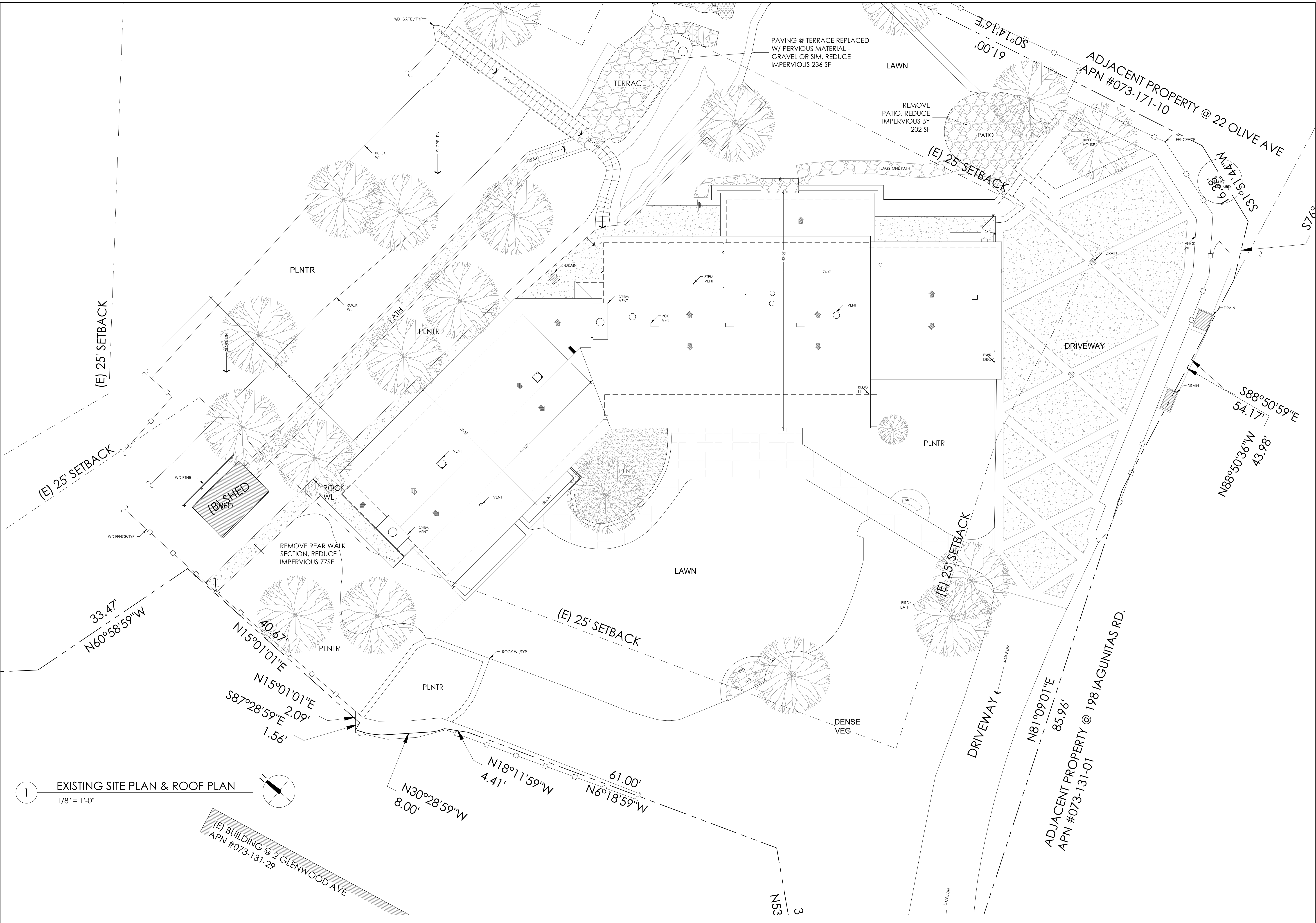


ISSUED
DESIGN REVIEW
SUBMITAL:
01.19.2024

PROJECT INFO

A0.1

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1 EXISTING SITE PLAN & ROOF PLAN
1/8" = 1'-0"

