



Staff Report

Date: January 16, 2024
To: Advisory Design Review (ADR) Group
From: Alex Lopez-Vega, Assistant Planner
Subject: 15 Skyland Way

Recommendation

ADR Group consideration and recommendation to the Town Council regarding the merits of the project and consistency with the Design Review criteria and standards of Ross Municipal Code (RMC) Section [18.41 Design Review](#).

Project Information

Property Owner: Horatio LLC
Applicant: Pedersen Associates, Kai Okada
Street Address: 15 Skyland Way
Parcel Number: 072-201-16
Zoning: R-1: B-A
General Plan: VL (Very Low Density)
Flood Zone: X (Moderate Risk)

Project Data

	Code Standard	Existing	Proposed
Lot Area	1 Acre min.	1.5 acres, 67,140 SF	No change
Floor Area (FAR)	15% max.	9,624 SF (14.3%)	No change
Building Coverage	15% max.	8,559 SF (12.7%)	No change
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	12,594 SF (15.2%)	12,745 SF (15.3%)

Project Description

The applicant requests a recommendation to the Town Council for Design Review and a Hillside Lot Permit. The project proposes to rehabilitate and renovate the existing front and side landscape. The project will expand the existing driveway and construct retaining walls, gates and fences measuring up to 5'-6" in height, construct stone stairs, a landing, paved paths to the garage, along with realigned gravel paths to the existing pool area. Plantings will be incorporated in all disturbed areas, and exterior light fixtures within the project area will undergo renovation. Lighting will be shielded or directed downward to illuminate paved surfaces.

The front and side yard, currently features ornamental and native shrubs with seasonal grasses, and will undergo minimal changes, preserving much of the existing planting while introducing additional native and ornamental shrubs as shown on sheet L5 on the plans. The project will also remove a Blackwood Acacia to accommodate the side yard path and gate but retain the Coast live Oak.

Impervious Surfaces:

The project proposes to increase impervious surfaces by about 151 square-feet (SF). As shown on sheet L-2 of the project plans, drainage management areas of approximately 140 SF will be constructed to improve the drainage, directing paved areas to flow into landscape sections, slowing runoff and facilitating stormwater infiltration. In addition, the new driveway expansion will match the existing driveway to include permeable pavers that will contribute to effective stormwater management. The project is consistent with the Town's no net increase standard noted in RMC Section 18.41.100(t), Low Impact Development for Stormwater Management.

Project plans are included as **Attachment 1**; Project Application and Materials are included as **Attachment 2**.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** to allow for construction of a new; fences and gates greater than 48" in height adjacent to the street right-of-way; and redevelopment, rehabilitation, and/or renovation of existing landscape over 2,500 square feet, including new hardscape, retaining walls, vegetation modifications, modification to topography, additional impervious surfaces, alterations of drainage patterns, and other site modifications that could affect the visual and/or physical character of the site and neighborhood.
- **Hillside Lot Permit is required for lots with a slope of 30 percent greater or are wholly or partially with Hazard Zones 3 or 4 as identified on the town slope stability map, pursuant to RMC Section 18.39.020.**

Background

The project site is located on an irregular shaped, 67,140-square-foot lot on the south side of Skyland Way. The lot has an average slope of approximately 28.6%. The property is designated as a Hillside Lot because the north and west edges of the lot are located within Slope Stability Hazard Zone 3. The property contains an existing single-family residence with attached garage wing in the middle of the lot; a pool house at the east side; and a detached garage at the west side. The western portion of the property is bisected by a vehicular access easement that separates the detached garage from the remainder of the property. The lot has an approved Design Review, Hillside Lot Permit and a Variance for a first and second-story addition to an existing attached garage at the west wing of the existing single-family residence.



Discussion

The overall purpose of the Design Review is to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include; provide excellence of design consistent with the scale and quality of existing development; preserve and enhance the historical "small town", low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhance important community entryways, local travel corridors and the area in which the project is located; promote and implement the design goals, policies and criteria of the Ross general plan; discourage the development of individuals buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression; preserve buildings and areas with historic or aesthetic value; upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site; and preserve natural hydrology and drainage patterns and reduce stormwater runoff associated with development. The Design Review criteria and standards per RMC Section 18.41.100 can be found here: [18.41 Design Review](#).

Public Comment

At the time of writing this report, no comments were received from the public regarding the project.

Attachments

1. Project Plans
2. Project Application & Materials

ATTACHMENT 1

15 SKYLAND WAY

LANDSCAPE RENOVATION

SCOPE OF WORK

RETAINING WALL TO 5'-6" TALL,
CONCRETE STAIRS,
PAVER AUTO COURT RENOVATION,
PAVER AND CONCRETE WALK,
LANDSCAPE LIGHT RENOVATION
PLANTING AND IRRIGATION RENOVATION

VICINITY MAP:



INDEX TO LANDSCAPE DRAWINGS:

- L-0 COVER SHEET
- L-1 LANDSCAPE MATERIAL PLAN & TREE REMOVAL LEGEND
- L-2 FINE GRADING PLAN AND PRELIMINARY STORMWATER CONTROL PLAN
- L-3 PLANTING PLAN
- L-4 SECTIONS AND ELEVATIONS
- L-5 IMAGES
- C-2 GRADING AND DRAINAGE PLAN

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO OR EXCEED THE REQUIREMENTS OF THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE, REGARDLESS OF WHAT IS SHOWN OR NOT SHOWN IN THE CONTRACT DOCUMENTS. ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES.

THE FOLLOWING 2022 CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY CALIFORNIA WILL BE ENFORCED BY THE TOWN OF ROSS:

- CALIFORNIA BUILDING CODE
- CALIFORNIA RESIDENTIAL CODE
- CALIFORNIA PLUMBING CODE
- CALIFORNIA MECHANICAL CODE
- CALIFORNIA ELECTRICAL CODE
- CALIFORNIA FIRE CODE
- CALIFORNIA ENERGY CODE
- CALIFORNIA GREEN BUILDING STANDARDS CODE

2. THE CONTRACTOR SHALL COMPLY WITH THE TOWN OF ROSS ORDINANCE AND ALL OTHER APPLICABLE STATE OR LOCAL ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

3. CONFLICTS IN THE CONTRACT DOCUMENTS: IN CASE OF DISCREPANCIES OR CONFLICTS IN INFORMATION OR REQUIREMENTS WITHIN THE DRAWINGS, SPECS, OR BETWEEN THE DRAWINGS AND THE SPECS, THE MOST EXPENSIVE REQUIREMENT SHOWN OR SPECIFIED SHALL BE THE BASIS OF THE CONTRACT FOR CONSTRUCTION.

4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC SCALE SHOWN ON THE DRAWINGS. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE SHOWN TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

5. ALL SYSTEMS AND ASSEMBLIES SHALL BE COMPLETE AND OPERATIVE THOUGH NOT FULLY DESCRIBED IN THE CONTRACT DOCUMENTS. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER OF SIMILAR CONDITIONS SHOWN OR CALLED FOR.

6. UNLESS OTHERWISE NOTED ALL CONNECTIONS AND FASTENERS SHALL BE CONCEALED. THE USE OF SURFACE FASTENERS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL EXTERIOR FASTENERS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

7. THE OWNER AND LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR: CONSTRUCTION MEANS, METHODS OR TECHNIQUES, SEQUENCES OR PROCEDURES OF THE CONTRACTOR, SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, OR FAILURE OF THE CONTRACTOR TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

8. THESE DRAWINGS MAY NOT BE TO SCALE AND ARE FOR: ILLUSTRATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO EXECUTING THE WORK.

9. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER DRAWINGS.

10. INSTALL ALL MATERIALS, EQUIPMENT, FIXTURES, APPLIANCES AND ACCESSORIES IN CONFORMANCE WITH THE MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL AND TRUE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

11. THE CONTRACTOR SHALL HOLD HARMLESS THE OWNER, THE LANDSCAPE ARCHITECT AND THE TOWN OF ROSS FROM ALL LIABILITIES AND DAMAGES RESULTING FROM HIS CONSTRUCTION OPERATIONS.

12. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.

13. SPOT ELEVATIONS INDICATED ARE CRITICAL ELEVATIONS. INTERVENING ELEVATIONS NOT SPECIFICALLY NOTED SHALL BE INTERPOLATED FROM ELEVATIONS SHOWN. A MINIMUM SLOPE OF EXTERIOR SURFACES SHALL BE 2% U.O.N.

14. INSURANCE: EACH CONTRACTOR SHALL MAINTAIN INSURANCE IN FULL FORCE AND EFFECT FOR THE LIFE OF THE CONTRACT, AND GIVE EVIDENCE OF SAME OR A CERTIFICATE INDICATING ITS EXISTENCE DELIVERED TO THE OWNER AND THE ARCHITECT AND GENERAL CONTRACTOR THE POLICIES LISTED HEREIN:

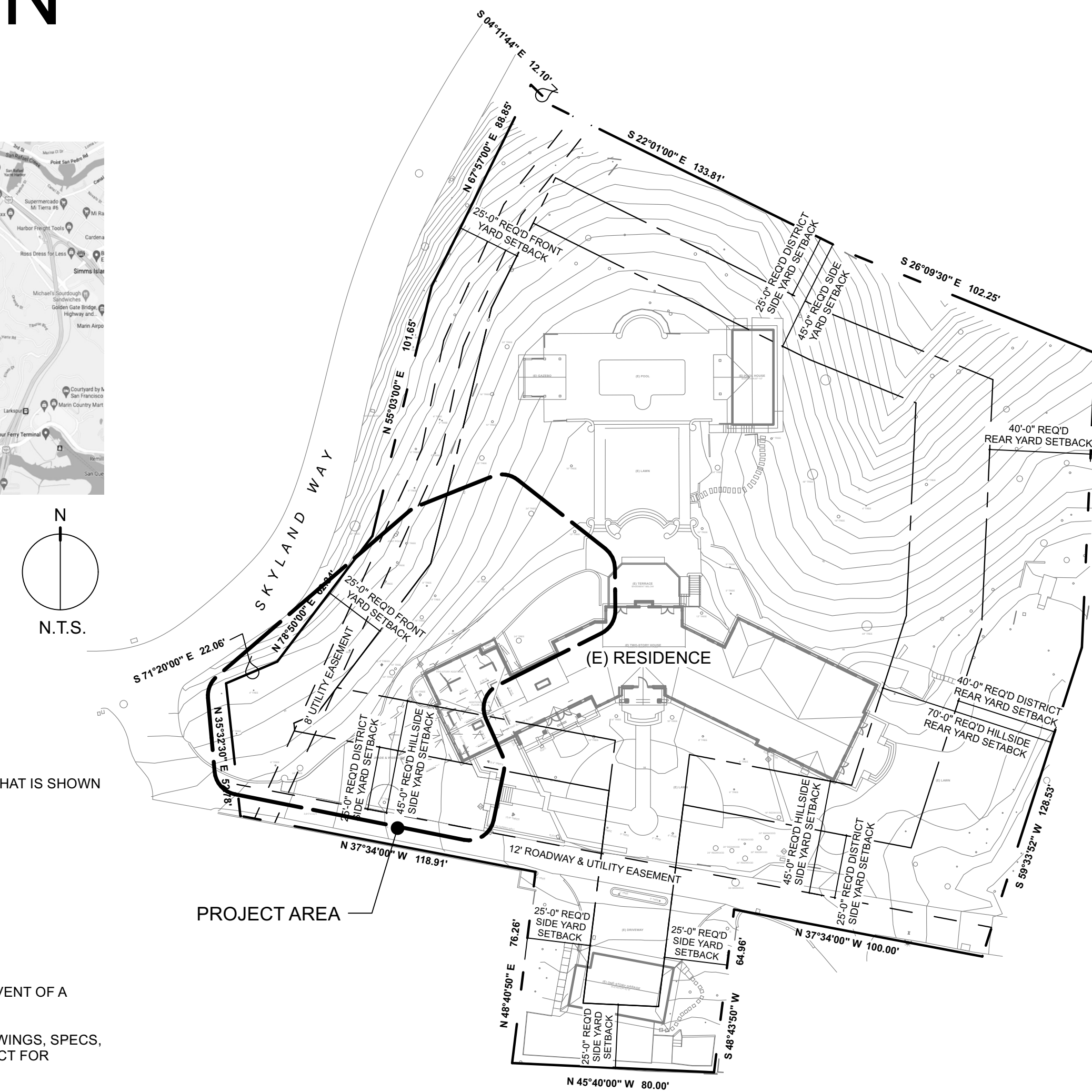
a) WORKER'S COMPENSATION COVERING CONTRACTOR'S FULL LIABILITY UNDER "THE WORKMAN'S COMPENSATION AND SAFETY ACTS."

