



**Staff Report**

**Date:** June 4, 2020  
**To:** Advisory Design Review Group  
**From:** Matthew Weintraub, Planner  
**Subject:** 1 Upper Road

**ROLE OF THE ADVISORY DESIGN REVIEW GROUP:**  
*The role of the Advisory Design Review (ADR) Group is to provide non-binding advisory comments and/or recommendations to the Town Council with respect to the design, neighborhood compatibility and context, in addition of materials and colors consistent with the Town Design Review criteria and standards pursuant to Section 18.41.100 of the Ross Municipal Code. The ADR Group does not provide interpretations or recommendations regarding policy related matters such as Variances, Exceptions to Attics and Basements, Use Permits, etc. or consistency findings associated with discretionary land use permits listed in the zoning ordinance. The role of the Town Council is to consider the design related comments and recommendations of the ADR Group and take final action to approve or deny discretionary land use permits after consideration of the ADR Group comments and determination as to whether the requisite findings associated with the discretionary land use permits can be achieved.*

**Recommendation**

That the Advisory Design Review (ADR) Group receive a presentation from the applicant, consider any public comments, and provide a recommendation regarding the merits of the project as it relates to the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100 of the Ross Municipal Code (RMC).

**Project Information**

Street Address: 1 Upper Road  
Assessor Parcel Number: 073-122-21  
Property Owner: Sabuy, LLC  
Applicant: Andrew Mann Architecture  
Zoning: R-1:B-A (Single Family Residence/Special Building Site, 1-Acre Minimum Lot Size)  
General Plan Designation: VL (Very Low Density – 0.1-1 Unit/Acre)  
Flood Hazard Area: X (Minimal risk area outside the 1% and 0.2%-annual-chance floodplains)

The applicant is requesting approval of a Design Review Amendment to revise a previously approved project to add a new box dormer to the east elevation of the main house, and to modify the trash enclosure and wall along Upper Road. A Design Review was required for the previously approved project.

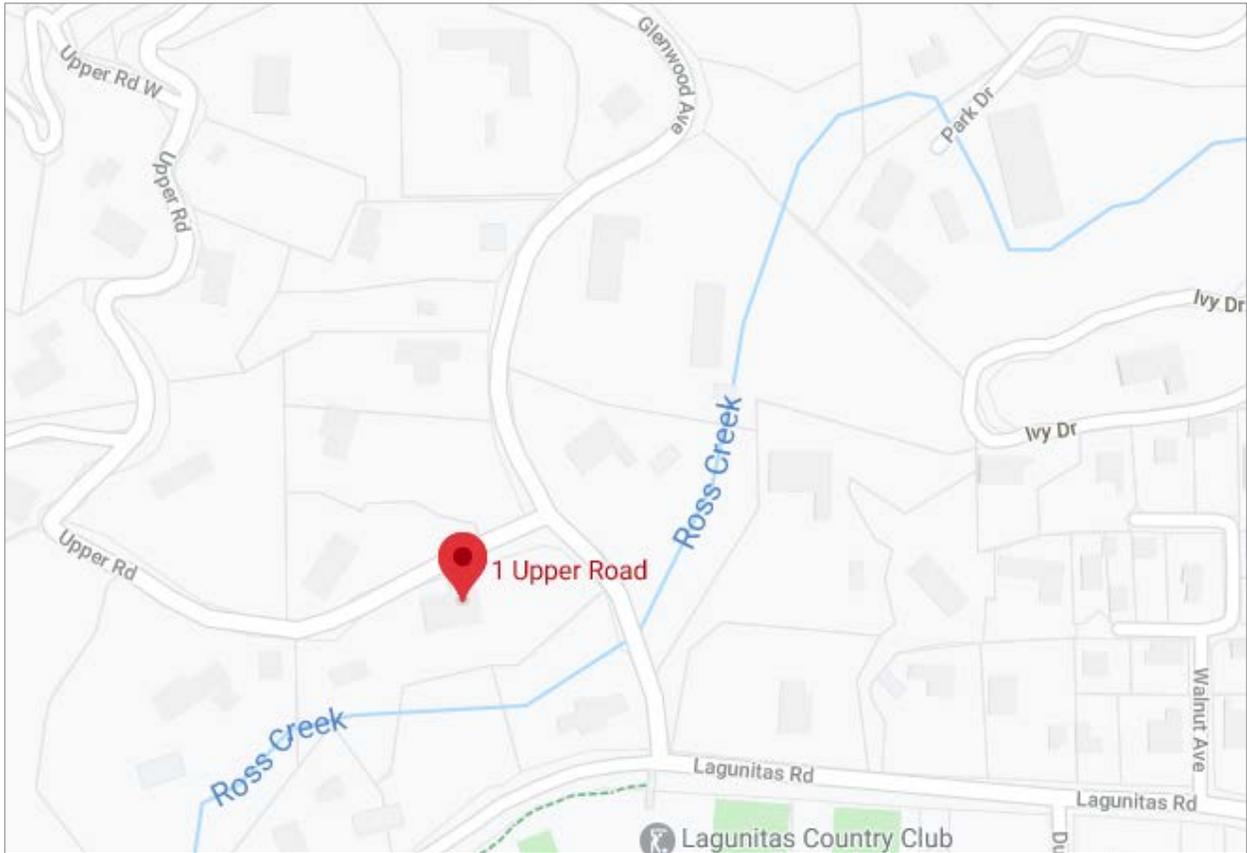


Figure 1. Location map. (Courtesy of Google Maps.)

**Project Summary Data**

The Project Summary Data for the previously approved project is included in the February 14, 2019 Town Council Staff Report which is included as **Attachment 2**. The proposed amendment would increase the previously approved floor area and lot coverage by approximately 23 square feet, which would not exceed the previously existing nonconforming floor area on the lot or the maximum allowed lot coverage for the lot. All other Project Summary Data for the previously approved project would remain unchanged.

**Project Description**

The Project Summary Data for the previously approved project is included in the February 14, 2019 Town Council Staff Report which is included as **Attachment 2**.

The proposed amendment would add a new rectangular (or box) dormer, measuring 5’-6½” wide, 4’-2” deep, and approximately 10 feet tall, at the second story of the east-facing elevation of the main residence. The new dormer would add approximately 23 square feet of floor and lot coverage to the property. The proposed new dormer features burnished bronze standing seam metal siding, doors, and guardrail to match the previously approved exterior materials and colors for the residence.

The proposed amendment would also reduce the width of the previously approved trash enclosure screening wall located at the property line along Upper Road from 10’-4” to 7’-4”; add an 8’-6”-deep utility enclosure behind the trash enclosure, screened by a planter and walls and covered by a decorative grill; and realign the previously approved 6’-tall stone retaining wall running along Upper Road between the entry walkway and the driveway, so that it is set back behind the property line rather than running on (or over) the property line. The proposed materials and colors for site elements are natural stone and concrete to match other site walls.

The Project Description is included as **Attachment 4**. (The Project Description also includes a new below-grade utility enclosure at the guest house, which was determined not to require ADR Group review because of its minimal visibility from the public right-of-way and from neighboring properties). The Project Plans are included as **Attachment 6**.

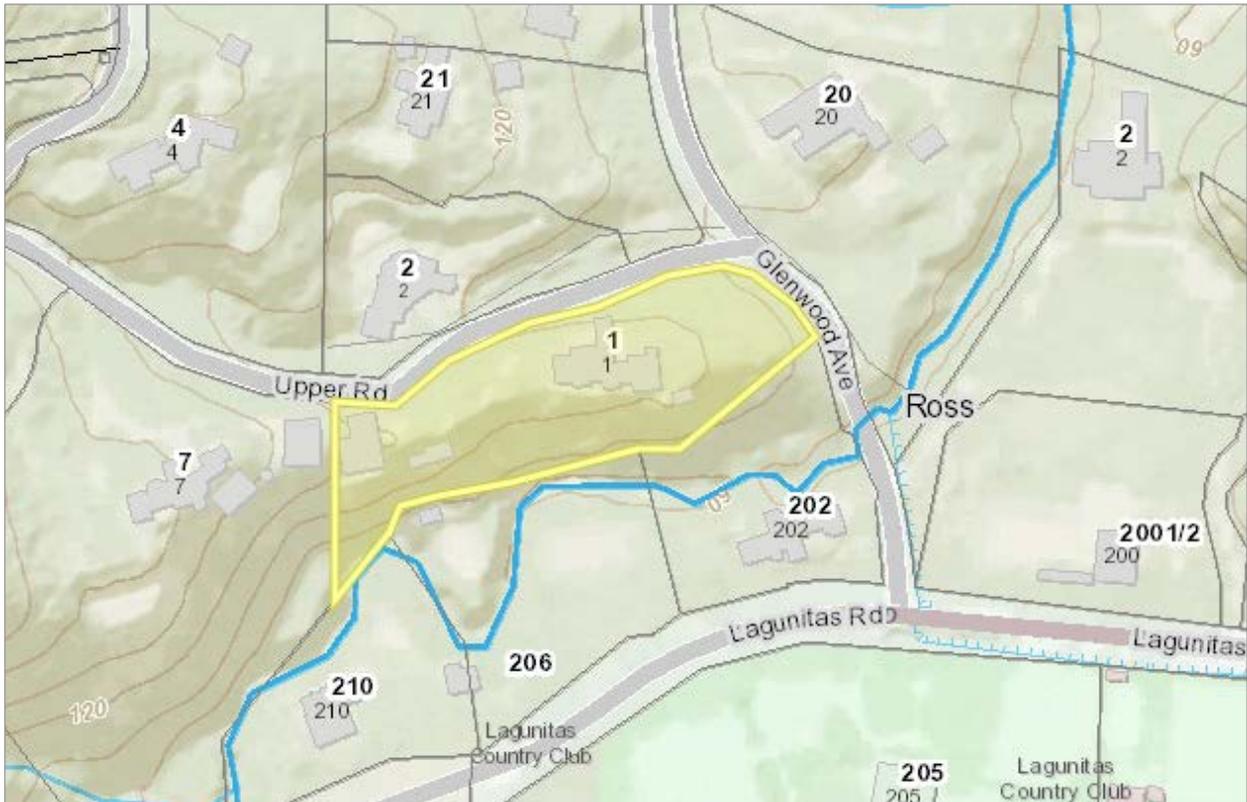


Figure 2. Vicinity Map. (Courtesy of MarinMap.)

### Discussion

Staff is requesting the ADR Group to provide a recommendation as to the consistency of the project with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100 of the Ross Municipal Code (see **Attachment 1**). The Town of Ross Design Guidelines provide a basis for making consistent decisions about the appropriateness of new development and improvements to existing properties that are subject to the Town’s Design Review process. According to the Design Contexts map of the Design Guidelines (Figure 2.1 on page 10), the subject property is in the “Entry Element Street Relationship/Significant Slope” context, which is defined on page 9 as follows:

Steep topography is the dominant driver of character in these areas. Typically, a house is substantially separated from the public right of way. The view to it is often obscured by a steep slope and extensive vegetation. A driveway is typically the only connection between a house and the street. At the road edge, landscaping, fences and walks profoundly impact character.