(E) BUILDING @ 2 GLENWOOD AVE
APN #073-131-29

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ARCHITECTURE
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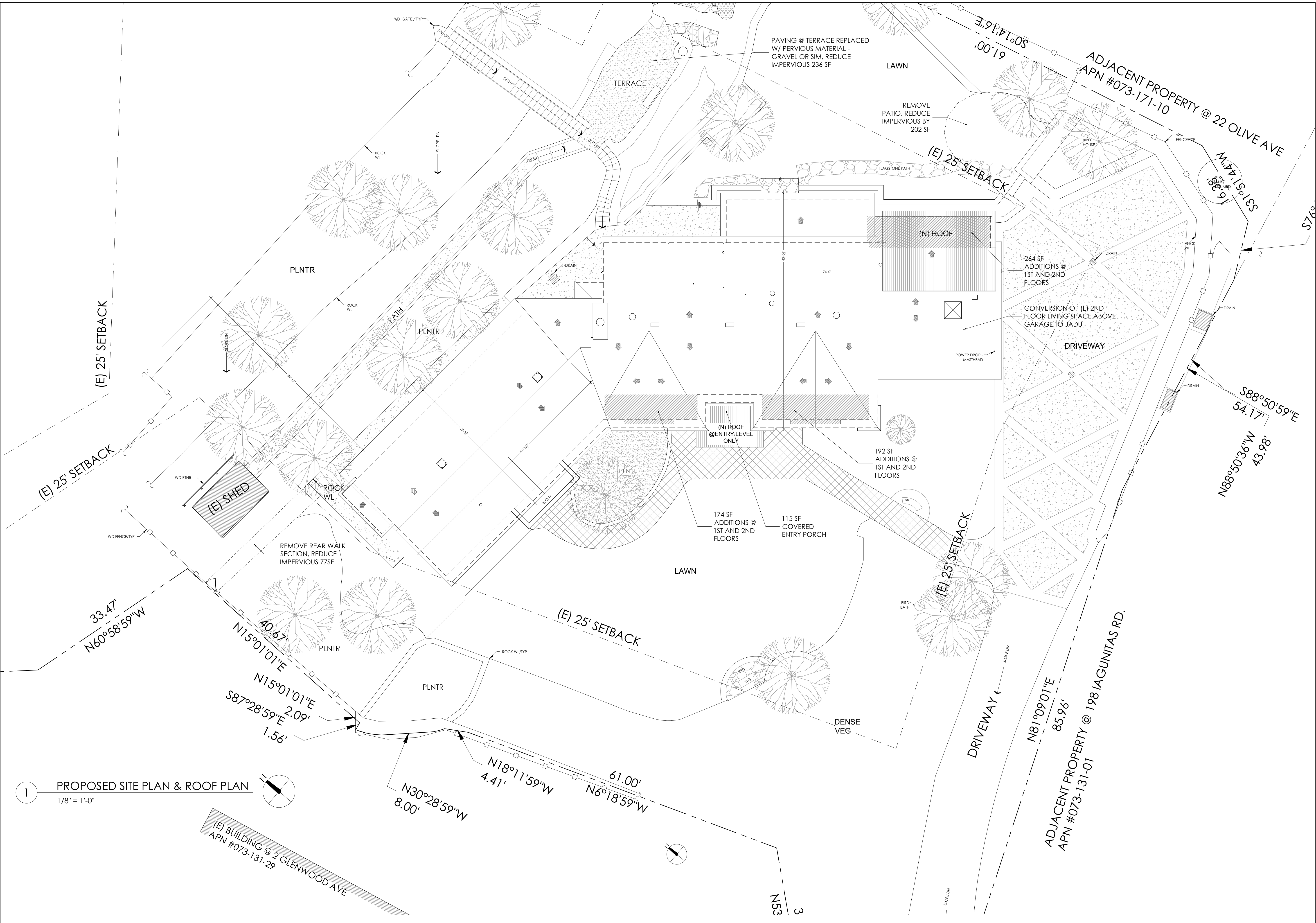
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EXISTING SITE PLAN

1/8" = 1'-0"