b) COMPREHENSIVE GENERAL LIABILITY INSURANCE IN THE FOLLOWING AMOUNTS:
BODILY INJURY: \$1,000,000
PROPERTY DAMAGE: \$1,000,000

c) COMPREHENSIVE AUTO LIABILITY INSURANCE IN THE FOLLOWING AMOUNTS:
BODILY INJURY: \$1,000,000 EACH PERSON
PROPERTY DAMAGE: \$1,000,000 EACH OCCURRENCE

15. CONTRACTOR'S LIABILITY INSURANCE SHALL INCLUDE THE "OWNER" AND THE "LANDSCAPE ARCHITECT" AS ADDITIONAL INSURED. CONTRACTOR IS TO PROVIDE CERTIFICATE OF INSURANCE TO EACH OF THE ADDITIONAL INSURED PRIOR TO COMMENCING WORK. PROGRESS PAYMENTS WILL BE WITHHELD UNTIL CERTIFICATES ARE RECEIVED BY THE OWNER AND THE LANDSCAPE ARCHITECT.

16. GUARANTEE: UNLESS SPECIFICALLY STATED TO THE CONTRARY IN THE DRAWINGS, THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE TO THE EFFECT THAT ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THE CONTRACT SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE TO BE FREE FROM DEFECTS AND FAULTY WORKMANSHIP AND THAT ANY SUCH DEFECTS SHALL BE PROMPTLY REPAIRED OR REPLACED WITHOUT ADDITIONAL COST TO THE OWNER.

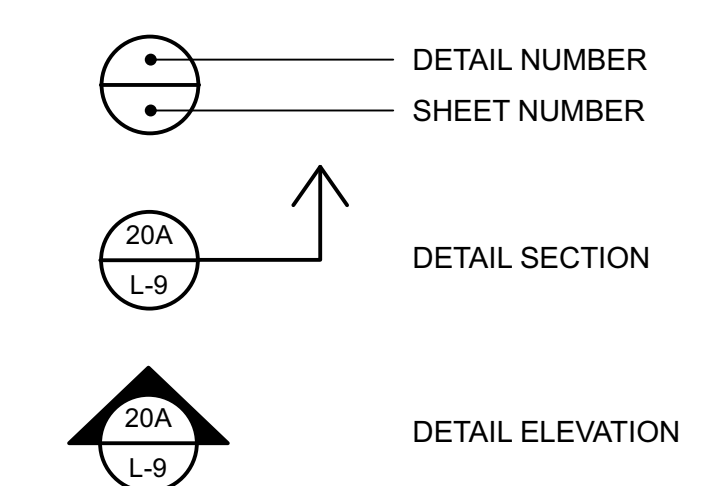


1 EXISTING SITE PLAN AND PROJECT AREA
Scale: 1" = 40'-0"

ABBREVIATIONS & SYMBOLS

ALIGN	DEPT.	DEPARTMENT	G	GAS	REIN.	REINFORCED
AND	D.F.	DOUGLAS FIR	GAL.	GALLON	REQ.	REQUIRED
AT	DET.	DETAIL	GALV.	GALVANIZED	RM.	ROOM
@	DI	DROP INLET	GR.	GRADE	RWD.	REDWOOD
⊕	DIM.	DIMENSION	H.B.	HOSE BIB	SHT.	SHEET
⊖	DN.	DOWN	HDWD.	HARDWOOD	SIM.	SIMILAR
#	DR.	DOOR	HORIZ.	HORIZONTAL	SPEC.	SPECIFICATION
(E)	DS.	DOWNSPOUT	HT.	HEIGHT	SQ.	SQUARE
(N)	DWG.	DRAWING	INST.	INSTALL	S.S.T.	STAINLESS STEEL
A.C.	E	ELECTRIC	JT.	JOINT	STD.	STANDARD
A.D.	EA.	EACH	MAX.	MAXIMUM	STL.	STEEL
ADJ.	E.J.	EXPANSION JOINT	MECH.	MECHANICAL	STOR.	STORAGE
APPROX.	EL.	ELEVATION	MFR.	MANUFACTURER	STR.	STRUCTURAL
ARCH.	E.M.	ELECTRIC METER	MH.	MANHOLE	SYM.	SYMMETRICAL
BD.	ENCL.	ENCLOSURE	MIN.	MINIMUM	TRD.	TREAD
BLDG.	E.P.	ELECTRICAL PANELBOARD	MISC.	MISCELLANEOUS	T.C.	TOP OF CURB
B.W.	EQ.	EQUAL	N.I.C.	NOT IN CONTRACT	T.P.	TOP OF PIER/COLUMN
C	EXST.	EXISTING	NO./#	NUMBER	T.W.	TOP OF WALL
C.B.	EXP.	EXPANSION	NOM.	NOMINAL	TYP.	TYPICAL
CEM.	EXT.	EXTERIOR	N.T.S.	NOT TO SCALE	U.O.N.	UNLESS OTHERWISE NOTED
CER.	FIN.	FINISH	O.C.	ON CENTER	VERT.	VERTICAL
C.J.	FIN.GR.	FINISH GRADE	O.C.E.W.	ON CENTER EACH WAY	W/	WITH
CLR.	FL.	FLOOR	P.A.	PLANTING AREA	WD.	WOOD
CONC.	FLASHG	FLASHING	P.L.	PROPERTY LINE	W.M.	WATER METER
CONN.	F.O.F.	FACE OF FINISH	P.O.B.	POINT OF BEGINNING	W/O	WITHOUT
CONT.	FT.	FOOT/FEET	R.	RISER	WP.	WATERPROOF
CTSK.	FTG.	FOOTING	RAD.	RADIUS		
CTR.	FUT.	FUTURE	REF.	REFERENCE		
DBL.						

DETAIL SYMBOL KEY



PROJECT DATA

	EXISTING	PROPOSED
TOTAL LOT AREA	82,542 SF	
SETBACKS		
FRONT (WEST)	25'0"	
SIDE (NORTH)	45'0"	
SIDE (EAST)	45'0"	
REAR (SOUTH)	70'0"	
PARKING	4	
BUILDING COVERAGE		
TOTAL BUILDING COVERAGE	8,559 SF	8,559 SF (NO CHANGE)
SITE COVERAGE	10.4%	10.4% (NO CHANGE)
IMPERVIOUS SURFACES		
ASPHALT & BRICK DRIVEWAY	5,599 SF	5,599 SF
PAVING AND LANDSCAPE WALLS	6,995 SF	7,146 SF
TOTAL IMPERVIOUS SURFACE	12,594 SF	12,745 SF
COVERAGE PERCENTAGE	15.2%	15.3%
PERVIOUS SURFACES		
PAVER (PERVIOUS)	2,229 SF	3,009 SF
GRAVEL	1,190 SF	1,517 SF
LANDSCAPE /TURF AREA	57,970 SF	56,712 SF
TOTAL PERVIOUS SURFACE	61,389 SF	61,238 SF
COVERAGE PERCENTAGE	74.4%	74.2%

PROJECT TEAM

OWNER	HORATIO LLC PO BOX 1558 ROSS, CA 94957 PHONE: 415-256-9240
LANDSCAPE ARCHITECT	PEDERSEN ASSOCIATES 24 H STREET SAN RAFAEL, CA. 94901 PHONE: 415-456-2070 CONTACT Pete Pedersen: ppedersen@pedersenassociates.com Kai Okada: kokada@pedersenassociates.com
CIVIL ENGINEER	LTD ENGINEERING, INC. 1050 NORTHGATE DRIVE SAN RAFAEL, CA 94903 PHONE: 415-446-7402 CONTACT Glenn Dearth: gdearth@ltdengineering.com