Few properties in these areas are visible from the street. Many are uphill, with a driveway leading to the home. Others are downhill, with portions of buildings visible from the street. The relationship of these buildings with the street is minimal. Even though this context is currently characterized by homes located far back into the site and typically not visible from the street, the preferred location for homes is closer to the street so they have a stronger street presence. New fire safety standards also will affect future character.

These areas exist on streets such as Upper Road, Chestnut Avenue and Crest Road.

The Town of Ross Design Guidelines provide specific guidelines that can be used in evaluating projects, which along with the guidelines statements themselves and associated imagery may be used in determining appropriateness. Staff finds that the following design guidelines are applicable to the proposed project:

- 4.23 Design a masonry wall to permit some views into a property from the street.
- 4.25 Design a wall to complement the architectural character of buildings on the site.
- 4.26 Use materials that provide a sense of scale and convey visual interest. Stone is preferred.
- 5.11 Create visual interest on a wall facing the street with windows, entrances, materials and other architectural elements.

**Attachments**

1. Design Review Criteria and Standards (Ross Municipal Code Section 18.41.100)
2. February 14, 2019 Town Council Staff Report
3. February 14, 2019 Town Council Meeting Minutes
4. Project Description
5. Neighborhood Outreach Description
6. Project Plans

# ATTACHMENT 1

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### **18.41.100 Design Review Criteria and Standards.**

This section provides guidelines for development. Compliance is not mandatory but is strongly recommended. The Town Council may deny an application where there are substantial inconsistencies with one or more guidelines in a manner that is counter to any purpose of this ordinance.

#### **(a) Preservation of Natural Areas and Existing Site Conditions.**

(1) The existing landscape should be preserved in its natural state by keeping the removal of trees, vegetation, rocks and soil to a minimum. Development should minimize the amount of native vegetation clearing, grading, cutting and filling and maximize the retention and preservation of natural elevations, ridgelines and natural features, including lands too steep for development, geologically unstable areas, wooded canyons, areas containing significant native flora and fauna, rock outcroppings, view sites, watersheds and watercourses, considering zones of defensible space appropriate to prevent the spread of fire.

(2) Sites should be kept in harmony with the general appearance of neighboring landscape. All disturbed areas should be finished to a natural-appearing configuration and planted or seeded to prevent erosion. (3) Lot coverage and building footprints should be minimized where feasible, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Environmentally sensitive areas, such as areas along streams, forested areas, and steep slopes shall be a priority for preservation and open space.

(b) Relationship Between Structure and Site. There should be a balanced and harmonious relationship among structures on the site, between structures and the site itself, and between structures on the site and on neighboring properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land forms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site.

#### **(c) Minimizing Bulk and Mass.**

(1) New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.

(2) To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single-plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.

(d) Materials and Colors.

(1) Buildings should use materials and colors that minimize visual impacts, blend with the existing land forms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.

(2) Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.

(3) Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.

(e) Drives, Parking and Circulation.

(1) Good access, circulation and off-street parking should be provided consistent with the natural features of the site. Walkways, driveways, curb cuts and off-street parking should allow smooth traffic flow and provide for safe ingress and egress to a site.

(2) Access ways and parking areas should be in scale with the design of buildings and structures on the site. They should be sited to minimize physical impacts on adjacent properties related to noise, light and emissions and be visually compatible with development on the site and on neighboring properties. Off-street parking should be screened from view. The area devoted to driveways, parking pads and parking facilities should be minimized through careful site planning.

(3) Incorporate natural drainage ways and vegetated channels, rather than the standard concrete curb and gutter configuration to decrease flow velocity and allow for stormwater infiltration, percolation and absorption.

(f) Exterior Lighting. Exterior lighting should not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting should be shielded and directed downward, with the location of lights coordinated with the approved landscape plan. Lamps should be low wattage and should be incandescent.

(g) Fences and Screening. Fences and walls should be designed and located to be architecturally compatible with the design of the building. They should be aesthetically attractive and not create a "walled-in" feeling or a harsh, solid expanse when viewed from adjacent vantage points. Front yard fences and walls should be set back sufficient distance from the property line to allow for installation of a landscape buffer to soften the visual appearance. Transparent front yard fences and gates over four feet tall may be permitted if the design and landscaping is compatible and consistent with the design, height and character of fences and landscaping in the neighborhood. Front yard vehicular gates should be transparent to let light and lines of sight through the gate.

Solid walls and fences over four feet in height are generally discouraged on property lines adjacent to a right-of-way but may be permitted for properties adjacent to Poplar Avenue and Sir Francis Drake Boulevard based on the quality of the design, materials, and landscaping proposed. Driveway gates should be automatic to encourage use of onsite parking. Pedestrian gates are encouraged for safety, egress, and to encourage multi-modal transportation and pedestrian-friendly neighborhood character.

(h) Views. Views of the hills and ridgelines from public streets and parks should be preserved where possible through appropriate siting of improvements and through selection of an appropriate building design including height, architectural style, roof pitch and number of stories.

(i) Natural Environment.

(1) The high-quality and fragile natural environment should be preserved and maintained through protecting scenic resources (ridgelines, hillsides, trees and tree groves), vegetation and wildlife habitat, creeks, drainageways threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

(2) Development in upland areas shall maintain a setback from creeks or drainageways.

The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards.

(3) Development in low-lying areas shall maintain a setback from creeks or drainageways consistent with the existing development pattern and intensity in the area and on the site, the riparian value along the site, geologic stability, and the development alternatives available on the site. The setback should be maximized to protect the natural resource value of the riparian area and to protect residents from geologic and flood hazards.

(4) The filling and development of land areas within the one-hundred-year flood plain is discouraged. Modification of natural channels of creeks is discouraged. Any modification shall retain and protect creekside vegetation in its natural state as much as possible. Reseeding or replanting with native plants of the habitat and removal of broom and other aggressive exotic plants should occur as soon as possible if vegetation removal or soil disturbance occurs.

(5) Safe and adequate drainage capacity should be provided for all watercourses.

(j) Landscaping.

(1) Attractive, fire-resistant, native species are preferred. Landscaping should be integrated into the architectural scheme to accent and enhance the appearance of the development. Trees on the site, along public or private streets and within twenty feet of common property lines, should be protected and preserved in site planning.

Replacement trees should be provided for trees removed or affected by development. Native trees should be replaced with the same or similar species. Landscaping should include planting of additional street trees as necessary.

(2) Landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.

(3) Landscape plans should include appropriate plantings to repair, reseed and/or replant disturbed areas to prevent erosion.

(4) Landscape plans should create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire.

(5) Wherever possible, residential development should be designed to preserve, protect and restore native site vegetation and habitat. In addition, where possible and appropriate, invasive vegetation should be removed.

(k) Health and Safety. Project design should minimize the potential for loss of life, injury or damage to property due to natural and other hazards. New construction must, at a minimum, adhere to the fire safety standards in the Building and Fire Code and use measures such as fire-preventive site design, landscaping and building materials, and fire-suppression techniques and resources. Development on hillside areas should adhere to the wildland urban interface building standards in Chapter 7A of the California Building Code. New development in areas of geologic hazard must not be endangered by nor contribute to hazardous conditions on the site or on adjoining properties.

(l) Visual Focus.

(1) Where visibility exists from roadways and public vantage points, the primary residence should be the most prominent structure on a site. Accessory structures, including but not limited to garages, pool cabanas, accessory dwellings, parking pads, pools and tennis courts, should be sited to minimize their observed presence on the site, taking into consideration runoff impacts from driveways and impervious surfaces. Front yards and street side yards on corner lots should remain free of structures unless they can be sited where they will not visually detract from the public view of the residence.

(2) Accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure. Accessory structures should generally be small in floor area. The number of accessory structures should be minimized to avoid a feeling of overbuilding a site. Both the number and size of accessory structures may be regulated in order to minimize the overbuilding of existing lots and attain compliance with these criteria.

(m) Privacy. Building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties. Where nonconformities are proposed to be retained, the proposed structures and landscaping should not impair the primary views or privacy of adjacent properties to a greater extent than the impairment created by the existing nonconforming structures.

(n) Consideration of Existing Nonconforming Situations. Proposed work should be evaluated in relationship to existing nonconforming situations, and where determined to be feasible and reasonable, consideration should be given to eliminating nonconforming situations.

(o) Relationship of Project to Entire Site.

(1) Development review should be a broad, overall site review, rather than with a narrow focus oriented only at the portion of the project specifically triggering design review. All information on site development submitted in support of an application constitutes the approved design review project and, once approved, may not be changed by current or future property owners without town approval.

(2) Proposed work should be viewed in relationship to existing on-site conditions. Pre-existing site conditions should be brought into further compliance with the purpose and design criteria of this chapter as a condition of project approval whenever reasonable and feasible.

(p) Relationship to Development Standards in Zoning District. The town council may impose more restrictive development standards than the standards contained in the zoning district in which the project is located in order to meet these criteria. Where two or more contiguous parcels are merged into one legal parcel, the Town Council may consider the total floor area of the existing conforming and legal nonconforming structures and may reduce the permitted floor area to meet the purposes of these standards.

(q) Project Reducing Housing Stock. Projects reducing the number of housing units in the town, whether involving the demolition of a single unit with no replacement unit or the demolition of multiple units with fewer replacement units, are discouraged; nonetheless, such projects may be approved if the council makes findings that the project is consistent with the neighborhood and town character and that the project is consistent with the Ross general plan.

(r) Maximum Floor Area. Regardless of a residentially zoned parcel's lot area, a guideline maximum of ten thousand square feet of total floor area is recommended. Development above guideline floor area levels may be permitted if the town council finds that such development intensity is appropriate and consistent with this section, the Ross municipal Code and the Ross general plan. Factors which would support such a finding include, but are not limited to: excellence of design, site planning which

minimizes environmental impacts and compatibility with the character of the surrounding area.

(s) **Setbacks.** All development shall maintain a setback from creeks, waterways and drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards. A minimum fifty-foot setback from the top of bank is recommended for all new buildings. At least twenty-five feet from the top of bank should be provided for all improvements, when feasible. The area along the top of bank of a creek or waterway should be maintained in a natural state or restored to a natural condition, when feasible.

(t) **Low Impact Development for Stormwater Management.** Development plans should strive to replicate natural, predevelopment hydrology. To the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and other relevant factors. An applicant may be required to provide a full justification and demonstrate why the use of Low Impact Development (LID) design approaches is not possible before proposing to use conventional structural stormwater management measures which channel stormwater away from the development site.

(1) **Maximize Permeability and Reduce Impervious Surfaces.** Use permeable materials for driveways, parking areas, patios and paths. Reduce building footprints by using more than one floor level. Pre-existing impervious surfaces should be reduced. The width and length of streets, turnaround areas, and driveways should be limited as much as possible, while conforming with traffic and safety concerns and requirements. Common driveways are encouraged. Projects should include appropriate subsurface conditions and plan for future maintenance to maintain the infiltration performance.

(2) **Disperse Runoff On Site.** Use drainage as a design element and design the landscaping to function as part of the stormwater management system. Discharge runoff from downspouts to landscaped areas. Include vegetative and landscaping controls, such as vegetated depressions, bioretention areas, or rain gardens, to decrease the velocity of runoff and allow for stormwater infiltration on-site. Avoid connecting impervious areas directly to the storm drain system.