A1.0

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1 PROPOSED SITE PLAN & ROOF PLAN
1/8" = 1'-0"

(E) BUILDING @ 2 GLENWOOD AVE
APN #073-131-29

BROOKS MCDONALD ARCHITECTURE
NIEHAUS RESIDENCE
200 LAGUNITAS ROAD, ROSS CA 94957
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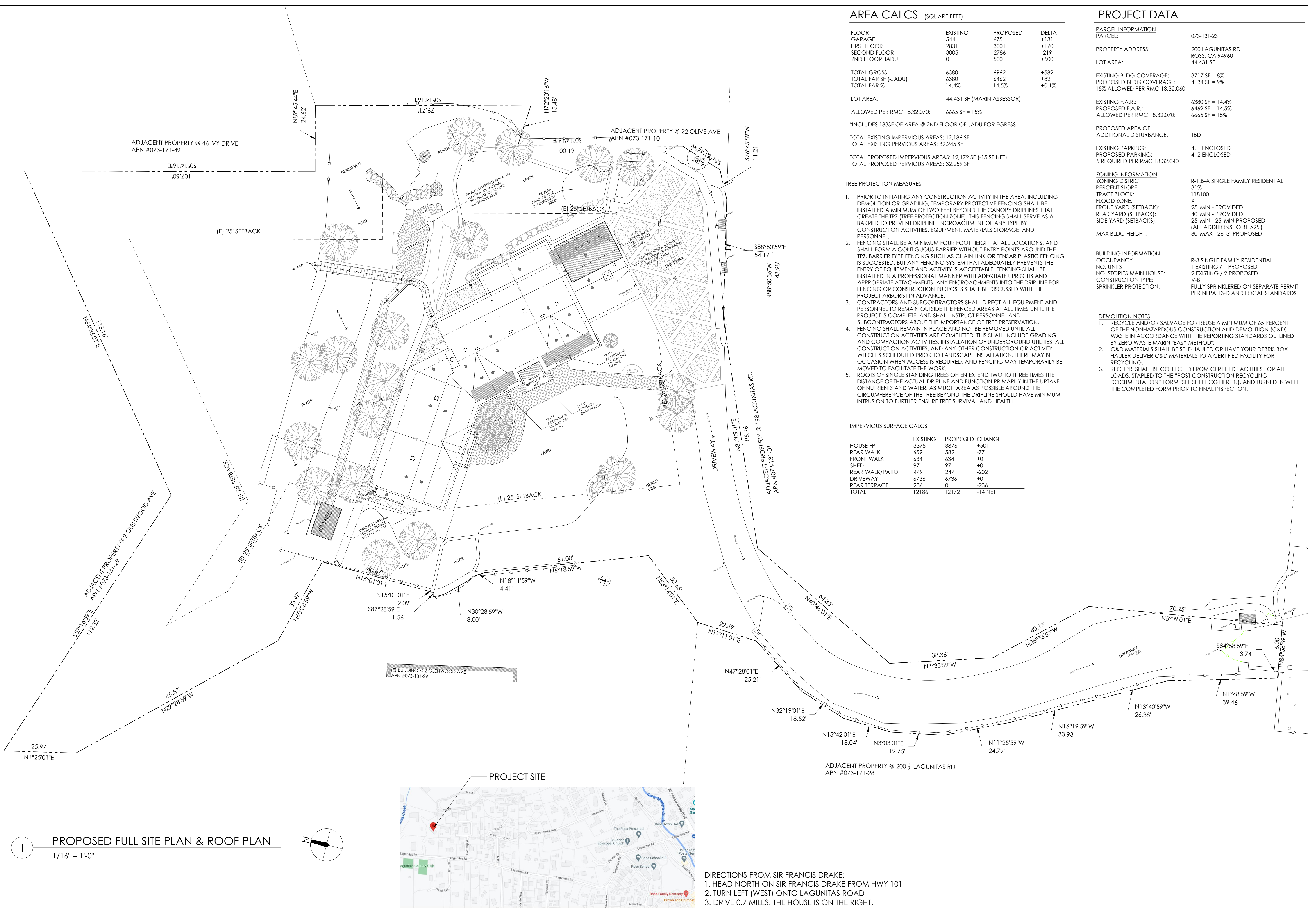
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PROPOSED SITE PLAN