15 SKYLAND
15 SKYLAND WAY
ROSS, CA
APN: 072-201-16
ZONING: R-1-B-A

FOR DESIGN REVIEW
NOT FOR CONSTRUCTION

DATE	ISSUES & REVISIONS	NO.
01/03/24	PLNG SUB	
12/22/23	PLNG SUB	
11/06/23	PLNG SUB	

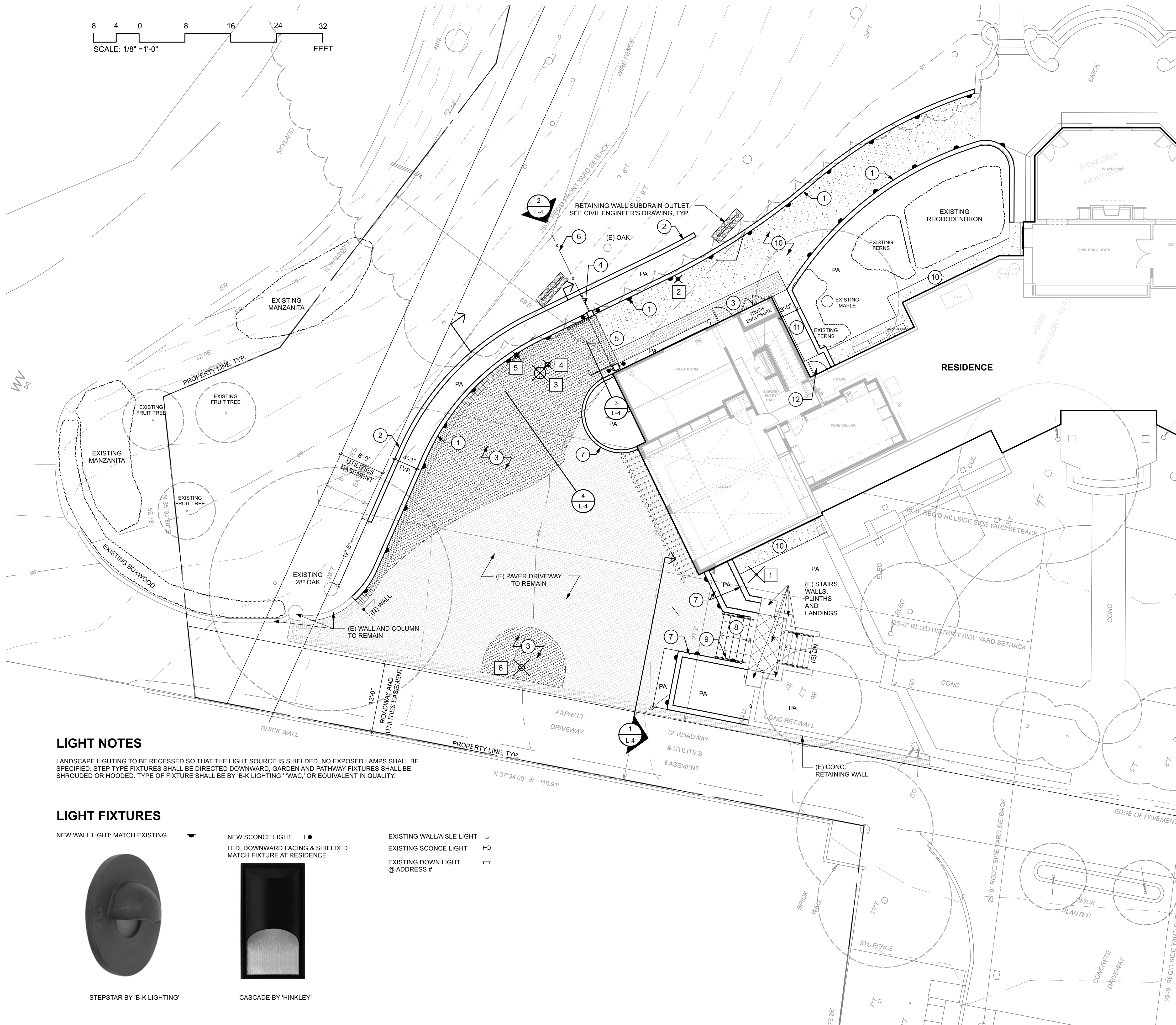
PROJECT# 2022.32 DRAWN BY: TK/
KO
ORIGINAL DRAWING SIZE: 24" X 36"

COVER SHEET
SHEET #

L-0

All written material appearing herein constitutes original unpublished work of the landscape architect and may not be duplicated, used or disclosed without the written consent of the landscape architect.

8 4 0 8 16 24 32
SCALE: 1/8" = 1'-0"
FEET



LEGEND

- PROPERTY LINE
- SETBACK & EASEMENT
- (E) TREE TO REMAIN
- ⊗ (E) TREE TO BE REMOVED
- PA PLANTING AREA

LEGEND

- 1 NEW SITE WALL W/ ROLLED CAP
3'-6" TALL MAX., SLOPE WITH GRADE,
STUCCO ON CONCRETE WITH ROLLED CAP
FINISH & COLOR TO MATCH EXISTING STUCCO
- 2 NEW TERRACE WALL
5'-6" TALL MAX., STUCCO ON CONCRETE,
FINISH & COLOR TO MATCH EXISTING STUCCO
- 3 PAVER AT DRIVEWAY AND WALK
COLOR & PATTERN TO MATCH EXISTING DRIVEWAY
- 4 NEW SOLID BOARD FENCE AT COLUMN
PAINT TO MATCH TRIM AT RESIDENCE
- 5 GATES AND COLUMNS
GATE: UTILIZE EXISTING GATES. COLOR TO MATCH TRIM AT
RESIDENCE
COLUMN: STUCCO ON CONCRETE, COLOR AND FINISH TO
MATCH EXISTING WALLS
- 6 NEW DEER FENCE
CONNECT TO EXISTING DEER FENCE WITH
PTDF FRAMES WITH HOG WIRE MESH
- 7 NEW GARDEN WALL
STUCCO ON CONCRETE WITH PRE-CAST CAP
COLOR AND FINISH TO MATCH EXISTING
- 8 NEW STAIRS
STONE TREADS AND RISERS TO MATCH EXISTING
- 9 NEW HANDRAIL
METAL, MATCH EXISTING
- 10 NEW CRUSHED ROCK
1" OF 3/8" "PACIFIC GOLD" CRUSHED ROCK ON
COMPACTED PERVIOUS BASE MATERIAL
- 11 CONCRETE WALK AND CURB
SCORED & COLORED CONC.
- 12 CONCRETE LANDING
SCORED & COLORED CONC.

TREE REMOVAL LEGEND

	COMMON NAME	DBH (INCHES)
1	MAGNOLIA	6"
2	PITTOSPORUM	6"
3	ACACIA	24"
4	LOCUST	10"
5	CHERRY	(4) 4"
6	OAK	12"

TREE PROTECTION NOTES

THE LANDSCAPE ARCHITECT (L.A.) SHALL HAVE A PRE-DEMOLITION MEETING WITH CONTRACTOR OR RESPONSIBLE PARTY AND ALL OTHER FOREMEN OR CREW MANAGERS ON SITE PRIOR TO ANY WORK TO REVIEW ALL WORK PROCEDURES, ACCESS AND HAUL ROUTES, AND TREE PROTECTION. THE CONTRACTOR MUST NOTIFY THE L.A. IF ROOTS ARE DAMAGED OR IF TRUNK OR BRANCHES ARE WOUNDED.

LIGHT NOTES

LANDSCAPE LIGHTING TO BE RECESSED SO THAT THE LIGHT SOURCE IS SHIELDED. NO EXPOSED LAMPS SHALL BE SPECIFIED. STEP TYPE FIXTURES SHALL BE DIRECTED DOWNWARD, GARDEN AND PATHWAY FIXTURES SHALL BE SHROUDED OR HOODED. TYPE OF FIXTURE SHALL BE BY 'B-K LIGHTING', 'WAC', OR EQUIVALENT IN QUALITY.

LIGHT FIXTURES

NEW WALL LIGHT: MATCH EXISTING



STEPSTAR BY 'B-K LIGHTING'

NEW SCONCE LIGHT
LED, DOWNWARD FACING & SHIELDED
MATCH FIXTURE AT RESIDENCE



CASCADE BY 'HINKLEY'

EXISTING WALL/AISLE LIGHT
EXISTING SCONCE LIGHT
EXISTING DOWN LIGHT
@ ADDRESS #

FOR DESIGN REVIEW
NOT FOR CONSTRUCTION

DATE	ISSUES & REVISIONS	NO.
01/03/24	PLNG SUB	
12/22/23	PLNG SUB	
11/06/23	PLNG SUB	

DATE ISSUES & REVISIONS NO.

PROJECT# 2022.32 DRAWN BY: TK/

ORIGINAL DRAWING SIZE: 24" X 36"

SCALE: 1/8" = 1' - 0"



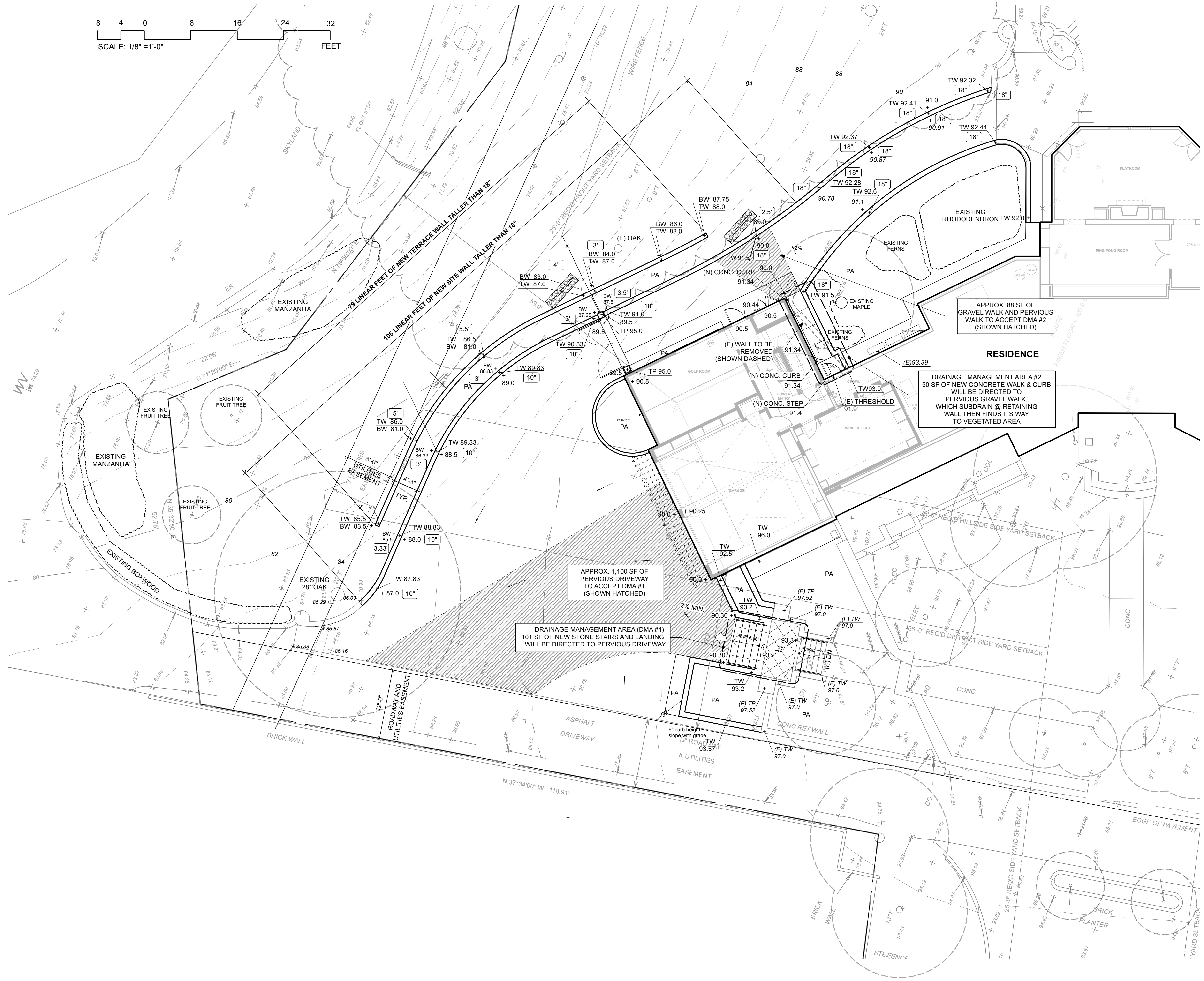
LANDSCAPE MATERIAL PLAN & TREE REMOVAL LEGEND

SHEET #

L-1

All written material appearing herein constitutes original unpublished work of the landscape architect and may not be duplicated, used or disclosed without the written consent of the landscape architect.