(3) **Include Small-Scale Stormwater Controls and Storage Facilities.** As appropriate based on the scale of the development, projects should incorporate small-scale controls to store stormwater runoff for reuse or slow release, including vegetated swales, rooftop gardens or "green roofs", catch-basins retro-fitted with below-grade storage culverts, rain barrels, cisterns and dry wells. Such facilities may be necessary to meet minimum stormwater peak flow management standards, such as the no net increase standard. Facilities should be designed to minimize mosquito production. (Ord. 653 (part), 2014; Ord. 641 (part), 2013; Ord. 619 (part), 2010; Ord. 611 (part), 2008; Ord. 575 (part), 2003; Ord. 555, 2000; Ord. 543-1 (part), 1998; Ord. 514 §1 (part), 1993).

## ATTACHMENT 2

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**Staff Report**

**Date:** February 14, 2019

**To:** Mayor Kuhl and Council Members

**From:** Heidi Scoble, Planning Manager

**Subject:** 1 Upper Road Residence, Application No. 2018-030 DM-DR-NCP-HLP-ME-TRP

**Recommendation**

Town Council consideration of possible adoption of Resolution No. 2092 approving a Demolition Permit, Design Review, a Nonconformity Permit, a Hillside Lot Permit, a Minor Exception, and a Tree Removal Permit to allow for the substantial demolition and remodel of the existing single-family residence, new construction of a swimming pool, conversion of an existing accessory structure into a pool house, remodel and addition to an existing guest house, widening of the existing driveway, and installation of new retaining walls, and driveway and pedestrian gates at 1 Upper Road.

**Project Information**

**Owner:** SABUY, LLC

**Applicant:** Andrew Mann Architecture

**Location:** 1 Upper Road

**A.P. Number:** 073-122-21

**Zoning:** R-1:B-A (Single Family Residence, 1 Acre min. lot size)

**General Plan:** Low Density (.1-1 Unit/Acre)

**Flood Zone:** Zone X (Outside 1-percent annual chance floodplain)

**Project Application No.:** 2018-030 DM-DR-NCP-HLP-ME-TRP

**Project Summary Data**

Lot Area	75,922 square feet	
Existing Floor Area/Ratio*	11,697. sq. ft.	15.4% (15% FAR Permitted)
Proposed Floor Area/Ratio**	12,616 sq. ft.	16.6%
Existing Lot Coverage*	8,974 sq. ft.	11.8% (15% FAR Permitted)
Proposed Lot Coverage*	10,428 sq. ft.	13.7%
Existing Impervious Surfaces	20,806 sq. ft.	27.4%
Proposed Impervious Surfaces	19,497 sq. ft.	25.6%

\*Cumulative calculation based on Project Data shown on Sheet 0-G1.0 of the project plans.

*\*\*The applicant is requesting an Exceptions to Basement and Attics permit to allow for 1,219 square feet of basement area to be converted into habitable floor area. The conversion of the basement would exceed the FAR for the project site as permissible subject to the findings associated with Section 18.46.030(d) of the Ross Municipal Code.*

**Project Description**

The applicant is requesting a Demolition Permit, Design Review, a Nonconformity Permit, a Hillside Lot Permit, a Minor Exception, and a Tree Removal Permit for the substantial demolition and remodel of the existing single-family residence, new construction of a swimming pool, conversion of an existing accessory structure into a pool house, remodel and addition to an existing guest house, widening of the existing driveway, and installation of new retaining walls, and driveway and pedestrian gates. New landscaping and hardscape are proposed as well.

Specifically, the project would consist of the following seven elements:

*Main Residence:* The scope of this element of the project would include the substantial demolition and remodel of an existing 7,083 square foot single-family residence. The original residence was constructed circa 1896. Many subsequent remodels and additions have since modified the original form of the house as described in a Historic Resource Evaluation Report (HRER) prepared by Left Coast Architectural History dated May 16, 2018 (see Attachment 4). The proposed architecture would consist of a substantial remodel and rotation of the original residence, demolish all non-original additions, and construct a new addition that would be attached to the original 1896 residence. The new addition would also be pulled away from the southern edge of the shoulder of the existing residence and constructed closer towards Upper Road. The building is designed to conform to the R-1:B-A setbacks. The project would also result in a 265 square foot floor area reduction for a 6,818 square foot single-family residence. Lastly, the project would reduce the existing building height from 36.25 feet tall to 31.25 feet tall.

The proposed architecture for the project would respect the original forms, shapes, and profiles of the 1896 residence, while providing more contemporary design, materials, and circulation.

The project proposed with the following materials and colors:

Roof: Standing Seam Metal Roof  
Siding: Vertical Board Cedar Siding  
Windows: Steel windows  
Foundation Wall: Stone

*Remodel Guest House:* The scope of this element of the project would include the remodel and floor area addition of the existing guest house. The existing guest house consists of a two-story detached accessory structure. The first floor consists of approximately 572 square feet of habitable floor area that is currently used and previously approved as a guest house. The basement level, which is not accessible from the first floor, consists of approximately 1,220 square feet of storage area (known as the "Train Room" when John Grey owned the property) that was never counted as floor area. The applicant is proposing to remodel the guest house to create a two-story guest house within an interior stairway connecting the two floors and resulting

in 1,860 square feet. An Exception to Basement and Attics is proposed to allow the floor area increase to remodel and enlarge the existing Guest House since there are no Town records to show that the basement was counted as preexisting floor area.

The proposed exterior changes would consist of a new gray standing seam metal roof, new steel doors and windows, vertical tongue and groove cedar siding to match the main residence, and black metal railings.

*Remodel Play House and Convert to a Pool House:* The scope of this element of the project would include a substantial remodel, including design and materials. The proposed architectural style and materials would be consistent with the proposed Main Residence and Guest House in terms of providing a more contemporary form and use of a new gray standing seam metal roof, new steel doors and windows, vertical tongue and groove cedar siding, and black metal railings. The remodel of the Play House and conversion to the Pool House would result in a 104 square foot floor area reduction.

*Construct New Swimming Pool:* The scope of this element of the project would entail the new construction of an approximate 84 feet long by 20 feet wide swimming pool. The location of the swimming pool is centered within the footprint of the developed area of the residence and would be located slightly to the south of the South Elevation of the Main Residence and north of the proposed Pool House.

*Upper Road Driveway Access:* The scope of this element of the project would consist of reducing the elevation grade by approximately 18-inches in order to reduce the driveway slope for ease of vehicular circulation, allow for a reduction of elevation difference between the motor court and floor elevations, and minimize the height of retaining walls. The existing driveway width and motor court turnaround proposed to be enlarged to accommodate fire safe vehicular access. A portion of circular motor court driveway will be cantilevered as shown on Sheets 0-C2.0, 0-L01.5, and 0-L01.6. Other improvements driveway related improvements would entail the removal of seven trees as shown in red on Sheet 0-L0.7, in addition to the construction of new stone retaining walls, a brass rod entry gate, and pedestrian gates accessed from Glenwood Avenue and Upper Road.

Please note, Sheet 0-L01.6 shows the height of the retaining wall as 6 feet, 6 inches tall, which exceeds the maximum height limit of 6-feet tall for a retaining wall or a fence. The applicant has redesigned the retaining walls to not exceed 6-feet tall as shown in the diagram below. A condition of approval is recommended accordingly.



*New Landscaping and Hardscape:* The project proposes an extensive landscape plan, which includes the removal of existing trees and vegetation, in addition to the new planting of native trees and shrubs (see Sheet O-L4.8). The landscaping will also include the re-grading, contouring, and terracing of the northeast portion of the site to create a level outdoor garden space. The proposed project would also include an extensive hardscape plan, including stone retaining walls, limestone paving, cobble stone paving (see Sheet O-L0.10 for a listing of the proposed impervious and permeable surfaces). The modification to the existing hardscape (decks/patios/hard paths) would result in a decrease of approximately 1,308 square feet of impervious surfaces.

*Tree Removal Permit:* The applicant is also seeking a Tree Removal Permit to allow for the removal of 150 trees of varying size, species, and health. Of those trees, 113 trees are required to be removed for Wildland Urban Interface (WUI) defensible space purposes, 27 trees are proposed to be removed to accommodate the project, and 10 trees are proposed to be removed because they are considered to be either hazardous or in poor health. An Arborist Report has been prepared by Jerry Kalfos dated January 1, 2019 and a corresponding tree removal plan is detailed on Sheets O-L0.7 and O-L0.8 of the project plans.

The proposed improvements require the following permits.

- **Demolition Permit required pursuant to Ross Municipal Code (RMC) Section 18.50.060** to allow the demolition of the more than 25% of the residence pursuant to Section 18.50.020 of the Ross Municipal Code.
- **Design Review is required pursuant to Ross Municipal Code (RMC) Section 18.41.020** to allow the demolition of the more than 25% of the residence, grading of more than 50 cubic yards of cut or fill, and the construction of a 6-foot tall fences and gates along the frontage of Upper Road and Glenwood Avenue.
- **A NonConformity Permit is required pursuant to Ross Municipal Code (RMC) Section 18.52.030** to allow for the structural alterations to a nonconforming single-family residence. The existing residence has an existing height of 36-feet, 3-inches.
- **A Hillside Lot Permit is required pursuant to RMC Chapter 18.39** because a portion of the project site is located in a Hazard Zone 4, thus triggering the review of the project.
- **Exception to Basements and Attics is required pursuant to Ross Municipal Code (RMC) Section 18.46.020** to allow an exception for improvement of an attic or basement in an existing residential guest house structure created prior to the effective date of this chapter in any single-family residence district.
- **A Tree Removal Permit is required pursuant to Ross Municipal Code (RMC) Section 12-24.080** to allow for the removal of 150 trees of varying size, species, and health.

## **Background**

The project site is comprised of a 75,922 square foot irregularly shaped lot on the south side of Upper Road that is situated on the linear crest of a small hill that runs east-west so that it is

elevated slightly above Upper Road and more distinctly above the adjacent properties to the south. The property is characterized by mature trees and dense woodland vegetation, with more cultivated garden vegetation on the hillside to the south of the main residence. The average slope of the parcel is approximately 29% and Ross Creek, a blue line tributary, runs through the bottom portion of the parcel. Access to the site is from a driveway that extends southwest from Upper Road and forms an oval drive to the west of the main residence. The project site has been developed with a Marin Residence, Carriage House, Guest House, Playhouse and a variety of patios and terraces that provide outdoor living spaces and access throughout the property.

The original project parcel was modified by a Parcel Map known as the Lands of Gray that was recorded at Marin County in January 1993. The Lands of Gray Parcel Map created a reoriented parcel totaling 89,325 square feet known as 1 Upper Road and a parcel totaling 42,931 square feet known as 206 Lagunitas Road. On November 10, 2016, the Town Council approved a Lot Line Adjustment whereby approximately 13,403 square feet of land from 1 Upper Road (also the former location of the existing swimming pool for 1 Upper Road) was transferred to the contiguous legal parcel of record known as 206 Lagunitas Road.