1/8" = 1'-0"

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AREA CALCS (SQUARE FEET)

FLOOR	EXISTING	PROPOSED	DELTA
GARAGE	544	675	+131
FIRST FLOOR	2831	3001	+170
SECOND FLOOR	3005	2786	-219
2ND FLOOR JADU	0	500	+500
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 TOTAL PROPOSED IMPERVIOUS AREAS: 12,172 SF [-15 SF NET]
 TOTAL PROPOSED PERVIOUS AREAS: 32,259 SF

TREE PROTECTION MEASURES

- PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING DEMOLITION OR GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED A MINIMUM OF TWO FEET BEYOND THE CANOPY DRIFLINES THAT CREATE THE TPZ (TREE PROTECTION ZONE). THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIFLINE ENCROACHMENT OF ANY TYPE BY CONSTRUCTION ACTIVITIES, EQUIPMENT, MATERIALS STORAGE, AND PERSONNEL.
- FENCING SHALL BE A MINIMUM FOUR FOOT HEIGHT AT ALL LOCATIONS, AND SHALL FORM A CONTIGUOUS BARRIER WITHOUT ENTRY POINTS AROUND THE TPZ. BARRIER TYPE FENCING SUCH AS CHAIN LINK OR TENSAR PLASTIC FENCING IS SUGGESTED, BUT ANY FENCING SYSTEM THAT ADEQUATELY PREVENTS THE ENTRY OF EQUIPMENT AND ACTIVITY IS ACCEPTABLE. FENCING SHALL BE INSTALLED IN A PROFESSIONAL MANNER WITH ADEQUATE UPRIGHTS AND APPROPRIATE ATTACHMENTS. ANY ENCROACHMENTS INTO THE DRIFLINE FOR FENCING OR CONSTRUCTION PURPOSES SHALL BE DISCUSSED WITH THE PROJECT ARBORIST IN ADVANCE.
- CONTRACTORS AND SUBCONTRACTORS SHALL DIRECT ALL EQUIPMENT AND PERSONNEL TO REMAIN OUTSIDE THE FENCED AREAS AT ALL TIMES UNTIL THE PROJECT IS COMPLETE, AND SHALL INSTRUCT PERSONNEL AND SUBCONTRACTORS ABOUT THE IMPORTANCE OF TREE PRESERVATION.
- FENCING SHALL REMAIN IN PLACE AND NOT BE REMOVED UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED. THIS SHALL INCLUDE GRADING AND COMPACTION ACTIVITIES, INSTALLATION OF UNDERGROUND UTILITIES, ALL CONSTRUCTION ACTIVITIES, AND ANY OTHER CONSTRUCTION OR ACTIVITY WHICH IS SCHEDULED PRIOR TO LANDSCAPE INSTALLATION. THERE MAY BE OCCASION WHEN ACCESS IS REQUIRED, AND FENCING MAY TEMPORARILY BE MOVED TO FACILITATE THE WORK.
- ROOTS OF SINGLE STANDING TREES OFTEN EXTEND TWO TO THREE TIMES THE DISTANCE OF THE ACTUAL DRIFLINE AND FUNCTION PRIMARILY IN THE UPTAKE OF NUTRIENTS AND WATER. AS MUCH AREA AS POSSIBLE AROUND THE CIRCUMFERENCE OF THE TREE BEYOND THE DRIFLINE SHOULD HAVE MINIMUM INTRUSION TO FURTHER ENSURE TREE SURVIVAL AND HEALTH.