8 4 0 8 16 24 32
SCALE: 1/8" = 1'-0"
FEET



LEGEND

- + 93.5 (E) SPOT ELEVATION
- + 93.5 PROPOSED SPOT ELEVATION
- DIRECTION OF SLOPE
- C.O./CLEAN OUT
- (E) CONTOURS
- PROPOSED CONTOUR LINES
- HP HIGH POINT
- TW TOP OF WALL
- BW BOTTOM OF WALL
- PA PLANTING AREA
- 18" WALL HEIGHT
- DRAINAGE MANAGEMENT AREA
- DIRECTION OF FLOW
- ▨ RETAINING WALL SUBDRAIN OUTLET
SEE CIVIL ENGINEER'S DRAWING

GRADING & DRAINAGE NOTES

PROPERTY ALIGNMENT AND BUILDING ALIGNMENT ARE BASED ON INFORMATION PROVIDED BY POLSKY PERLSTEIN ARCHITECTS.

CONTRACTOR SHALL REMOVE ALL DEBRIS AND UNSUITABLE MATERIAL GENERATED BY ITS OPERATIONS FROM THE SITE.

KEEP WORK SPRINKLED TO PREVENT DUST. PROVIDE, ERECT AND MAINTAIN BARRICADES TO PROTECT THE GENERAL PUBLIC, WORKERS AND ADJOINING PROPERTY.

SLOPE TRANSITIONS TO BE SMOOTH AND EVEN WITH NO ABRUPT CHANGES IN GRADE. SLOPE ALL SOIL AWAY FROM BUILDING AT A MINIMUM OF 2%.

THE CONTRACTOR SHALL VERIFY ALL ROUGH GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR A DECISION BEFORE PROCEEDING FURTHER WITH WORK.

ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH SC150 EROSION CONTROL BLANKETS BY AMERICAN GREEN O.E. SLOPES LESS THAN 2:1 SHALL BE COVERED BY THE DIRECTION OF THE L.A. ANY EROSION CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE L.A. FOR IMMEDIATE ACTION.

FINE GRADING
ALL GRAVEL BROKEN GLASS, ASPHALT, WOOD AND CONCRETE CHUNKS SHALL BE REMOVED FROM PLANTING AREAS DURING FINE GRADING PROCEDURES.

FINE GRADING PROCEDURES SHALL INCLUDE EVENING OF GRADE AROUND ANY EXISTING UTILITY BOXES AND GRATES.

THE CONTRACTOR SHALL PLACE AMENDED ON-SITE STOCKPILED OR IMPORTED TOPSOIL TO ACHIEVE THE FINISH GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN TO WITHIN TWO TENTHS OF A FOOT. TOPSOIL TO BE GENERAL LANDSCAPE MIX. THE CONTRACTOR IS RESPONSIBLE TO CALCULATE FILL SETTLEMENT.

THE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPED AREAS.

FOR DESIGN REVIEW
NOT FOR CONSTRUCTION

DATE	ISSUES & REVISIONS	NO.
01/03/24	PLNG SUB	
12/22/23	PLNG SUB	
11/06/23	PLNG SUB	

DATE	ISSUES & REVISIONS	NO.

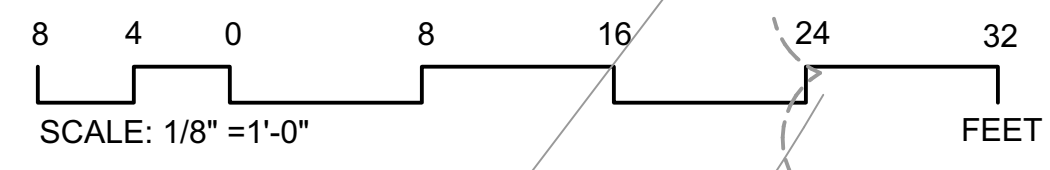
PROJECT# 2022.32 DRAWN BY: TK/
KO
ORIGINAL DRAWING SIZE: 24" X 36"
SCALE: 1/8" = 1' - 0"

**FINE GRADING
PLAN AND
PRELIMINARY STORMWATER
CONTROL PLAN**

SHEET #

L-2

All written material appearing herein constitutes original unpublished work of the landscape architect and may not be duplicated, used or disclosed without the written consent of the landscape architect.

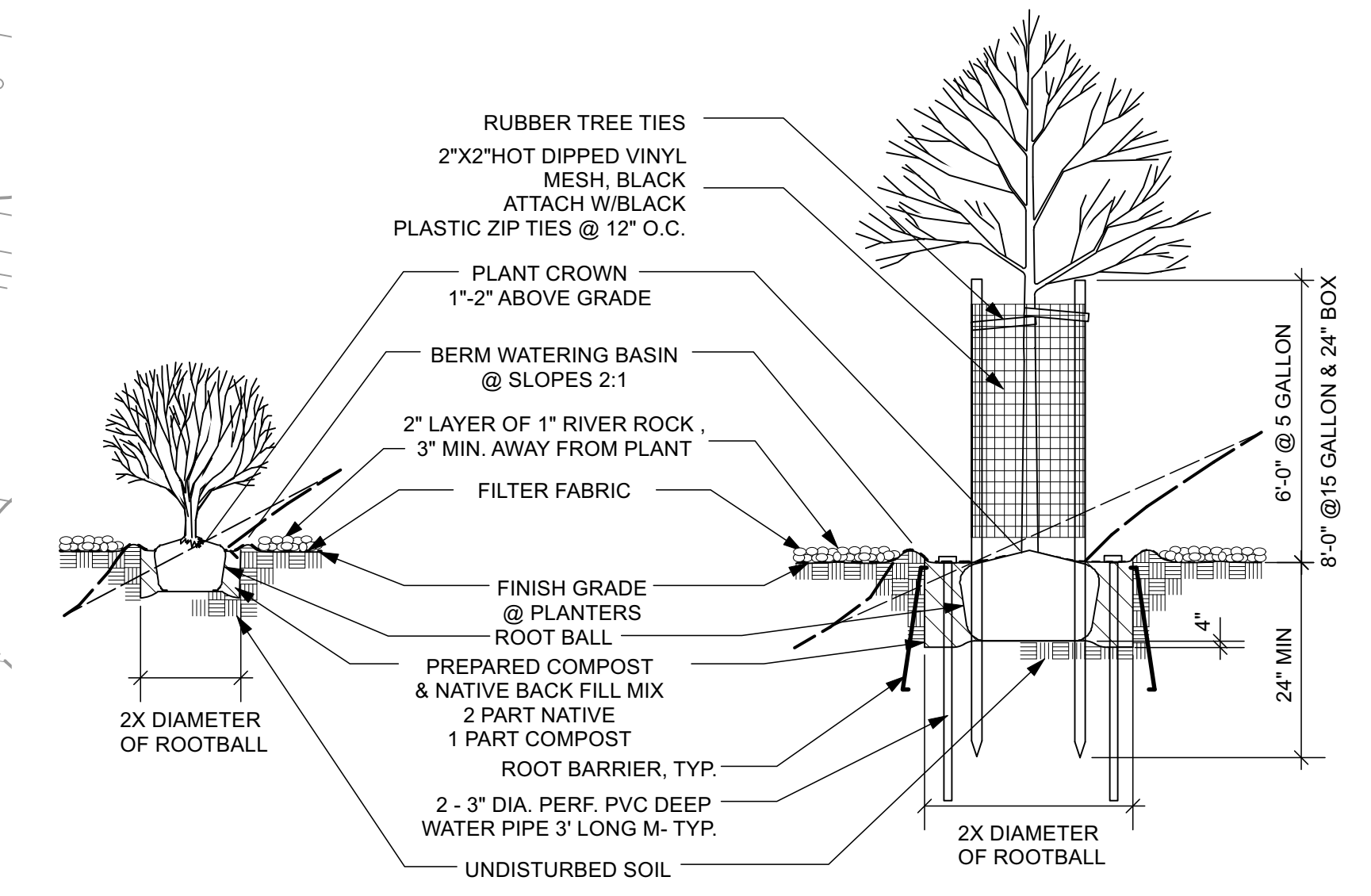


LANDSCAPE NOTES

- PLANT SYMBOLS REPRESENT A 3-5 YEAR GROWTH PROJECTION.
- PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN.
- STAKE OR GUY TREES PER DETAILS.
- CONTRACTOR SHALL COORDINATE ALL PLANTING WITH UTILITY LOCATIONS NOT SHOWN ON THE PLANS. ANY CONFLICTS BETWEEN LOCATIONS OF PROPOSED SITE UTILITIES OR LIGHTING SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL EXISTING TREES SHALL REMAIN AND PROTECTED IN PLACE, UNLESS DESIGNATED TO BE REMOVED OR TRANSPLANTED.
- GENERAL PURPOSE BACKFILL MIX TO BE 50% ON-SITE OR IMPORTED TOPSOIL, 50% APPROVED SOIL AMENDMENT.
- PLANTING HOLES TO BE TILLED SO THAT THE SOIL IS LOOSE AND NOT COMPACTED TO A MINIMUM DEPTH OF 8". COMPACTED SOILS SHALL BE RIPPED TO 10" DEPTH AND GRADED SMOOTH TO TRANSITION TO SURROUNDING AREAS.
- SOIL TESTS (THERE SHALL BE A MINIMUM OF 6) SHALL BE PERFORMED ON THE EXISTING SOIL TO DETERMINE THE FINAL AMENDMENT AND FERTILIZER FORMULA. THE SOILS REPORT SHALL CONTAIN THE FOLLOWING INFORMATION:
 - SOIL PERMEABILITY RATE IN INCHES PER HOUR
 - SOIL TEXTURE TEST
 - CATION EXCHANGE CAPACITY
 - SOIL FERTILITY (INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHOROUS, PH. ORGANIC MATTER AND ELECTRICAL CONDUCTIVITY)
 - RECOMMENDATIONS FOR AMENDMENTS TO THE PLANTING AREA SOIL
- GROUND COVER AREAS SHALL BE FERTILIZED PRIOR TO PLANTING WITH *AGRIFORM 18-18-6 OR EQUAL AT TWELVE POUNDS PER THOUSAND SQUARE FEET. BROADCAST FERTILIZER EVENLY AND WORK THOROUGHLY INTO THE TOP THREE INCHES OF SOIL.
- FURNISH AND INSTALL A 3" LAYER OF MULCH IN ALL PLANTING AREAS. MULCH TO BE 'VINEYARD' MULCH FROM SONOMA COMPOST/WESTMARIN COMPOST (PH# 707-664-9113), 'ORGANIC ARBOR MULCH' FROM GRAB N' GROW (PH# 707-575-7275) OR FOREST FLOOR' MULCH FROM AMERICAN SOIL PRODUCTS (PH# 510-860-0197). TRANSITION MULCHES TO 1" DEPTH AT ALL PLANT ROOT CROWNS. PLANT ALL MATERIALS 2" MINIMUM ABOVE EXISTING SOIL LEVELS.
- THE CONTRACTOR SHALL GUARANTEE TREES FOR A PERIOD OF 1 YEAR.
- THE CONTRACTOR SHALL GUARANTEE PLANTED STOCK FOR A 90-DAY MAINTENANCE PERIOD AFTER FINAL ACCEPTANCE BY THE OWNER.
- IRRIGATION SYSTEM TO BE A FULLY AUTOMATIC, LOW GALLONAGE DRIP SYSTEM WITH COMPLETE WATER PROTECTION. TREE, SHRUB, AND GROUND COVER AREAS TO RECEIVE DRIP EMITTER TYPE IRRIGATION.