### **Advisory Design Group Review**

The Advisory Design Review (ADR) Group previously reviewed a Conceptual Design Review on November 28, 2017, May 22, 2018, and July 24, 2018. The purpose of the Conceptual Design Review was to elicit comments from the ADR Group as to how the project's design would be consistent with the Town's Design review criteria and standards per Section 18.41.100 of the Ross Municipal Code. The ADR Group members provided a mix-response where some members were in support of the July 24, 2018 proposal, whereas other members were concerned with the demolition of the iconic First Bay Traditional architectural residence designed by the architecture firm known as Howard and White. Other comments provided by the ADR Group related to the visual massing of the North Elevation as viewed from Upper Road, in addition to the amount, style, size, and placement of the windows. Lastly, there was discussion regarding the minimizing the number of windows to reduce the potential of a "lantern effect" that could cause night-time glare and light annoyance.

On January 23, 2019, the ADR Group conducted a formal design review of the project. The ADR Group generally supported and recommends support of the project provided the North Elevation is proposed as presented at the January 23, 2019 ADR Group meeting and that the project incorporates project features to reduce glare, light pollution and light trespass. The project for Town Council consideration does include the aforementioned architectural modifications to the North Elevation and conditions of approval are recommended to address reducing glare, light pollution, and light trespass.

### **Key Issues**

#### ***Demolition Permit***

The Town of Ross is a unique and special place located in an extraordinary setting with significant natural resources, high quality buildings, and a strong community identity. Residents value its heritage traditional character, small-town charm, tree-lined streets, wooded hillsides, and meandering creeks. The design character of Ross is comprised of many factors that contribute to

the physical character of Ross, such as natural features, neighborhood design elements, site landscaping, building orientation, and architectural design. Accordingly, many of the Town's tenets seek to promote maintaining traditional character, while encouraging creativity and contemporary design where appropriate. A key element of Ross's character is its heritage architecture. Although many older residences in Town may have lost its heritage architectural character to render a property ineligible for the State or National Register of historic places due to past modifications to the structures, those existing structures are still considered to be important because the residences reflect the early history and development of the Town.

The applicant is requesting a Demolition Permit to allow for the substantial demolition of the existing residence. As stated in Section 18.50.010 of the Ross Municipal Code, the purpose of the Demolition Permit is as follows:

- (a) The "small town" quality and feel of the town are heavily shaped by the attributes, integrity, historical character and design scale of existing residential and commercial neighborhoods. The preservation, enhancement and continued use of structures with historic, architectural, cultural and/or aesthetic importance is essential in retaining this community character.
- (b) The town council, after considering citizen and professional input, as necessary, should decide whether a structure may be removed from the neighborhood fabric of Ross. When demolition of a structure is appropriate because of a lack of historic, architectural, cultural and aesthetic value, the replacement structure must be sensitive to existing neighborhood character and qualities. Demolition activity itself should be designed to minimize disturbances and hazard to the neighborhood and community.

In order for the Town Council to approve a Demolition Permit, four requisite findings are required to be achieved per Section 18.50.060 of the Ross Municipal Code. The findings address diminishing the character and quality of the neighborhood through the loss of a structure, the protection of the character, design, and scale of the neighborhood, adverse impacts relative to public health, safety, and welfare, and consistency with the Ross General Plan and Zoning Regulations.

Devoid of a Historic Preservation Program, local historic register, or any policies or definitions regarding what a structure of historic, architectural, cultural and/or aesthetic importance is and means to the Town of Ross, staff is challenged with how to apply the purpose and findings relative to a Demolition Permit. Although the General Plan does provide some guidance, with the below policies regarding Goal 4, Protecting Historic Places and Resources, the guidance is limited historic buildings and compatibility with historic buildings and there are not specific context policy statements or thresholds to determine historic, architectural, cultural and/or aesthetic importance and significance:

4.1 Historic Heritage: Maintain the historic feel of Ross by preserving and maintaining historic buildings, resources, and areas with recognized historic or aesthetic value that serve as significant reminders of the past.

4.2 Design Compatibility with Historic Resources: Require new construction to harmonize with existing historic buildings and resources, and ensure a compatibility of landscaping with Ross' historic character.

Since the Town does not have any policies regarding aesthetic value that serve as significant reminders of the past, staff must then rely on best practices and technical studies prepared by qualified architectural historians regarding historical significance and compatibility with the neighborhoods. As such, staff requested a HRER be prepared to identify if the project was historically significant at a local, state, or national level. Since the Town doesn't have any local policies, the HRER was prepared to address historical significance at a state or local level. In order to qualify for listing in the California Register, a property must possess significance (e.g., Associated with a notable event, associated with a notable person or persons, associated with notable architecture or design, and associated with archeological investigations) and have historic integrity. The HRER, which was presented to the ADR and is attached, concludes that the existing residence is not eligible for listing on the State or National Historic Register because the residence has lost its integrity related to design, workmanship, and feeling (See Attachment 4). A Town Compatibility Memo was also prepared by Left Coast Architectural History dated August 30, 2018 to demonstrate that the proposed project would be consistent and compatible with the character of the Town of Ross.

Although the residence may not be considered historically significant relative to the California Environmental Quality Act, a question for Town Council consideration is whether the existing residence have any architectural, cultural and/or aesthetic importance that would be essential in retaining this community character and would the project continue to retain any architectural, cultural and/or aesthetic importance that would be essential in retaining this community character?

### ***Design Review***

The overall purpose of Design Review is to provide excellence in design consistent with the same quality of the existing development, to preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, to discourage the development of individual buildings which dominate the townscape or attract attention through color, mass or inappropriate architectural expression, and to upgrade the appearance, quality and condition of existing improvements in conjunction with new development or remodeling of a site. Accordingly, pursuant to Section 18.41.100 of the Ross Municipal Code, a series of Design Review criteria and standards have been developed to guide development.

In reviewing the project, the following design review criteria and standards are most relevant to the project:

1. **Preservation of Natural Areas and Existing Site Conditions.** Specifically, sites should be kept in harmony with the general appearance of neighboring landscape.
2. **Minimizing Bulk and Mass.** New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the

neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves.

3. **Visual Focus.** Accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure.
4. **Relationship of Project to Entire Site.** Development review should be a broad, overall site review, rather than with a narrow focus oriented only at the portion of the project specifically triggering design review. All information on site development submitted in support of an application constitutes the approved design review project and, once approved, may not be changed by current or future property owners without town approval. Proposed work should be viewed in relationship to existing on-site conditions. Pre-existing site conditions should be brought into further compliance with the purpose and design criteria of this chapter as a condition of project approval whenever reasonable and feasible.
5. **Privacy.** Building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties. Where nonconformities are proposed to be retained, the proposed structures and landscaping should not impair the primary views or privacy of adjacent properties to a greater extent than the impairment created by the existing nonconforming structures.

In order for a Design Review lands use approval to be granted, the Town Council is required to make the following findings in approving any project:

- (1) The project is consistent with the purpose of this chapter as outlined in Section 18.41.010.
- (2) The project is in substantial compliance with the design criteria of Section 18.41.100.
- (3) The project is consistent with the Ross general plan and zoning ordinance.

Upon review of the project, staff suggests the proposed project is designed to be consistent with the Town's Design review criteria and standards of Section 18.41.100 of the Ross Municipal Code and generally supports the size, location, and materials of the project. Specifically, staff suggests the following elements of the project meet the overall purpose and findings of Design Review:

1. Substantial remodel and addition to the Main Residence
2. Remodel of Guest House
3. Upper Road Driveway Access with a condition of approval to require all stone retaining walls, any fences, driveway gates, and pedestrian gates be no taller than 6-feet tall as measured from the natural grade.
4. Landscaping and hardscape associated with the entire project. Many trees to be removed are required to create defensible space appropriate to prevent the spread of fire. An abundance of existing vegetation is proposed to remain, as well as native plantings.

5. Interior lighting conditions to reducing glare, light pollution, and light trespass.

However, staff is requesting direction from the Town Council whether the project would meet the purpose of Design Review as it relates to the preservation of the character of the Town relative to the substantial demolition and remodel of the existing residence. As stated in the Demolition Permit section of the staff report, staff is challenged with opining on the architectural, aesthetic, or cultural value to the Town because there are no policies or guidelines in place to address this issue, however, the Town Council is able to make a determination on this issue relative to Design Review finding number 1 which speaks to the project meeting the purpose of Design Review. If the Town Council finds the project would not meet finding 1, then the project cannot be approved and a Resolution of denial would need to be prepared. If the Town Council finds the project would meet the purpose of Design Review, then all requisite Design Review findings can be achieved.

***Nonconformity Permit***

Pursuant to Section 18.54.030(c), nonconforming structures in a residential zoning district may be enlarged, extended, reconstructed or structurally altered with a nonconformity permit approved under Section 18.52.040, except that a floor area ratio variance shall be required to increase the square feet of nonconforming floor area. The existing residence is considered to be legal nonconforming relative to floor area and building height. Upon review of the project, staff suggests the many of the Nonconformity Permit findings can be achieved as follows:

1. The single-family residence was constructed in 1896 prior to the Town's zoning regulations and therefore considered to be legal nonconforming. Additionally, all ancillary detached accessory structures were constructed prior to the 1967 floor area development standards, thus the existing floor area is considered legal nonconforming as well.
2. The project would reduce the nonconforming building height from 36.25 feet to 31.25 feet.
3. The project is designed to be consistent with the Town's Design review criteria and standards per Section 18.41.100 of the Ross Municipal Code.
4. With the exception of the request for an Exceptions to Attics and Basement floor area increase, the project would result in a reduction of approximately 265 square feet associated with the main residence and approximately 104 square feet associated with the converted Play House/Pool House. Additionally, a condition of approval prohibits crawl spaces and basement areas to be improved for habitable space purposes.
5. The project would be required to comply with the Town's Municipal Code and California Building Code to ensure the public health, safety, and welfare to properties or improvements in the vicinity.
6. The project is designed to comply with the Town's Flood Damage Prevention regulations of Chapter 15.36.
7. The project is designed to provide one enclosed on-site parking space where an enclosed parking space does not currently exist.

The only outstanding items relative to the Nonconformity Permit is whether the Demolition Permit findings can be achieved. If the Demolition Permit findings can be achieved, then all of the Nonconformity Permit findings can be achieved.

### ***Exceptions to Basement and Attics***

Pursuant to Section 18.46.030(a), Review and Approval Authority, of the Ross Municipal Code, the Town Council is able to approve, conditionally approve, or deny the applicant's request to allow for the floor area to exceed the maximum permitted provided that the floor area is located within either an attic or basement space and that the requisite findings can be achieved.

Staff suggests the Exceptions to Basement and Attics findings can be achieved as the project would meet the intent and purpose of the regulations as follows:

1. The existing guest house was constructed prior to the Town's 1967 Floor Area regulations.
2. The scope of the project would not result in the increase of exterior dimensions of the buildings.
3. The scope of the project would only result in minor exterior modifications to the structure to allow for windows in order to meet building code requirements.
4. The project site can provide a minimum of four on-site parking spaces.
5. The project would be required to comply with the Town's Building Code and Fire Code requirements prior to issuance of any building permit and prior to final sign off of the completed building permit.
6. The project would not result in any on-site grading.