IMPERVIOUS SURFACE CALCS

HOUSE FP	EXISTING	PROPOSED	CHANGE
HOUSE FP	3375	3876	+501
REAR WALK	659	582	-77
FRONT WALK	634	634	+0
SHED	97	97	+0
REAR WALK/PATIO	449	247	-202
DRIVEWAY	6736	6736	+0
REAR TERRACE	236	0	-236
TOTAL	12186	12172	-14 NET

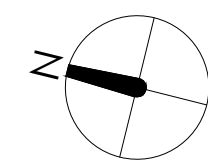
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 PROPOSED F.A.R.: 6462 SF = 14.5%
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 PROPOSED PARKING: 4, 2 ENCLOSED
 5 REQUIRED PER RMC 18.32.040
ZONING INFORMATION
 ZONING DISTRICT: R-1.8-A SINGLE FAMILY RESIDENTIAL
 PERCENT SLOPE: 31%
 TRACT BLOCK: 118100
 FLOOD ZONE: X
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 REAR YARD (SETBACK): 40' MIN - PROVIDED
 SIDE YARD (SETBACKS): 25' MIN - 25' MIN PROPOSED (ALL ADDITIONS TO BE >25')
 MAX BLDG HEIGHT: 30' MAX - 26'-3" PROPOSED
BUILDING INFORMATION
 OCCUPANCY: R-3 SINGLE FAMILY RESIDENTIAL
 NO. UNITS: 1 EXISTING / 1 PROPOSED
 NO. STORIES MAIN HOUSE: 2 EXISTING / 2 PROPOSED
 CONSTRUCTION TYPE: V-B
 SPRINKLER PROTECTION: FULLY SPRINKLERED ON SEPARATE PERMIT PER NFPA 13-D AND LOCAL STANDARDS

DEMOLITION NOTES

- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION (C&D) WASTE IN ACCORDANCE WITH THE REPORTING STANDARDS OUTLINED BY ZERO WASTE MARIN "EASY METHOD".
- C&D MATERIALS SHALL BE SELF-HAULED OR HAVE YOUR DEBRIS BOX HAULER DELIVER C&D MATERIALS TO A CERTIFIED FACILITY FOR RECYCLING.
- RECEIPTS SHALL BE COLLECTED FROM CERTIFIED FACILITIES FOR ALL LOADS, STAPLED TO THE "POST CONSTRUCTION RECYCLING DOCUMENTATION" FORM (SEE SHEET CG HEREIN), AND TURNED IN WITH THE COMPLETED FORM PRIOR TO FINAL INSPECTION.

1 PROPOSED FULL SITE PLAN & ROOF PLAN
 1/16" = 1'-0"



- DIRECTIONS FROM SIR FRANCIS DRAKE:**
- HEAD NORTH ON SIR FRANCIS DRAKE FROM HWY 101
 - TURN LEFT (WEST) ONTO LAGUNITAS ROAD
 - DRIVE 0.7 MILES. THE HOUSE IS ON THE RIGHT.

BROOKS MCDONALD ARCHITECTURE
 BROOKS MCDONALD ARCHITECTURE
 415.350.8811
 CA LIC #C33087
 www.brooksmcdonaldarchitecture.com
 NIEHAUS RESIDENCE
 200 LAGUNITAS ROAD, ROSS CA 94957
 APN #073-131-23



ISSUED
 DESIGN REVIEW
 SUBMITTAL:
 01.19.2024

PROPOSED SITE PLAN

1/16" = 1'-0"

A1.2

ATTACHMENT 2



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|---|
| <input checked="" type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input checked="" type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input checked="" type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): 073-131-23

Project Address: 200 Lagunitas Road

Property Owner: Sarah and Scott Niehaus

Owner Mailing Address (PO Box in Ross): _____

City/State/Zip: Ross, CA 94957 Owner's Phone: 203-216-1687

Owner's Email: sarah.rocio.niehaus@gmail.com, scott.niehaus@gmail.com

Applicant: Brooks McDonald

Applicant Mailing Address: 1615 Bridgeway

City/State/Zip: Sausalito CA 94965 Applicant's Phone: 415-350-8011

Applicant's Email: brooks@brooksmcdarchitecture.com

Primary point of Contact Email: Owner Buyer Agent Architect

To Be Completed by Town Staff:

Date Received: _____	Planning 5300 _____
Application No.: _____	Tree Permit 5305 _____
Zoning: _____	Fee Program Administration 5315-05 _____
	Record Management 5316-05 _____
	Record Retention 5112-05 _____
	Technology Surcharge 5313-05 _____
Date paid: _____	TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: N/A