PLANTING LEGEND

Symbol	Latin Name	Common Name	Quantity	Size	Mature Size (H X W)	Water Use Rating VL, L, M, H	Native Plant Yes(Y) or No(N)	Fire-Prone Listed Yes(Y) or No(N)	Remarks
Trees									
BET JAC	Betula utilis jacquemontii	Himalayan Birch	8	24" Box	30' x 15'	M	N	N	
COR KOU	Cornus kousa	Kousa Dogwood	5	24" Box	20' x 20'	M	N	N	
MAG DEN	Magnolia denudata	Yulan Magnolia	3	24" Box	30' x 30'	M	N	N	
PRU BLI	Prunus x blicreana	Purple-leafed Plum	5	24" Box	15' x 15'	L	N	N	
Shrubs									
AZA ALA	Azalea indica 'Alaska'	Alaska Azalea	7	5 Gal.	5' x 4'	M	N	N	
BUX GLO	Buxus sempervirens 'Globe'	Globe English Boxwood	5	15 Gal.	5' x 5'	M	N	N	
LOR SHA	Loropetalum chinense 'Shang-white'	Emerald Snow Loropetalum	29	5 Gal.	4' x 4'	L	N	N	
PIT VAR	Pittosporum tobira 'Variegatum'	Variegated Tobira	17	5 Gal.	4' x 4'	L	N	N	
WES FRU	Westringia fruticosa	Westringia	12	5 Gal.	5' x 5'	L	N	N	
Perennials									
AGA MID	Agapanthus africanus 'Midnight'	Midnight Lily of the Nile	30	1 Gal.	2' x 2'	M	N	N	
TEU CHA	Teucrium chamaedrys	Germander	33	1 Gal.	1' x 2'	L	N	N	
Ferns									
ASP MEY	Asparagus meyeri	Foxtail Fern	28	1 Gal.	2' x 2'	M	N	N	
Grasses									
Succulents									
AGA BFL	Agave 'Blue Flame'	Blue Flame Agave	13	15 Gal.	30"x36"	VL	N	N	16" o.c.
SED CAP	Sedum spathulifolium 'Cape Blanco'	Cape Blanco Stonecrop	19	4" Pot	4" x 24"	L	N	N	
Vines									
TRA ESP	Trachelospermum jasminoides	Star Jasmine	2	15 Gal.	6' x 6'	M	N	N	
Groundcovers									



1 SHRUB PLANTING @ RIVER ROCK MULCH Scale: N.T.S. SLOPE CONDITION SHOWN DASHED

FOR DESIGN REVIEW
NOT FOR CONSTRUCTION

DATE	ISSUES & REVISIONS	NO.
01/03/24	PLNG SUB	
12/22/23	PLNG SUB	
11/06/23	PLNG SUB	

All written material appearing herein constitutes original unpublished work of the landscape architect and may not be duplicated, used or disclosed without the written consent of the landscape architect

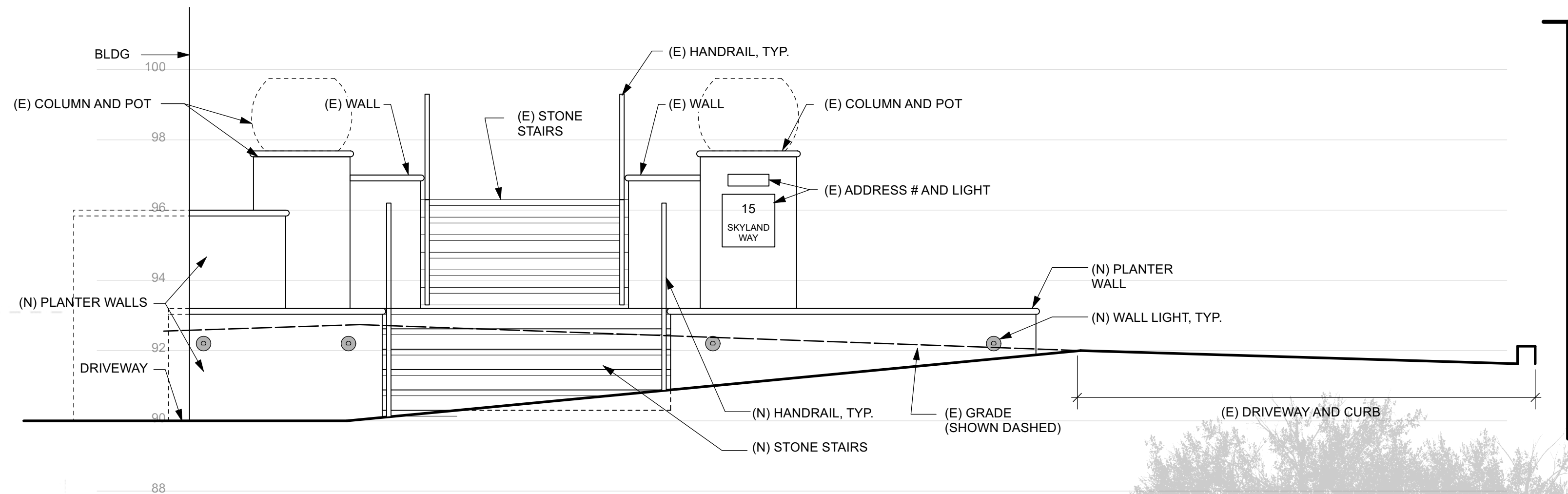
DATE	ISSUES & REVISIONS	NO.
01/03/24	PLNG SUB	
12/22/23	PLNG SUB	
11/06/23	PLNG SUB	

PROJECT# 2022.32 DRAWN BY: TK/
 KO
 ORIGINAL DRAWING SIZE: 24" X 36"