### ***Tree Removal Permit***

As shown on Sheets 0-L0.7 and 0-L0.8 of the project plans, the applicant is reluctantly proposing the removal of 150 trees. As required by the Hillside Lot Permit, 113 trees are required to be removed to comply with state mandated WUI regulations and defensible space criteria. The trees required to be removed for defensible space purposes will also remove many screening trees along Glenwood Avenue and Upper Road. The public will notice a significant change to the exiting conditions of the site. In working with the Ross Valley Fire Department, the applicant has prepared a Vegetation Management Plan as shown on Sheets 0-L4.3, 0-L4.4, 0-L4.5 of the project plans which identifies the trees to be removed. The Ross Valley Fire Department has also reviewed and supports the project as proposed. Although the project would remove 150 existing trees, the project landscape plans would provide WUI compliant replacement landscaping comprised of trees, shrubs, and groundcover to replace the trees required to be removed.

### ***Public Comment***

Public Notices were mailed to property owners within 500 feet of the project site. Attachment 12 includes all public correspondence received by the Town as of the writing of the staff report. Although not no formal correspondence has been received, staff has also corresponded with Mr. Wais who lived on Upper Road. Mr. Wais's concerns are related to construction congestion, timeline, public road maintenance and worksite management associated with the project.

In response to Mr. Wais's concerns, staff is recommending condition number 10h that requires the submittal of a detailed construction and traffic management plan for review and approval of the building official, in consultation with the town planner and police chief prior to issuance of a building permit. The plan is required to include tree protection, management of worker vehicle

parking, location and screening of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan is also required to identify the location of on-street parking and deliveries associated with construction workers. The condition would prohibit deliveries within the Glenwood Avenue, Lagunitas Road, and Upper Road rights-of-way. The use of Upper Road beyond the project site would be prohibited. Additionally, the use of Glenwood Avenue for any related construction activities is prohibited. Lastly, construction related vehicles, including construction workers, is prohibited on Lagunitas Road, Upper Road, and Glenwood Avenue.

#### **Fiscal, resource and timeline impacts**

If approved, the project would be subject to one-time fees for a building permit and associated impact fees, which are based the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impacts associated with the project.

#### **Alternative actions**

1. Continue the project for modifications; or
2. Make findings to deny the application.

#### **Environmental review**

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15301 – *additions to existing structures*, because it involves a remodel to an existing single-family residence and detached accessory structures. The project is also categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15303(e), Class 3 – New construction or Conversion of Small Structures, because the project consists of the new construction of a swimming pool and ancillary landscape and hardscape features. No exception set forth in Section 15301.2 of the CEQA Guidelines applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources; (b), which relates to cumulative impacts; Subsection (c), which relates to unusual circumstances; or Subsection (f), which relates to historical resources.

#### **Attachments**

1. Resolution 2092
2. Project Plans
3. Project Description
4. Historic Architectural Evaluation prepared by Left Coast Architectural History dated May 16, 2018
5. Town Compatibility Memo prepared by Left Coast Architectural History dated August 30, 2018
6. Geotechnical Report prepared by Salem Howes dated February 14, 2018
7. Arborist Report prepared by Jerry Kalfos dated January 1, 2019
8. Stormwater Control Plan by Adobe Associates, Inc. dated October 8, 2018

9. Advisory Design Review Group Minutes- January 23, 2019 (Draft), July 24, 2018 (Final) and May 22, 2018 (Final)
10. Project History
11. Neighborhood Outreach Memorandum prepared by Andrew Mann Architecture dated January 14, 2019
12. Neighbor-Public Correspondence

# ATTACHMENT 3

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**15. 1 Upper Road, Demolition Permit Design Review, Nonconformity Permit, Hillside Lot Permit, Minor Exception, and Tree Removal Permit No. 2018-030, and Town Council consideration of adoption of Resolution No. 2092.**

SABUY, LLC, Owner, and Andrew Mann Architecture, Applicant, 1 Upper Road, A.P. No. 073-122-21, R-1:B-A (Single Family Residence, 1 Acre min. lot size), Low Density (.1-1 Unit/Acre), Zone X (Outside 1-percent annual chance floodplain). The applicant is requesting a Demolition Permit, Design Review, a Nonconformity Permit, a Hillside Lot Permit, a Minor Exception, and a Tree Removal Permit for the substantial demolition and remodel of the existing single-family residence, new construction of a swimming pool, conversion of an existing accessory structure into a pool house, remodel and addition to an existing guest house, widening of the existing driveway, and installation of new retaining walls, and driveway and pedestrian gates. New landscaping and hardscape are proposed as well. The following provides general property information as well as a project summary.

**Project Summary**

Lot Area	75,922 square feet	
Existing Floor Area/Ratio*	11,697. sq. ft.	15.4% (15% FAR Permitted)
Proposed Floor Area/Ratio**	12,616 sq. ft.	16.6%
Existing Lot Coverage*	8,974 sq. ft.	11.8% (15% FAR Permitted)
Proposed Lot Coverage*	10,428 sq. ft.	13.7%
Existing Impervious Surfaces	20,806 sq. ft.	27.4%
Proposed Impervious Surfaces	19,497 sq. ft.	25.6%

*\*Cumulative calculation based on Project Data shown on Sheet O-G1.0 of the project plans.*

*\*\*The applicant is requesting an Exceptions to Basement and Attics permit to allow for 1,219 square feet of basement area to be converted into habitable floor area. The conversion of the basement would exceed the FAR for the project site as permissible subject to the findings associated with Section 18.46.030(d) of the Ross Municipal Code.*

Planning Director Heidi Scoble summarized the staff report and recommended that the Council consider possible adoption of Resolution No. 2092 approving a Demolition Permit, Design Review, a Nonconformity Permit, a Hillside Lot Permit, a Minor Exception, and a Tree Removal Permit to allow for the substantial demolition and remodel of the existing single-family residence, new construction of a swimming pool, conversion of an existing accessory structure into a pool house, remodel and addition to an existing guest house, widening of the existing driveway, and installation of new retaining walls, and driveway and pedestrian gates at 1 Upper Road.

Mayor Pro Tempore Brekhus wanted to better understand the term “*partial*” demolition. Planning Director Scoble stated the term partial is in the code and that the project would entail picking up the original house, reorienting it, demolishing non-original additions, and adding new additions.

Mayor Pro Tempore Brekhus desired an explanation in regard to grading that is being done on this site and where earth is being moved, which is always challenging. Planning Director Scoble deferred to the applicant, as that would be covered during their presentation.

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Chris Larson, applicant, believed they struck the right balance in regard to legacy and charm while also designing what fits in today and more of that dream house and making energy efficient and fire resistant. He thanked the Advisory Design Review (ADR) Group, Ross Historical Society along with the Fire Chief.

Andrew Mann, architect, stated that the proposed design reflects the forms, shapes and profiles of the house designed by George Howard while updating for contemporary living. The core of the original house would be retained. The new additions would be moved off the ridge of the hill and stepped down on Upper Road. The proposed additions include steeply sloped gable roof forms, use of original colors and materials, natural wood siding, natural stonewalls and dark windows. The design team worked diligently with staff and the ADR Group and believes they have a better building because of it. The proposed project meets the findings for design review, nonconforming permit, hillside lot permit, exception for basements and attics and tree removal. The key issue is whether the project meets findings for demolition permit, and they felt it meets the required findings. The existing structures have been so significantly altered over time that they no longer maintain the integrity to qualify for historic preservation and they must rely on this information. The project team has demonstrated that the proposed design respects the cultural significance of the house and site and contributes to the small town feel, which is so important to the Town of Ross. The iconic steeply sloped front gable dormers and covered entranceways are maintained, and therefore, preserving the connection to past history, they respectfully request Town Council approval. In regard to the conditions of approval, the design team intends to work with staff to carefully address privacy and nighttime elimination.

Todd Cole, landscape architect, explained that they wanted to retain the wooded character and preserve the south facing hillside garden that is quite beautiful. They widened the driveway gate and provided a fire truck hammerhead within the property. At the existing house there is an L-shape staircase provides fire access and the path on the right-hand side of the drawing reaches down to the fire hydrant, so they have three access points for the fire department. They tried to preserve the existing topography and just step the landscape improvements with the contours. At the S-shape curves there were tall walls, and with staff's input, they changed and significantly reduced the height of those two walls. The issue of tree removal, there are a lot of trees, and of the trees to be removed 58 are redwood trees smaller than 8-inches in diameter. They will remove the bay trees on site that are notably in bad shape along with seven oak trees. As seen on the site plan, all the lime green represents the canopy of trees being saved. The yellow or deep gold are proposed new trees. The dark green areas are areas of existing garden that will be kept. When the house is framed, and windows are evident, they will work with the fire department in regard to screening. They are balancing their cut and fill, which is their goal throughout.

Mayor Pro Tempore Brekhus asked staff with respect to tree removal, if the applicant would be paying any in-lieu fees associated with the tree removal. Planning Director Scoble responded that with the extensive landscape plan associated with this project and staff recommends that the applicant only pay for the tree removal permit because the trees to be removed would be offset by the proposed landscaping to be installed. Staff added that this site is heavily wooded. Also, any tree under 8-inches in diameter does not count toward a tree permit. Furthermore, staff suggested due to the defensible space regulations, property owners should not be penalized for the removal of trees to address Wildland Urban Interface (WUI) regulations since they are

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essentially considered to be hazards trees. Again, due to their substantial proposed landscape plan, staff's recommendation is that an in-lieu payment would not be required since it is almost a one-to-one offset.

Mayor Kuhl opened the public hearing on this item.

Robert Dickenson, Glenwood resident, fully supported the project. The plans are glorious and wished the applicant nothing but success. The neighbors developed job site rules, which the Town has a copy, before 36 Glenwood project took place and they were extraordinarily helpful to make sure the process minimized the impact on neighbors. He requested that the job rules be considered. It is really important to the surrounding neighbors that there is compliance.

There being no further public testimony on this item, the Mayor closed the public portion and brought the matter back to the Council for discussion and action.

Council Member McMillan appreciated all the effort the applicant has gone through with the design review and commended the architect on the blended design. It is beautiful and they have done an extraordinary job. She fully supported the project.

Mayor Pro Tempore Brekhus believed this project went in the right direction. She appreciated the nod to the past. She expressed concern for screening the property. The Council reserves the right to require additional landscaping, subject to the fire department's regulations, and wanted to see a specific condition of approval requiring additional trees to further shield the property.

Mayor Kuhl spoke to Fire Chief Jason Webber and he will work with the applicants to do what needs to be done in terms of trees, screening and fire protection along with WUI compliance. He was a little concerned when he visited the site with the number of angles and things sticking up, and that is really not a concern, just a result of the type of architecture that existed. He appreciated the way this project has demonstrated how the design review process can work when applicants are willing to work with design review. He further noted his support.

Council Member McMillan believed this project is a good blending of honoring the historic past and being realistic of the needs of the owners along with being respectful to the environment.

Mayor Kuhl asked for a motion.