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment:

N/A

Existing Parcel Size(s)	Parcel 1:	Parcel 2:
Adjusted Parcel Size(s)	Parcel 1:	Parcel 2:

PARCEL ONE	PARCEL 2
Owners Signature:	Owner's Signature:
Date:	Date:
Owner's Name (Please Print):	Owner's Name (Please Print):
Assessor's Parcel Number:	Assessor's Parcel Number:

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment:

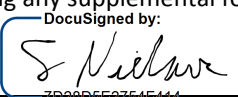
CERTIFICATION AND SIGNATURES

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature:  Date: 1/22/2024

DocuSigned by: 7D28D5E2754F414...

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Owner's Signature:  Date: 1/22/2024

DocuSigned by: 7D28D5E2754F414...

SIGNATURE:


I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

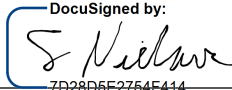
I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

County of Marin, California on **1/22/2024**


Signature of Property Owner(s) and Applicant(s)


Signature of Plan Preparer 1/22/2024

Notice of Ordinance/Plan Modifications

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm STRATA LANDSCAPE ARCHITECTURE
Project Landscape Architect DUSTIN MOORE
Mailing Address _____
City _____ State _____ ZIP _____
Phone 415-431-9200 Fax _____
Email DMOORE@STRATA-INC.COM
Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm MUNSELLE CIVIL ENGINEERING
Project Engineer DAN HUGHES
Mailing Address _____
City _____ State _____ ZIP _____
Phone 707-775-8986 Fax _____
Email DAN@MUNSELLECIVIL.COM
Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
Project Arborist _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

NA

Substantial Property Rights

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

NA

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

NA

200 Lagunitas Neighbor Communication

Neighbors that we have directly reached out to and shared plans regarding our renovation:

- Schliesman (24 Olive St)
- O'Hara/Weldon (198 Lagunitas)
- Owen (200.5 Lagunitas)
- McDermott (2 Glenwood)

We have shared the plans reviewed at the 12/12/23 Conceptual ADR with each of the neighbors listed above. We have spent additional time with the McDermott's at 2 Glenwood where we are exploring the lot line adjustment. None of these neighbors have raised objections to the project.

Schliesman

12/8 email:

200 Lagunitas Renovation Update

Sarah Niehaus <sarah.rocio.niehaus@gmail.com>
to Rtschliesmann

Fri, Dec 8, 2023, 10:42 AM

Hi Dick!

We have really enjoyed settling into our new home at 200 Lagunitas. We feel incredibly lucky to be here, and to be surrounded by such wonderful neighbors! As we've mentioned we are planning a renovation for 200 Lagunitas to bring it into the modern era, while maintaining the traditional charm. We are planning to attend the ADR this upcoming Tuesday 12/12 for a 'Conceptual Review'.

Our goals for the project are 1) to update the interior of the house and make it more functional for family living, 2) improve the exterior aesthetic of the house, 3) update landscaping to increase utility for our family, including maximizing the amount of flat lawn in the front of the house while also adding a pool. Our goal would be to have no changes that are non-conforming to any Ross planning or zoning codes. Ideally we would get through approvals to start construction early summer 2024.

Key changes on the interior:

- Tunneling a hallway to connect the entire upstairs (currently the primary bedroom is accessed via a separate stairwell)
- Flipping the floorplan of where the kitchen is located to optimize functionality and improve access to the flat front yard (where our family spends most of our time)
- See floor plan attached

Key changes on the exterior:

- Creating 3 small bump outs - 2 in the front of the house to address the aesthetic issue of the front pillars, and one at the garage to make it such that we can fit 2 cars in it. The net sum of additional square footage would be: +792 sqft
- We will be adding gables to the front of the house and updating siding (see image attached)

We want to call out that these are still in conceptual stages. We want to be as open as possible with you as neighbors and with the town to make this project as successful as possible. Attached I have included the package we are planning to submit to ADR. We are happy to spend time reviewing in more detail or walking you through the current house/property. The boys and I have been making a special holiday treat that we would love to come share with you this weekend and we can discuss more.