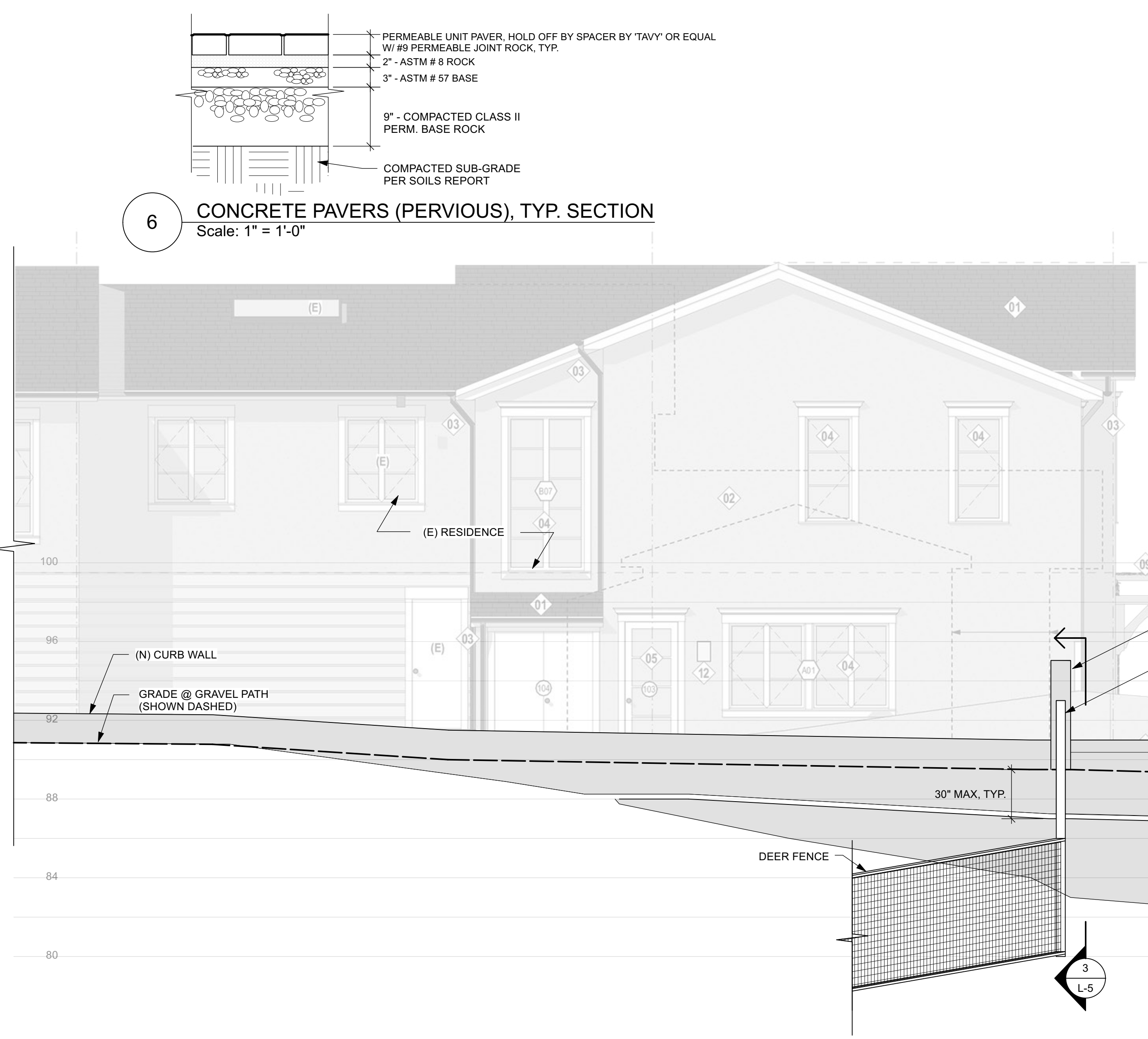
SECTIONS / ELEVATIONS
 SHEET #

L-4

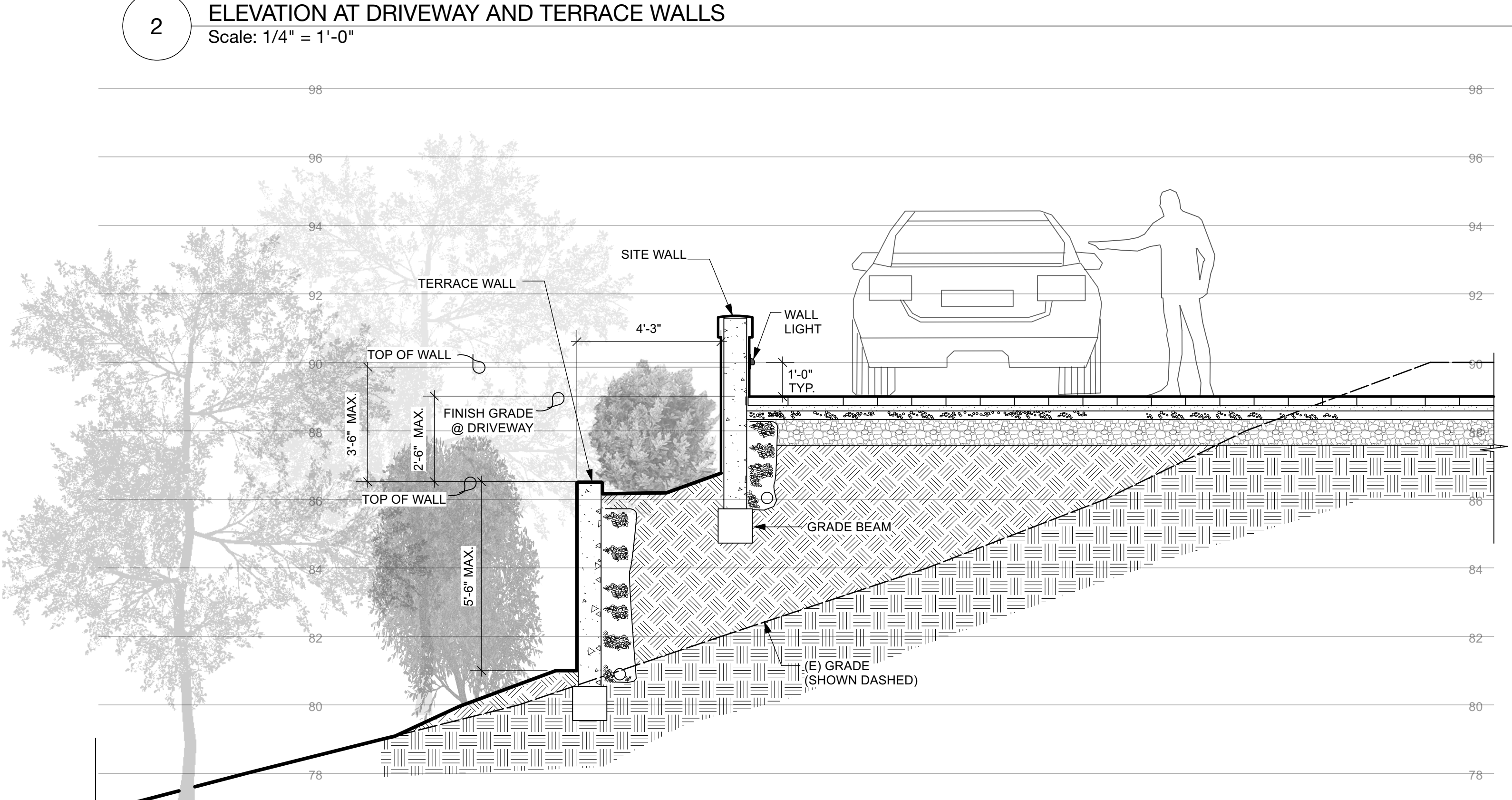
All written material appearing herein constitutes original unpublished work of the landscape architect and may not be duplicated, used or disclosed without the written consent of the landscape architect.



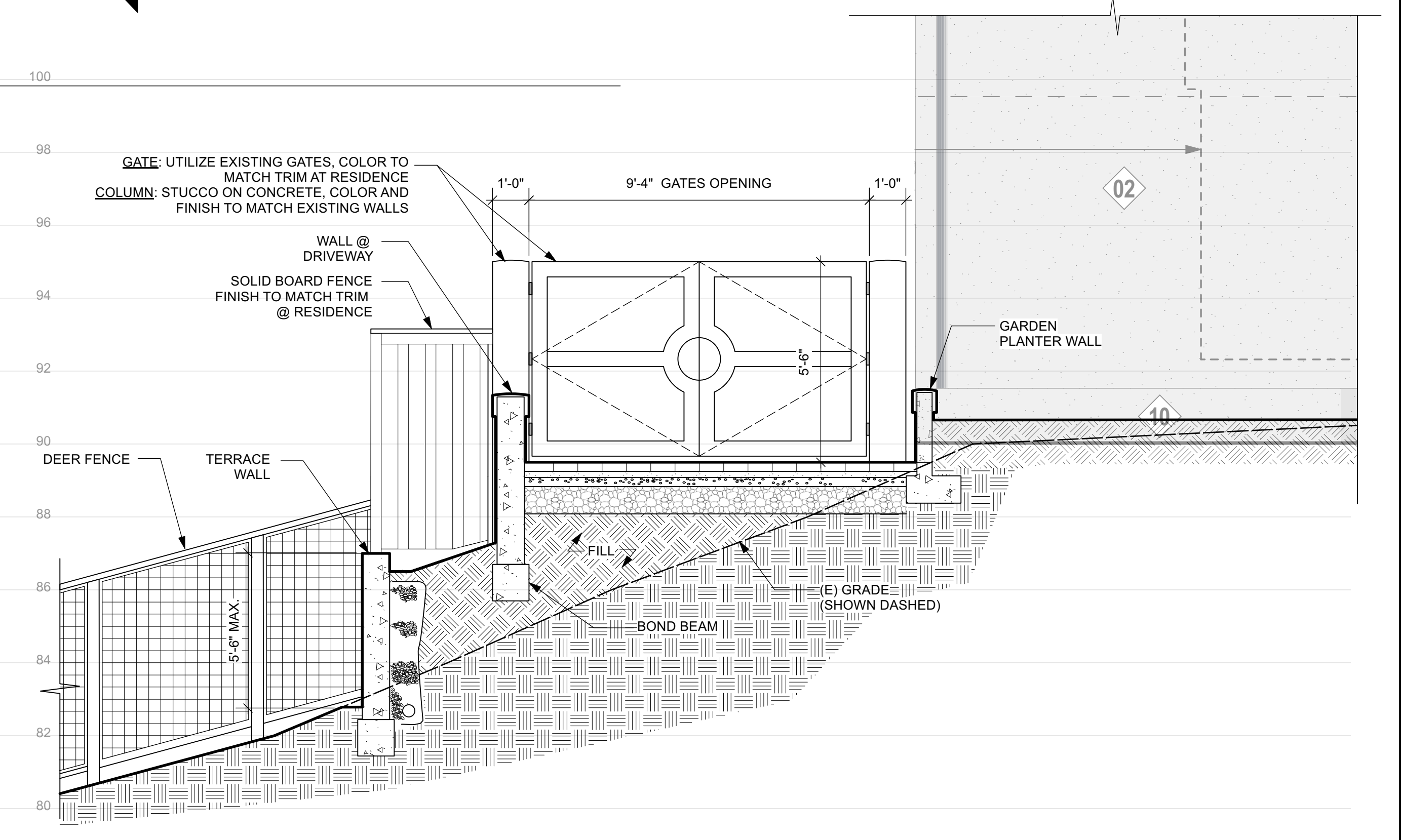
1 ELEVATION @ ENTRY STAIRS
 Scale: 3/8" = 1'-0"



2 ELEVATION AT DRIVEWAY AND TERRACE WALLS
 Scale: 1/4" = 1'-0"

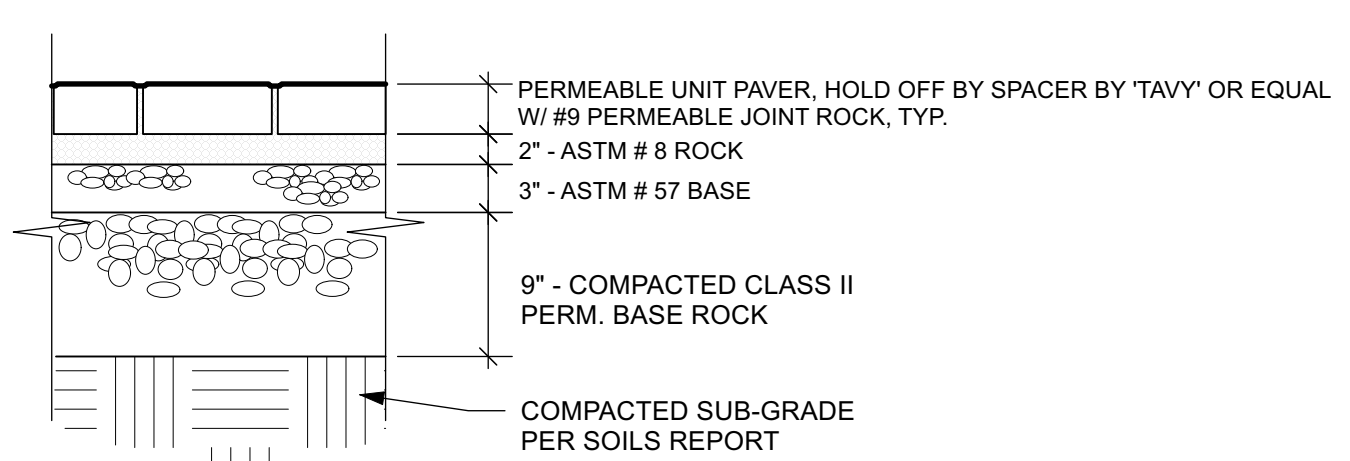


4 SECTION AT TERRAC W, DRIVEWAY WALL AND DRIVEWAY WITH PLANT MATERIALS
 Scale: 3/8" = 1'-0"



3 SECTION / ELEVATION @ TERRACE WALL AND ENTRY GATE
 Scale: 3/8" = 1'-0"

6 CONCRETE PAVERS (PERVIOUS), TYP. SECTION
 Scale: 1" = 1'-0"



PLANT IMAGES

TREES



Betula utilis jacquemontii (Himalayan Birch)



Cornus kousa (Kousa Dogwood)



Magnolia denudata (Yulan Magnolia)



Prunus x bireana (Purple-leafed Plum)

SHRUBS



Azalea indica 'Alaska' (Alaska Azalea)



Buxus sempervirens 'Globe' (Globe English Boxwood)



Loropetalum chinense ('Shang White')



Pittosporum tobira 'Variegatum' (Variegated Tobira)

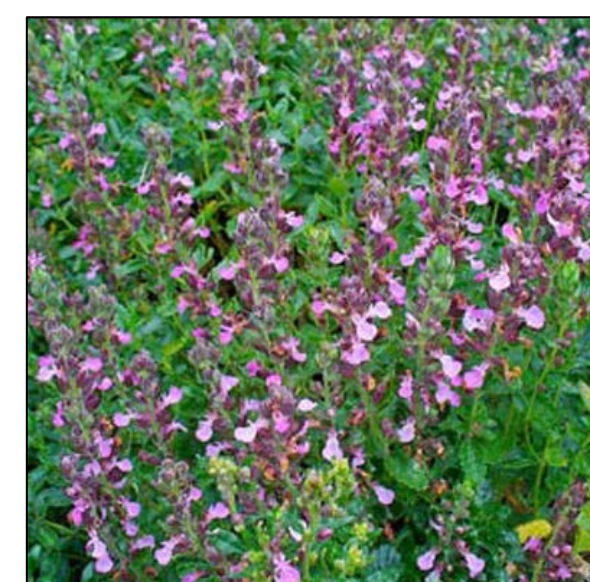


Westringia fruticosa (Westringia)

PERENNIALS



Agapanthus a. 'Midnight' (Midnight Lily of the Nile)



Teucrium chamaedrys (Germander)