**Mayor Pro Tempore Brekhus moved and Council Member McMillan seconded, to approve 1 Upper Road, Demolition Permit Design Review, Nonconformity Permit, Hillside Lot Permit, Minor Exception, and Tree Removal Permit No. 2018-030, and approve Resolution No. 2092; and adding an additional condition of approval requiring potentially more screening with the addition of trees within three years to shield the property, as determined by staff in consultation with Ross Valley Fire Department. Motion carried unanimously. (Robbins/Russell absent)**

**End of Public Hearings on Planning Projects.**

**16. No Action Items:**

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# ATTACHMENT 4

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**Attachment 1**  
**Project Description**

**Re:** 1 Upper Road

**Date:** 4/17/20

**Remarks:** The proposed revisions for the site and the main residence at 1 Upper Road respect the forms, shapes and concepts of the design approved by Town Council on 02/14/2019. Given the importance of public views of the property to the Town of Ross, the approach to the proposed modifications focuses on maintaining the appearance and quality of the approved design while meeting the adjusted needs of the client that have arisen during further development of the project, while working within the inherent constraints due to the configuration of the site. The proposed alterations address these required modifications while minimizing visual impact to the public, and are in keeping with the language and site planning strategies of the approved design.

Below is a summary of the proposed design revision to the Main House:

- The proposed revision to the main house is the addition of a new East-facing dormer to provide increased light and air to Child's Bedroom #2.
  - The design for this dormer is in keeping with the language of the approved design.
  - The vocabulary of architectural elements within the approved design maintain traditional forms facing public streets, in particular Upper Road and Glenwood Avenue, and includes more modern forms facing the private, interior of the site. The new proposed dormer is located on this private side of the house and includes forms and materials consistent with those approved volumes.
  - The visual impact of the dormer from public access points is minimal. Since the dormer is set back from the south facing gable end, it will most likely be hardly noticeable anywhere from Lagunitas. The dormer will be minimally visible at only a few points along Glenwood Ave, but set far back on the property from those vantage points, therefore diminishing this new element's prominence.

- The proposed design fits within a consistent vocabulary of materials and previously approved.
- The glazing is set back within the dormer projection to minimize glare and light pollution to the south. The French doors will be equipped with privacy and blackout shades to reduce light pollution to all views at night. Window sizes and mullion patterning are consistent with other doors and windows throughout the project.
- The proposed dormer conforms to code-mandated height limits.

Below is a summary of two proposed design revisions to the site:

- The proposed revision along Upper Road includes resizing the approved trash enclosure.
  - The length of the stone wall along Upper Road is proposed to be reduced by 3’.
  - The trash enclosure is to be extended back toward the house to provide for a non-occupied utility enclosure which will house the main switchboard at a size required by PG&E. The enclosure will screen the equipment from both public and private view while meeting the utility’s access requirements.
  - The equipment enclosure will be covered by a decorative metal grate. The grate is designed to encourage plant coverage over time, further screening it from view and integrating the structure into the hillside.
  - The decorative metal grate will not provide coverage of the space from the elements, and therefore the enclosure cannot be classified as ‘finished’ space.
  - The bunker’s interior height is required by PG&E to be 8’-6”.
  - The enclosed area does not meet the definition for Building as defined in Town of Ross Municipal Code Section 18.12.060 because it is purely a utility space and not intended for human or animal habitation. It is not a basement per Section 18.12.050. Also, the depth of the area covered by the opened grating is less than 10’-0”. Therefore, it does not count toward floor area as defined per Town of Ross Municipal Code Section 18.12 Definitions 18.12.130 Floor area ratio.
  - The material of this switchboard enclosure, trash enclosure, and privacy wall will match the approved stone used on similar walls throughout the site.

- This proposed revision will have minimal visual impact to the streetscape along Upper Road and is only being proposed as a means to solve an infrastructure problem in the least intrusive way possible.
- The proposed revision to the site plan adjacent to the Guest House is to provide for a below grade, concealed location for backup utility equipment including solar power controls, Tesla batteries and a gas-powered backup generator.
  - Given the site constraints of setbacks required for a Hillside lot, this location was selected as the least intrusive solution.
  - The sunken utility enclosure will be open to the sky, halfway covered by a decorative, walkable metal grate. This surface serves as a pedestrian bridge for access to the existing garden and storage area at the garage. The walkway grate will be covered by vine plants over time to integrate it into the landscape.
  - The enclosed area does not meet the definition for Building as defined in Town of Ross Municipal Code Section 18.12.060 because it is purely a utility space and not intended for human or animal habitation. It is not a basement per Section 18.12.050. The space is not accessible by permanent stairs. The depth of the area covered by the opened grating is 4'-10", less than 10'-0" maximum for an open porch to be excluded from floor area ratio calculations. Therefore, the space does not count toward floor area as defined per Town of Ross Municipal Code Section 18.12 Definitions 18.12.130 Floor area ratio.
  - The below-grade configuration eliminates the bulk and mass of an equipment pad above grade anywhere on the site, and will not be visible from any public vantage points, nor from the uphill neighbors on Upper Road.
  - This proposed revision will have minimal visual impact to the site and is only being proposed as a means to achieve emergency backup power goals in the least intrusive way possible.

Below is a description of how the proposed design revisions meet the major components of the Town of Ross Design Review Criteria and Standards:

**Preservation of Natural Areas and Existing Site Conditions**

The proposed alteration to the house has no additional impact to the existing site conditions.

In broad terms, the proposed revisions to the site & landscape at 1 Upper Road remain within the parameters defined by the approved design and do not create any major changes to the relationship between the buildings and the natural environment. Grading for the new construction will occur within areas already altered by ongoing approved work on the property and will protect major existing trees.

### **Relationship between Structure and Site**

The proposed dormer on the house has no additional impact on the relationship between structure and site.

The proposed utility and infrastructure locations are designed to minimize their relationship to other site elements by concealing the structures into the grade.

### **Minimizing Bulk and Mass**

The proposed dormer addition adds variation and relief to a prominent approved roof volume. From Glenwood Avenue and Glenwood Road, previously approved traditional roof forms remain prominent in the foreground and the contrasting modern form of the dormer is secondary.

The proposed site alterations are set below grade to reduce the bulk of the volumes needed to accommodate the site utilities and eliminate the visibility of these volumes from public vantage points.

### **Materials and Colors**

The proposed materials for the dormer include dark metal siding and burnished bronze windows to match similar modern elements throughout the rest of the approved design. The darker color of the window and siding will blend into the rest of the building and minimize the glazing's visibility from public view.

The proposed materials for site elements are natural stone and concrete to match other site walls. Both utility and infrastructure locations will be planted to conceal their visual impact.

### **Views**

The proposed dormer modification takes into consideration the importance of maintaining the traditional vernacular building forms of the house when viewed from public vantage points, such as emphasizing the steep gable roof forms and showcasing elements of the original architectural style. The approved design contrasts this with the addition of more modern elements toward the interior of the property. The new dormer is within this latter

vocabulary. Given its location on the middle of the property, the new dormer's silhouette is set way back from any point where it is visible by the public, and views are softened by existing trees and other natural elements of the site.

The configurations of the proposed site alterations preserve the relationship between the main house, accessory structures, and landscaping, due to the subordinate nature of their design. Public views of these modifications are minimal to none.

### **Landscaping**

Plantings provide screening from neighboring properties and soften the edges of both approved and proposed architectural and landscaping elements. Trees at site edges and within setbacks are preserved, and will provide screening of the proposed elements.

The proposed site elements are integrated into the landscape to minimize their impact on the relationship of approved structures to the overall site. Both proposed elements are designed to be covered and screened with plantings to further settle them into the landscape.

### **Visual Focus**

The proposal retains the locations and overall forms of the approved buildings on the site, maintaining the main residence's prominence.

### **Privacy**

In the approved design, traditional elements and smaller openings are oriented toward the surrounding properties and public views, whereas more modern elements focus toward the more private central landscaping which is bracketed and further concealed by the building masses. More transparent building elements are modulated by sliding wood screens and trellis structures that minimize visibility and the transmission of light to and from neighboring properties. The proposed dormer is in keeping with these strategies, and the glazing is set back to minimize visibility into the room from public vantage points.

### **Consideration of Existing Nonconforming Situation.**

The proposed alterations to the house and site have no impact on the existing nonconforming situation.

Given the Hillside Lot conditions & restrictions on the site, the proposed Interconnection bunker revision has been designed to minimize its impact on adjacent properties. The bunker is located out of the setback adjacent to

3 Upper Rd but within the setback adjacent to 206 Lagunitas Rd. The design team will seek a Minor Exception for this, and the property owner at 206 Lagunitas will prepare a letter to grant approval of the proposed equipment & bunker location.

# ATTACHMENT 5

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**Memorandum  
Neighborhood Outreach**

**Re:** 1 Upper Road

**Date:** 04/17/20

**Remarks:** The owner of the property at 1 Upper Road has made efforts to reach out to the neighbors and property owners of adjacent and proximate lots. The property owner has discussed the proposed work and design, including sharing the drawing set, with the following residents:

**Wiesel (3 Upper Rd.)**

Via: Email

This neighbor provided a short email note of support upon viewing project drawings. See Attachment 1.

**Kalafatas (Glenwood Ave.)**

Via: Email

This neighbor provided an email of support upon reviewing project drawings. See Attachment 2.

**Mezzetta (2 Upper Rd.)**

Via: Email

This neighbor provided a short email note of support upon viewing project drawings. See Attachment 3.

**McDermott (Glenwood Ave)**

Via: Email

This neighbor provided a short email note of support upon viewing project drawings. See Attachment 4.

**Amini (208 Lagunitas Rd.)**

Via: Email

This neighbor provided a short email note of support upon viewing project drawings. See Attachment 5.

**Samuel (212 Lagunitas Rd.)**

Via: Email

This neighbor expressed verbal support for the project upon viewing project drawings sent via email. See Attachment 6.

**Bryany Burke**

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**From:** Chris Larsen <[REDACTED]>  
**Sent:** Tuesday, March 24, 2020 5:59 PM  
**To:** Bryany Burke  
**Cc:** Andrew Mann; Daniel Owens  
**Subject:** Fwd: 1 Upper Road project

----- Forwarded message -----

**From:** Weisel, Thom <[REDACTED]>  
**Date:** Tue, Mar 24, 2020 at 16:44  
**Subject:** Re: 1 Upper Road project  
**To:** [REDACTED] <[REDACTED]>  
**CC:** Janet Barnes <[REDACTED]>, Lyna Lam <[REDACTED]>

Hi Chris: thanks for reaching out and keeping us current on your project. We are fine with how the current situation is regarding perimeter planting. No need for additional coverage until you plant permanent trees. All your new changes look fine. Best of luck, Thom

Sent from my iPad

On Mar 23, 2020, at 4:52 PM, Chris Larsen <[REDACTED]> wrote:

Hi Thom and Janet,  
We hope you and your family are staying safe and healthy during these unprecedented times. Lyna and I wanted to let you know that we will be submitting some changes to our construction plans soon but wanted you to know well in advance in case you had any questions.

But first, we wanted to let you know that our landscape architect is working on a planting plan that should provide as much coverage as the Bay Tree that the fire department required us to remove from the back of our garage. In addition, we're exploring a temporary blocking structure such as scolfolding (attractively camouflaged) or large weather balloons to provide privacy. More to come on that!