Best,
Scott and Sarah

One attachment • Scanned by Gmail

PDF 200 Lagunitas 20...

Dick Schliesmann <rtschliesmann@yahoo.com>
to me, susan, me

Sat, Dec 9, 2023, 1:55 PM

Hello Sarah,

Wow, what a fabulous transformation!!! Those gables/windows. and the shingles/rock, just make your house a totally different, warm, and welcoming home. This is a beautiful concept. And, the lot swaps were a real genius move. Happy that you were able to make that move and get a more reasonable lot shape. I see that you are using Dustin Moore for the landscaping. He is a wonderful person.

No need to rush to review these plans at this stage. We can get together after the holidays to review any details. I did notice that your some of your elevations are mislabelled as to direction, (east/south) but no big deal.

All the best,
dick and susan.

...

O'Hara/Weldon

12/8/23 email:

200 Lagunitas Renovation Update

Sarah Niehaus <sarah.rocio.niehaus@gmail.com>
to Cynthia, Jamie, Scott

Hi Cynthia and Jamie,

We have really enjoyed settling into our new home at 200 Lagunitas. We feel incredibly lucky to be here, and to be surrounded by such wonderful neighbors. As we've mentioned we are planning a renovation for 200 Lagunitas to bring it into the modern era, while maintaining the traditional charm. We are planning to attend the ADR this upcoming Tuesday 12/12 for a 'Conceptual Review'.

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Best,
Scott and Sarah

One attachment • Scanned by Gmail

PDF
200 Lagunitas 20...

Owen

12/9/23 email:



Sarah Niehaus <sarah.rocio.niehaus@gmail.com>
to Toriowen, jowen63714, Scott

Dec 9, 2023, 10:02 AM

Hi Tori and Jim,

Just following up on our text thread with more details on our plans. Feel free to review at your leisure.

We have really enjoyed settling into our new home at 200 Lagunitas. We feel incredibly lucky to be here, and to be surrounded by such wonderful neighbors. As we've mentioned we are planning a renovation for 200 Lagunitas to bring it into the modern era, while maintaining the traditional charm. We are planning to attend the ADR this upcoming Tuesday 12/12 for a 'Conceptual Review'.

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Best,
Scott and Sarah

One attachment • Scanned by Gmail



Jim Owen <jowen63714@gmail.com>
to Toriowen, me, Scott

Dec 9, 2023, 10:19 AM

Looks nice!

The lot line adjustment really fixes some historical idiosyncrasies.

One more request: would you make sure to enclose/sound insulate your pool equipment room/area please. Thank you.

Happy Holidays,
Jim

Sent with Spark

McDermott

- 6/24/23 - Scott and Ed walked 200 Lagunitas together and discussed initial ideas on renovation and LLA
- 11/10/23 - Walked Ed and Betsy McDermott through detailed plans at our house; discussed LLA in more detail
- 12/14/23 email:

200 Lagunitas - latest plans Inbox x



Scott Niehaus
to mcdermottbetsy@yahoo.com, ehmcdermott@gmail.com, me

Thu, Dec 14, 2023, 11:36AM ☆ ☺ ↶ ⋮

Betsy / Ed - per our text exchange see attached for the plans we walked through at ADR this week. As always we'd love to hear any feedback you have. Look forward to walking through the potential LLA in a few weeks.

Enjoy NZ!

Best
Scott & Sarah

One attachment • Scanned by Gmail



Scott Niehaus
to mcdermottbetsy@yahoo.com, ehmcdermott@gmail.com, me

Sun, Jan 7, 12:45PM (11 days ago) ☆ ☺ ↶ ⋮

Ed and Betsy,

Nice to walk the property together today. The attached has the shaded LLA picture on page 15. We are going to check on the town rules re: generator and will keep you updated on the drainage plans. If you have any comments on the proposed lines at any time, just let us know. We should have a bit of time to work through this. Thanks again.

Scott

One attachment • Scanned by Gmail



- 1/14/24: Walked staking of potential LLA with Ed/Betsy