FERNS



Asparagus meyeri (Foxtail Fern)

SUCCULENTS



Agave 'Blue Flame' (Blue Flame Agave)



Sedum spathulifolium 'Cape Blanco' (Cape Blanco Stonecrop)

VINE



Trachelospermum jasminoides-Star Jasmine

MATERIAL IMAGES

PAVING



DRIVEWAY PAVER: MATCH EXISTING



CRUSHED ROCK: 3/8" 'PACIFIC GOLD'

WALLS

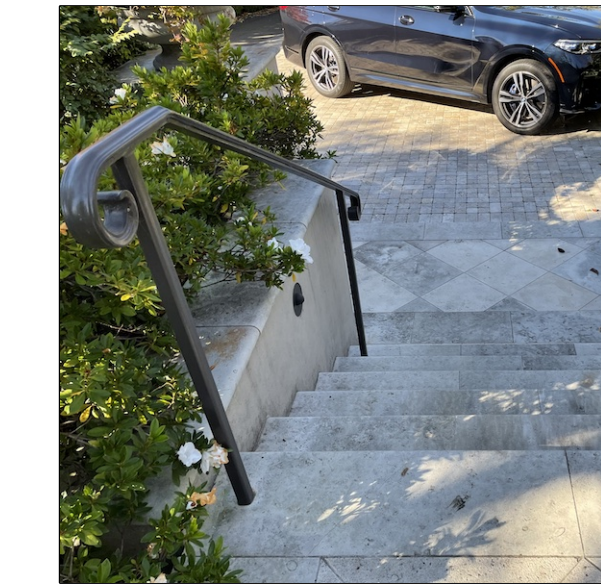


DRIVEWAY WALL: MATCH EXISTING



GARDEN WALL: MATCH EXISTING

STAIRS AND HANRAILS



STAIRS: STONE
HANDRAIL: METAL

15 SKYLAND

15 SKYLAND WAY
ROSS, CA

APN: 072-201-16

FOR DESIGN REVIEW
NOT FOR CONSTRUCTION

01/03/24	PLNG SUB	
12/22/23	PLNG SUB	
11/06/23	PLNG SUB	

DATE	ISSUES & REVISIONS	NO.

PROJECT# 2022.32 DRAWN BY: TK/
KO

ORIGINAL DRAWING SIZE: 24" X 36"

IMAGES

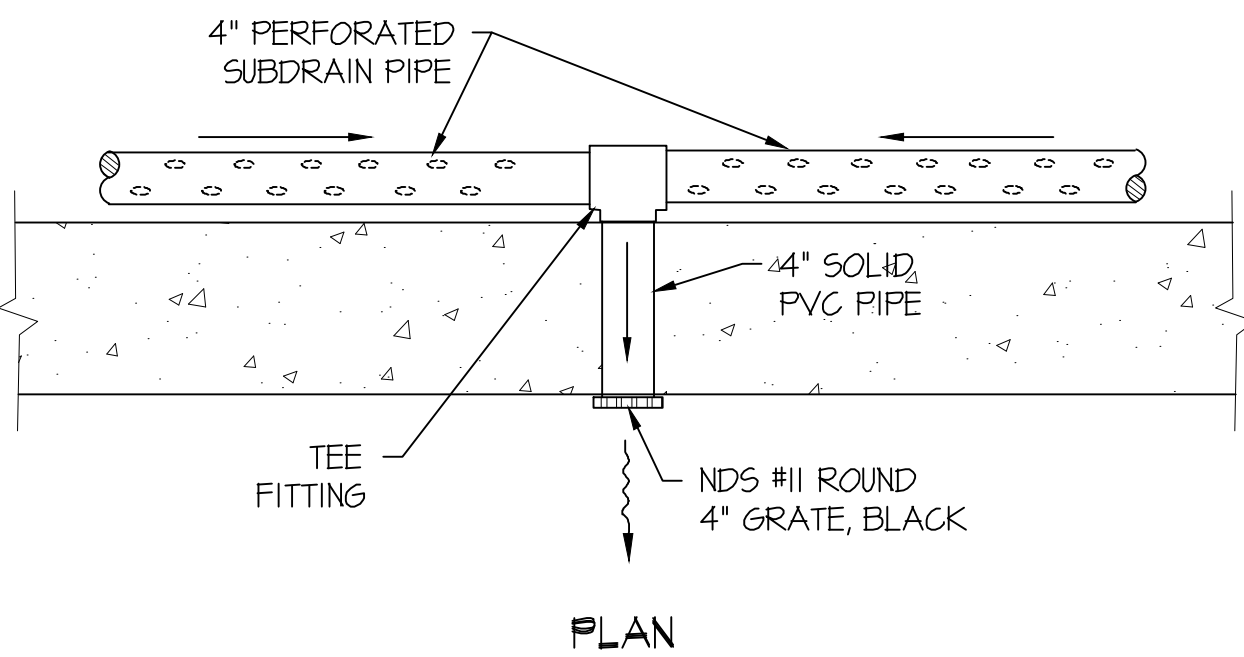
SHEET #

L-5

All written material appearing herein constitutes original unpublished work of the landscape architect and may not be duplicated, used or disclosed without the written consent of the landscape architect.

EXISTING UTILITY LOCATION

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTACT THE ENGINEER TO REVIEW UTILITY LOCATION AND ANY CONFLICTS WITH THE PROPOSED WORK PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSUMED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.

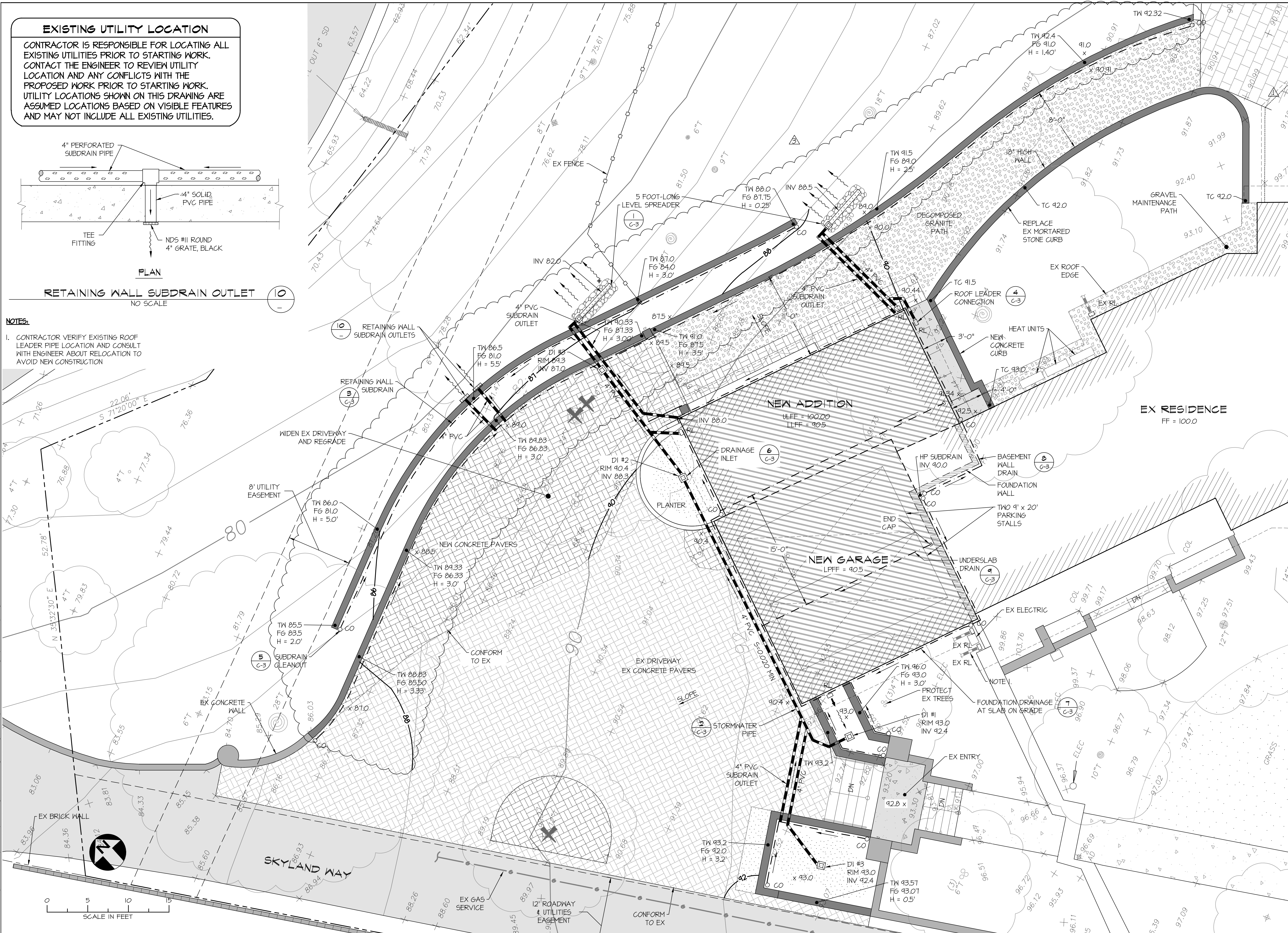


RETAINING WALL SUBDRAIN OUTLET
NO SCALE

NOTES:

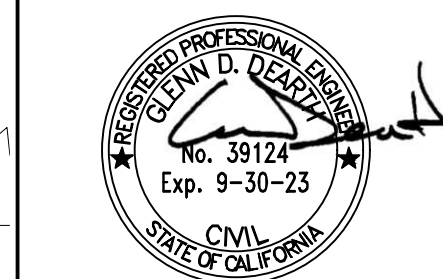
- CONTRACTOR VERIFY EXISTING ROOF LEADER PIPE LOCATION AND CONSULT WITH ENGINEER ABOUT RELOCATION TO AVOID NEW CONSTRUCTION

C:\CAD\Stally Res (714.001) Grading and Drainage\Design\Stally Addition Drainage (Permit R3).dwg, 11/16/2023 1:03:41 PM



LTD Engineering, Inc.
1050 Northgate Drive, Suite 450
San Rafael, CA 94903
Tel. 415.446.7402 Cell 415.717.8719
gdearth@LTDengineering.com

OWNER
HORATIO LLC
15 SKYLAND WAY
ROSS, CA



DATE: 10/6/2022

ISSUED FOR PERMIT

© LTD Engineering, Inc. 2023
These documents and the ideas and designs incorporated herein are an instrument of professional service and the property of LTD Engineering, Inc. Reuse of these documents for any other project, in whole or in part, is not allowed without written authorization from LTD Engineering, Inc.