Here's a link to the design drawings that show the before and after designs for 3 changes:

[https://www.dropbox.com/s/4xmnplyy41dowf1/200318\\_1%20Upper%20Rd\\_ADR%20Amendm ent\\_Progress%20Set\\_r.pdf?dl=0](https://www.dropbox.com/s/4xmnplyy41dowf1/200318_1%20Upper%20Rd_ADR%20Amendm ent_Progress%20Set_r.pdf?dl=0)

The changes for review in this set are the following:

### **1) Dormer at Bedroom 2 –**

This dormer has been added to provide a view from this bedroom on axis with the pool. The architecture team has designed the dormer to fit in with the style of the other modern elements throughout the house, while limiting its visibility from public view.

### **2) Interconnection Bunker Adjacent to Guest House –**

This change is being made to accommodate equipment for emergency backup power on site. The bunker is directly adjacent to the existing Guest House and covered with a walkable metal grate which shields the equipment from view. The landscape design team has included planting areas next to the grate so that vines may grow over it and further integrate it into the landscape.

### **3) PG&E Switchboard Enclosure & Site Wall Revisions –**

This change is being made to accommodate a larger electrical switchboard as required by PG&E. The trash enclosure has been reduced in length along Upper Rd and pushed back toward the house to create an area where the switchboard is not visible from the street. The switchboard portion of the enclosure will be covered with a planter to integrate it into the landscape. Site walls have been adjusted to allow a consistent 6' tall privacy & security wall, set back from the property line.

Please let us know if you have any questions or concerns about these changes or anything else with the project. And of course please let us know if we can be helpful in any way during these turbulent times.

Wishing you and your family all the very best,

Chris and Lyna

This message, and any of its attachments, is for the intended recipient(s) only, and it may contain information that is privileged, confidential, and/or proprietary and subject to important terms and conditions available at <http://www.stifel.com/disclosures/emaildisclaimers/>. If you are not the intended recipient, please delete this message and immediately notify the sender. No confidentiality, privilege, or property rights are waived or lost by any errors in transmission.

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**Bryany Burke**

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**From:** Chris Larsen <[REDACTED]>  
**Sent:** Tuesday, March 24, 2020 6:00 PM  
**To:** Bryany Burke  
**Cc:** Andrew Mann; Daniel Owens  
**Subject:** Fwd: 1 Upper Road project

----- Forwarded message -----

**From:** Dan Kalafatas <[REDACTED]>  
**Date:** Mon, Mar 23, 2020 at 18:03  
**Subject:** Re: 1 Upper Road project  
**To:** Chris Larsen <[REDACTED]>  
**CC:** Hadley Mullin <[REDACTED]>, Lyna Lam <[REDACTED]>

Chris, no concerns from us. Best to you, Lyna, and the boys. Stay safe, Dan



DAN KALAFATAS  
Chairman  
[3degrees.com](http://3degrees.com)



On Mon, Mar 23, 2020 at 4:46 PM Chris Larsen <[REDACTED]> wrote:

Hi Dan and Hadley,

We hope you and your family are staying safe and healthy during these unprecedented times. Lyna and I wanted to let you know that we will be submitting some changes to our construction plans soon but wanted you to know well in advance in case you had any questions.

Here's a link to the design drawings that show the before and after designs for 3 changes:

[https://www.dropbox.com/s/4xmnplyy41dowf1/200318\\_1%20Upper%20Rd\\_ADR%20Amendment\\_Progress%20Set\\_r.pdf?dl=0](https://www.dropbox.com/s/4xmnplyy41dowf1/200318_1%20Upper%20Rd_ADR%20Amendment_Progress%20Set_r.pdf?dl=0)

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Please let us know if you have any questions or concerns about these changes or anything else with the project. And of course please let us know if we can be helpful in any way during these turbulent times.

Wishing you and your family all the very best,

Chris and Lyna

[Subscribe to our newsletter](#)



We are proud to be a CDP global renewable energy and carbon reduction partner.

--

Chris

Chris Larsen  
Executive Chairman  
Ripple, Inc.  
[www.ripple.com](http://www.ripple.com)

**Bryany Burke**

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**From:** Chris Larsen <[REDACTED]>  
**Sent:** Tuesday, March 24, 2020 6:09 PM  
**To:** Bryany Burke  
**Cc:** Andrew Mann; Daniel Owens  
**Subject:** Fwd: 1 Upper project

----- Forwarded message -----

**From:** Jeff Mezzetta <[REDACTED]>  
**Date:** Tue, Mar 24, 2020 at 08:00  
**Subject:** RE: 1 Upper project  
**To:** [REDACTED], Katelin Mezzetta <[REDACTED]>  
**CC:** Lyna Lam <[REDACTED]>

Hey Chris and Lyna,

Crazy times for sure! Thanks for reaching out. Yes, it was good to see you the other day as well. We look forward to seeing you all more once the house is done. Your home is going to be amazing!

One of my favorite Churchill sayings is "No Great Plan has Gone Unchanged" so all good on our side. The team you have in place there have been really respectful and accommodating.

All is good on our side, Katelin already expelled the kids from home school. 😊 I imagine tough really tough on your boys.

We hope you and the your kids are holding up well.

Warm regards,

Jeff and Katelin

**From:** Chris Larsen <[REDACTED]>  
**Sent:** Monday, March 23, 2020 4:31 PM  
**To:** Jeff Mezzetta <[REDACTED]>; Katelin Mezzetta <[REDACTED]>  
**Cc:** Lyna Lam <[REDACTED]>  
**Subject:** 1 Upper project

Hi Jeff and Katelin,

Great seeing you guys the other day and hope all continues to be safe and healthy for your family. As I mentioned, we will be submitting some changes to our construction plans soon but wanted to let you know of them well in advance in case you had any questions.

Here's a link to the design drawings that show the before and after designs for 3 changes:

[https://www.dropbox.com/s/4xmnply41dowf1/200318\\_1%20Upper%20Rd\\_ADR%20Amendment\\_Progress%20Set\\_r.p df?dl=0](https://www.dropbox.com/s/4xmnply41dowf1/200318_1%20Upper%20Rd_ADR%20Amendment_Progress%20Set_r.p df?dl=0)

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Please let us know if you have any questions or concerns about these changes or anything else with the project. And of course please let us know if we can be helpful in any way during these turbulent times.

Wishing you and your family all the very best,

Chris and Lyna

--

Chris

Chris Larsen  
Executive Chairman  
Ripple, Inc.  
[www.ripple.com](http://www.ripple.com)

**Bryany Burke**

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**From:** Chris Larsen <[REDACTED]>  
**Sent:** Wednesday, March 25, 2020 8:43 PM  
**To:** Bryany Burke  
**Cc:** Andrew Mann; Daniel Owens  
**Subject:** Fwd: 1 Upper Road project

----- Forwarded message -----

**From:** Ed McDermott <[REDACTED]>  
**Date:** Wed, Mar 25, 2020 at 20:35  
**Subject:** Re: 1 Upper Road project  
**To:** <[REDACTED]>  
**CC:** Betsy McDermott <[REDACTED]>, Lyna Lam <[REDACTED]>

Hi Chris and Lyna

Hoping that you and your families are all well and staying healthy in this challenging time.

Thanks for letting us know re the changes. All good on our end! We are excited for you guys to build what you want and to have you all in the neighborhood. Everything looks great so far and hoping this COVID situation doesn't throw in too much a wrench for you.

Wishing you all the best and looking forward to seeing you soon.

Best  
Ed & Betsy

On Mar 23, 2020, at 4:44 PM, Chris Larsen <[REDACTED]> wrote:

Hi Ed and Betsy,  
We hope you and your family are staying safe and healthy during these unprecedented times. Lyna and I wanted to let you know that we will be submitting some changes to our construction plans soon but wanted you to know well in advance in case you had any questions.

Here's a link to the design drawings that show the before and after designs for 3 changes:

[https://www.dropbox.com/s/4xmnplyy41dowf1/200318\\_1%20Upper%20Rd\\_ADR%20Amendment\\_Progress%20Set\\_r.pdf?dl=0](https://www.dropbox.com/s/4xmnplyy41dowf1/200318_1%20Upper%20Rd_ADR%20Amendment_Progress%20Set_r.pdf?dl=0)

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Wishing you and your family all the very best,

Chris and Lyna

--

Chris

Chris Larsen  
Executive Chairman  
Ripple, Inc.  
[www.ripple.com](http://www.ripple.com)

**Bryany Burke**

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**From:** Chris Larsen [REDACTED]  
**Sent:** Sunday, March 29, 2020 9:54 AM  
**To:** Bryany Burke  
**Cc:** Daniel Owens; Andrew Mann  
**Subject:** Fwd: 1 Upper Road project

Chris

CHRIS LARSEN | EXECUTIVE CHAIRMAN

[REDACTED]  
[REDACTED] | [www.ripple.com](http://www.ripple.com)  
Ripple, Inc.

----- Forwarded message -----  
**From:** Elizabeth Amini <[REDACTED]>  
**Date:** Sun, Mar 29, 2020 at 9:46 AM  
**Subject:** Re: 1 Upper Road project  
**To:** <[REDACTED]>

Hi Chris and Lyna,  
Thank you for your note!  
We are fine, and hopefully all of your family is also.  
Your new construction plans are fine with me and I was happy for you to see that your project could still continue, despite the virus constraints!  
Stay healthy, and thank you for the update on your building plans!  
Warmly,  
Liz

Sent from my iPhone

On Mar 23, 2020, at 4:38 PM, Chris Larsen <[REDACTED]> wrote:

Hi Liz,  
I hope you and your family are staying safe and healthy during these unprecedented times. Lyna and I wanted to let you know that we will be submitting some changes to our construction plans soon but wanted you to know well in advance in case you had any questions.

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Please let us know if you have any questions or concerns about these changes or anything else with the project. And of course please let us know if we can be helpful in any way during these turbulent times.

Wishing you and your family all the very best,

Chris and Lyna

**Bryany Burke**

---

**From:** Chris Larsen <[REDACTED]>  
**Sent:** Monday, March 23, 2020 4:37 PM  
**To:** Dave Samuel  
**Cc:** Lyna Lam  
**Subject:** 1 Upper project

Hi Dave,

I hope you and your family are staying safe and healthy during these unprecedented times. Lyna and I wanted to let you know that we will be submitting some changes to our construction plans soon but wanted you to know well in advance in case you had any questions.