PRIVATE RESIDENCE REMODEL
APN 072-201-16
15 SKYLAND WAY
ROSS, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1	10/6/22	ISSUED FOR BUILDING PERMIT
2	4/3/23	REVISED LANDSCAPE
3	1/28/23	REVISED BASEMENT WALL
4	1/14/23	REVISED RETAINING WALL

DESIGNED BY: G. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:
SCALE: 1" = 5'-0"
DATE: 10/6/2022 PROJECT NO. T14.001

GRADING AND DRAINAGE PLAN

REVISION	3
SHEET NO.	2 OF 6
DRAWING	C-2

ATTACHMENT 2



Town of Ross

Planning Department

Post Office Box 320, Ross, CA 94957

Telephone (415) 453-1453, Ext. 121 Fax (415) 453-1950

www.townofross.org

PLANNING APPLICATION FORM

Type of Application (check all that apply):

- | | |
|--|--|
| <input type="checkbox"/> Advisory Design Review | <input type="checkbox"/> Minor Exception |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Non-conformity Permit |
| <input type="checkbox"/> Basement and Attics Exception | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Variance |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zoning Ordinance |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Amendment Other: |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Other: |

To Be Completed by Applicant:

Assessor's Parcel No(s): _____

Project Address: _____

Property Owner: _____

Owner Mailing Address (PO Box in Ross): _____

City/State/Zip: _____ Owner's Phone: _____

Owner's Email: _____

Applicant: _____

Applicant Mailing Address: _____

City/State/Zip: _____ Applicant's Phone: _____

Applicant's Email: kokada@pedersenassociates.com, ppedersen@pedersenassociates.com

Primary point of Contact Email: Owner Buyer Agent Architect

To Be Completed by Town Staff:

Date Received: _____	Planning 5300 _____
Application No.: _____	Tree Permit 5305 _____
Zoning: _____	Fee Program Administration 5315-05 _____
	Record Management 5316-05 _____
	Record Retention 5112-05 _____
	Technology Surcharge 5313-05 _____
Date paid: _____	TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: _____

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment:

Existing Parcel Size(s)	<i>Parcel 1:</i>	<i>Parcel 2:</i>
Adjusted Parcel Size(s)	<i>Parcel 1:</i>	<i>Parcel 2:</i>

PARCEL ONE	PARCEL 2
Owners Signature:	Owner's Signature:
Date:	Date:
Owner's Name (Please Print):	Owner's Name (Please Print):
Assessor's Parcel Number:	Assessor's Parcel Number:

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18.

The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment:

CERTIFICATION AND SIGNATURES

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: _____ Date: _____

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge

Owner's Signature: _____ Date: _____

SIGNATURE:

I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

_____, California on _____

Signature of Property Owner(s) and Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm _____
Project Landscape Architect _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm _____
Project Engineer _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm _____
Project Arborist _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
Mailing Address _____
City _____ State _____ ZIP _____
Phone _____ Fax _____
Email _____
Town of Ross Business License No. _____ Expiration Date _____

15 Skyland Way: Design Review Application Project Description
November 6, 2023

Written Project Description – may be attached.

A complete description of the proposed project, including all requested variances, is required. The description may be reviewed by those who have not had the benefit of meeting with the applicant, therefore, be thorough in the description. For design review applications, please provide a summary of how the project relates to the design review criteria in the Town zoning ordinance (RMC §18.41.100).

The project consists of retaining walls for an expanded parking court, side yard walls, gates & fence, stone stairs and landing, paved paths to the garage and crawl space, realigned gravel paths to existing pool area. Plantings at all disturbed area and exterior landscape light fixtures within the project area will be also renovated.

Please see L-0: Coversheet for Project Data.

The summary of how this project relates to the design review criteria in the Town zoning ordinance is as follows:

1. The existing front yard is composed of drifts of ornamental and native shrubs and seasonal grasses. Much of the planting shall remain with some additional native and ornamental shrubs added. There are no significant site features in the front yard area where the improvements will occur with the exception of a Coast Live Oak, that will remain, and a Blackwood Acacia (*Acacia melanoxylon*) that will be removed to accommodate the side yard path and gate.
2. All disturbed areas will be planted and mulched in a similar fashion as the other homes at the end of Skyland.
3. The project provides guest parking in front of the garage and allows enough space to maintain the existing driveway turn around.
4. The new site retaining walls have been broken into two separate offset walls with a generous planting between. This allows the driveway edge to not require a guard rail. The walls will receive a stucco finish to match the residence.
5. The auto court expansion and new planting will screen the guest parking area from Skyland Way.
6. The side yard screen wall and gate utilize the same materials as the garage (stucco and painted wood) to create a cohesive design palette, in keeping with the existing walled garden and entry treatments.
7. The planting design utilizes low water, fire and deer resistant material. All disturbed areas will be planted and mulched.

8. LID stormwater management for the project will be improved with through-curb drainage, allowing paved areas to flow into landscape areas, slowing runoff and allowing stormwater infiltration. The existing and new driveway pavers are sand-set and previous.
9. All new site lighting is shielded or aimed down to illuminate paved surfaces.

Mandatory Findings for Variance Applications

In order for a variance to be granted, the following mandatory findings must be made:

Special Circumstances

That because of special circumstances applicable to the property, including size, shape, topography, location, and surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. **Describe the special circumstances that prevent conformance to pertinent zoning regulations.**

Substantial Property Rights

That the variance is necessary for the preservation and enjoyment of substantial property rights. **Describe why the project is needed to enjoy substantial property rights.**

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**



Pedersen Associates
Landscape Architecture

Peder Jens Pedersen, ASLA
24 H Street
San Rafael, CA 94901

415 456 2070

415 456 2086 F

CA Reg. No. 2300

HI Reg. No. 7273

www.pedersenassociates.com

December 27, 2023

Alex Lopez-Vega, Assistant Planner
Town of Ross
P.O.Box 320/ 31 Sir Francis Drake Blvd
Ross, CA 94957

Subject: Response to Planning and Dept. of Public Works Comments for 15 Skyland Way, APN 072-201-16

Dear Alex,

Please see my response to the comments from the Department of Public Works and Planning dated December 18, 2023.

Comments from Planning and Public Works

There is an increase in impervious surface in two locations. Please see L-2.

Drainage Management Area #1 includes 101 square feet of new stone stairs and landings, and Drainage Management Area #2 includes 50 square feet of new concrete walk and curb. Stormwater from each area will be directed to permeable surface and the diagram and descriptions are on the plan.

Additionally with this submittal, we included C-2 Grading and Drainage Plan and Detail 6 on L-4 for Concrete Paver (previous) detail per your comments, and Detail 3 and 4 on L-4 are updated accordingly.

Thank you so much, and please contact us with any questions or if you need anything else.

Sincerely,

Kai Okada
Pedersen Associates
(415) 456-2070
kokada@pedersenassociates.com



December 18, 2023

Horatio LLC
Attn: Pedersen Associates
24 H Street
San Rafael, CA 94102

Re: 15 Skyland Way, APN 072-201-16
Application DRP23-0023

Dear:

Thank you for submitting your planning application for Design Review to renovate existing landscaping over 2,500 square feet, including hardscape, retaining walls, vegetation modifications and other site modifications at 15 Skyland Way, APN 072-201-16. Staff has reviewed your submittal and determined your application to be incomplete for processing. Please provide the following information to staff to ensure a complete application:

Comments from Planning:

- If there is an increase in impervious surfaces, please provide a remedy.

Comments Received from Public Works:

- Net impervious area is being increased. Applicant must provide a preliminary drainage or stormwater management plan indicating how the project will generate no net runoff using on site bioretention areas, or else revise plan to decrease impervious areas to at or below historic value. Per Town of Ross Policy, any net-increase in impervious area must be routed through an equivalent sized BASMAA-type bioretention basin. The area of bioretention = 8% x net-increase. The drainage area that is routed into the bioretention must include, at a minimum, an area of impervious surface equal to the net increase but no more than 2X the net increase.
- For new pavers to be considered as pervious material, provide a detail showing paver section with an adequate open-graded subbase reservoir to provide detention storage. Type 12" of 1-1/2 to 3" rock.

Please submit all of the above information in order for staff to continue reviewing this application. Do not hesitate to contact me if you have any questions regarding this letter at (415) 453-1453 ext. 116 or at alopez-vega@townofross.org

Sincerely,

A handwritten signature in black ink, appearing to read 'Alex Lopez-Vega', written over a faint dotted line.

Alex Lopez-Vega
Assistant Planner



**Pedersen Associates
Landscape Architecture**

24 H Street
San Rafael, CA 94901

415 456 2070
415 456 2086 F
CA Reg. No. 2300
HI Reg. No. 7273
www.pedersenassociates.com

To: Neighbors of 15 Skyland Way, Ross
From: Pete Pedersen, Landscape Architect, CLA #2300
Date: January 3, 2024
RE: Proposed Front and Side Yard Renovation

Dear Neighbor,

We are writing on behalf of Horatio LLC, who are in the process of applying for approval from the Town of Ross for a front and side yard landscape renovation. Although you will also likely receive a notice from the Town, the Town encourages applicants to reach out to neighbors to describe pending projects and to invite input.

The project includes an expanded auto court with retaining walls (to support approved additions to the garage), reconfigured entry walk, stairs & low garden terrace walls, a new side gate and access path around the garage expansion, resurfacing of the driveway with water permeable pavers, and new plantings at the front yard and entry garden.

The main motivators for this project are;

- a) To provide an auto court with ample guest parking and maneuvering space to eliminate having to back down the private driveway to the cul-de-sac.
- b) To provide a gracious entry experience to the front gate and garden entrance
- c) To allow service access to the back yard for garden maintenance vehicles
- d) To update and refresh the landscaping to complement the neighborhood.

You will receive a notice from the Town of Ross, which will include a link to the staff report with attached plans at least 72 hours prior to the meeting. If you'd like to review the plans prior to that, please contact the Ross's Assistant Planner, Alex Lopez-Vega at alopez-vega@townofross.org to get a copy of the plans.

Please feel free to contact us with any questions.

Sincerely,

Pete Pedersen, Pedersen Associates
CLA#2300



Pedersen Associates
Landscape Architecture

24 H Street
San Rafael CA 94901



Neighbor of 15 Skyland Way
P.O. Box 1704
ROSS, CA 94957-1704



Pedersen Associates
Landscape Architecture

24 H Street
San Rafael CA 94901



Neighbor of 15 Skyland Way
P.O. Box 672
ROSS, CA 94957-0672



Pedersen Associates
Landscape Architecture

24 H Street
San Rafael CA 94901



Neighbor of 15 Skyland Way
P.O. Box 1362
ROSS CA 94957-1362



Pedersen Associates
Landscape Architecture

24 H Street
San Rafael CA 94901



Neighbor of 15 Skyland Way
P.O. Box 517
ROSS, CA 94957-0517



Pedersen Associates
Landscape Architecture

24 H Street
San Rafael CA 94901



Neighbor of 15 Skyland Way
P.O. Box 81
ROSS, CA 94957-0081



Pedersen Associates
Landscape Architecture

24 H Street
San Rafael CA 94901



Neighbor of 15 Skyland Way
P.O. Box 213
ROSS, CA 94957-0213



Pedersen Associates
Landscape Architecture

24 H Street
San Rafael CA 94901



Neighbor of 15 Skyland Way
P.O. Box 546
ROSS, CA 94957-0546



Pedersen Associates
Landscape Architecture

24 H Street
San Rafael CA 94901



Neighbor of 15 Skyland Way
P.O. Box 496
ROSS, CA 94957-496