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[https://www.dropbox.com/s/4xmnplyy41dowf1/200318\\_1%20Upper%20Rd\\_ADR%20Amendment\\_Progress%20Set\\_r.pdf?dl=0](https://www.dropbox.com/s/4xmnplyy41dowf1/200318_1%20Upper%20Rd_ADR%20Amendment_Progress%20Set_r.pdf?dl=0)

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Wishing you and your family all the very best,

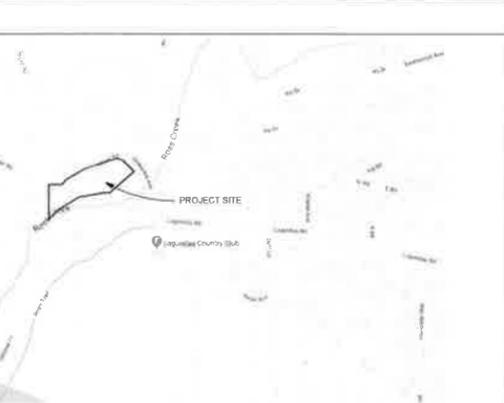
Chris and Lyna

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# ATTACHMENT 6

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VICINITY MAP



GENERAL NOTES

- BUILDING SHALL COMPLY W/ ASHRAE 62.2 INCLUDING WHOLE HOUSE VENTILATION & LOCAL EXHAUST REQUIREMENTS, PER CEC 150 (0)
- SMOKE AND CARBON MONOXIDE DETECTORS WILL BE CONNECTED WITH AC POWER AND INTERCONNECTED FOR A SIMULTANEOUS ALARM. THESE DEVICES SHALL COMPLY WITH CRC SECTIONS R314 AND R315.
- PROJECT SHALL COMPLY WITH WUI REQUIREMENTS AS PER 2016 CFC CHAPTER 7A & 2016 CRC SECTION R337.
- "CLASS A"-RATED ROOF ASSEMBLIES WILL BE USED ON ALL BUILDINGS.
- FIRE APPARATUS ACCESS REQUIREMENTS WILL MEET ROSS VALLEY FIRE STANDARD #210.
- PROJECT WILL INCLUDE FIRE SPRINKLERS THROUGHOUT COMPLIANT WITH NFPA 13-D AND LOCAL STANDARDS.
- FIRE HYDRANTS SHALL BE LOCATED SO THAT NO PORTION OF A STRUCTURE IS GREATER THAN 350 FT FROM THE CLOSEST HYDRANT.

APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE  
 2016 CALIFORNIA RESIDENTIAL CODE  
 2016 CALIFORNIA ELECTRICAL CODE  
 2016 CALIFORNIA ENERGY CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA FIRE CODE  
 2016 CALIFORNIA HEALTH & SAFETY CODE  
 2016 ROSS BUILDING CODE AMENDMENTS  
 2016 ROSS MUNICIPAL CODE  
 ROSS VALLEY FIRE DEPARTMENT STANDARDS

ABBREVIATIONS

ABV. ABOVE	ACOUS. ACOUSTICAL	ADJ. ADJUSTABLE	APPROX APPROXIMATE	ARCH ARCHITECTURAL	ASPH. ASPHALT	BD. BOARD	BITUM. BITUMINOUS	BLDG. BUILDING	BLKG. BLOCKING	BM. BITUMEN	BOT. BOTTOM	CAB. CABINET	CEM. CEMENT	CFR. CERAMIC	CL. CENTER LINE	CLO. CLOSET	CLR. CLEAR	COL. COLUMN	COND. CONCRETE	CONSTR. CONSTRUCTION	CONT. CONTINUOUS	CTR. CENTER	D. DRYER	D.B.L. DETAIL	DET. DETAIL	DIA. DIAMETER	DIM. DIMENSION	DISPO. DISPOSAL	D.V.W. DISH WASHER	DR. DOOR	DWR. DRAWER	DWG. DRAWING	(E) EXISTING	ELEC. ELECTRICAL	ELEV. ELEVATION or ELEVATOR	EMP. ENCLOSURE	ENCL. EQUAL	EXT. EXTERIOR	FDN. FOUNDATION	FIN. FINISH	FLO. FLOOR	FLASH. FLASHING	FLOUR. FLOURESCENT	F.O. FACE OF	FT. FOOT	FTG. FOOTING	FURR. FURRING	GA. GAUGE	GALV. GALVANIZED	GL. GLASS	GR. GRADE	GYP. GYPSUM	H.B. HOSE BIB	HDWD. HARDWOOD	HDWE. HARDWARE	HT. HEIGHT	HORIZ. HORIZONTAL	HR. HOUR	I.D. INSIDE DIAMETER	INSUL. INSULATION	INT. INTERIOR	JT. JOINT	KIT. KITCHEN	LAM. LAMINATE	LAV. LAVATORY	LOC. LOCATION	LT. LIGHT	MAX. MAXIMUM	M.C. MEDICINE CABINET	MECH. MECHANICAL	MEMB. MEMBRANE	MET. METAL	MFR. MANUFACTURER	MIN. MINIMUM	MISC. MISCELLANEOUS	MTD. MOUNTED	NAT. NATURAL	NAT. NOT IN CONTRACT	NO. or # NUMBER	NOM. NOMINAL	NOT TO SCALE	O.A. OVERALL	O.C. ON CENTER	O.D. OUTSIDE DIAMETER	OPNG. OPENING	OPP. OPPOSITE	OCCUPANCY SENSOR	FOUND OR NUMBER	# PL. PLATE	P. LAM. PLASTIC LAMINATE	PLAS. PLASTER	PLYWD. PLYWOOD	PR. PAIR	PROP. PROPERTY	P.T. PAINTED	PTD. REFRIGERATOR	R. RISER OR RADIUS	R.A. RETURN AIR	RAD. RADIUS	RCP REFLECTED CEILING PLAN	REF. REFERENCE	REFR. REFRIGERATOR	REGTR. REGISTER	REINF. REINFORCED	REQ. REQUIRED	RM. ROOM	R.O. ROUGH OPENING	RDWD. REDWOOD	R.W.L. RAIN WATER LEADER	SCHED. SCHEDULE	SECT. SECTION	SH. SHIELD	SHR. SHOWER	S.I.D. SEE INTERIOR DRAWINGS	SIM. SIMILAR	S.L.A.D. SEE LANDSCAPE ARCH. DRAWINGS	SPEC. SPECIFICATION	SQ. SQUARE	SSD. SEE STRUCTURAL DRAWINGS	SST. STAINLESS STEEL	STD. STANDARD	STL. STEEL	STOR. STORAGE	STRUCT. STRUCTURAL	SYM. SYMMETRICAL	T. TREAD	T.B. TOWEL BAR	TEL. TELEPHONE	T&G. TONGUE & GROOVE	THK. THICK	T.O. TOP OF	TV. TELEVISION	TYP. TYPICAL	U.O.N. UNLESS OTHERWISE NOTED	VERT. VERTICAL	VGDF. VERTICAL GRAIN DOUGLAS FIR	V.I.F. VERIFY IN FIELD	W. WASHING MACHINE	W.H. WATER HEATER	W/ WITH	WD. WOOD	WIND. WINDOW	W/O WITHOUT	W.O. WHERE OCCURS	W.P. WATERPROOF	W/SCOT. WAINSCOTT	WT. WEIGHT
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PROJECT DATA

PROJECT INFORMATION

PARCEL # 073-122-16  
 ZONING DESIGNATION: R-1, B-A (HILLSIDE LOT)  
 OCCUPANCY CLASS: R-3, U-1  
 CONSTRUCTION TYPE: V-B  
 AVERAGE LOT SLOPE: 22%<sup>1</sup>

CONSOLIDATED PROJECT DATA TABLE

SETBACKS:	REQUIRED	EXISTING	PROPOSED
FRONT	25 MIN	17'-0"	26'-5"
REAR	40 MIN	62'-5"	66'-10"
WEST SIDE	25 MIN	23'-2"	22'-0"
EAST SIDE	25 MIN	7'-6"	10'-11"

SQUARE FOOTAGE:	ALLOWABLE	EXISTING	PROPOSED
<b>MAIN HOUSE</b>			
BASEMENT	0	97.00	
FIRST FLOOR		3868.08	4280.14
SECOND FLOOR		3115.50	2585.50
SUB TOTAL		7082.59	6965.64
<b>ACCESSORY BUILDINGS</b>			
POOL HOUSE		1088.67	UNCHANGED
GARAGE		2952.00	UNCHANGED
GUEST HOUSE		1781.65	UNCHANGED
SUB TOTAL		5822.32	5822.32

TOTAL BUILDING AREA	CHANGE	FLOOR AREA RATIO	TOTAL AREA OF DISTURBANCE	DISTURBANCE AREA RATIO	LOT SIZE (AREA)	SITE COVERAGE	IMPERVIOUS SURFACES	MAX. BUILDING HEIGHT	GRADING CALCS. CUT	PARKING																
11,388.30	12,916.08	12.78%	117.52 SQ. FT.	15%	17.0%	16.85%	23,522 SQ. FT.	20% LOT AREA	43,583 SQ. FT.	75,922	UNCHANGED	11,388.30	8,974.53	10,428.60	15%	11.8%	13.7%	30' MAX.	36'-3"	31'-3"	945 CY	872 CY	NONE	4 SPACES	5 SPACES	6 SPACES

APPROVED PROJECT DESCRIPTION SUMMARY

**MAIN HOUSE:** FULL DEMOLITION OF EXISTING MAIN HOUSE, REBUILD PORTION OF EXISTING HOUSE, RE-SITED WITHIN SETBACKS. NEW ADDITION. NEW INTERIORS, MECHANICAL, ELECTRICAL, PLUMBING THROUGHOUT, NEW SIDING, ROOFING MATERIALS, WINDOWS, AND DOORS, NEW PHOTOVOLTAIC SYSTEM ON ROOF.

**POOL HOUSE:** REMODEL WITHIN EXISTING FOOTPRINT, DEMOLITION OF STAIR VOLUME. NEW EXTERIOR STAIR, NEW DORMERS ON ROOF AND UPDATED OPENINGS, NEW INTERIORS, MECHANICAL, ELECTRICAL, PLUMBING THROUGHOUT, NEW SIDING AND ROOFING MATERIALS.

**GUEST HOUSE:** REMODEL WITHIN EXISTING FOOTPRINT, NEW INTERIOR STAIR, NEW INTERIORS, MECHANICAL, ELECTRICAL, PLUMBING THROUGHOUT, UPDATED DOORS AND WINDOWS, NEW SIDING AND ROOFING MATERIALS.

**GARAGE:** REPLACE SIDING MATERIAL IN KIND (NATURAL COLOR CEDAR SHINGLES) TO COORDINATE WITH NEW SIDING ON OTHER STRUCTURES, REROOF WITH STANDING SEAM METAL ROOF TO MATCH OTHER STRUCTURES.

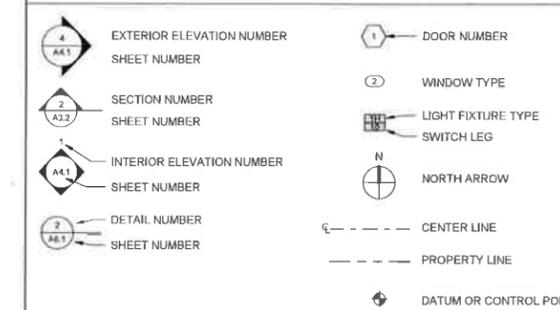
**SITE:** WIDEN DRIVEWAY, NEW GATE AND SITE WALLS, NEW POOL, WET BAR, AND FREESTANDING POOL BAR TRELLIS, NEW LANDSCAPING THROUGHOUT.

**PROPOSED UPDATE DESCRIPTION SUMMARY**

**MAIN HOUSE:** ADDITION OF EAST-FACING DORMER TO CHILD'S BEDROOM 2 ROOF VOLUME OVERLOOKING THE POOL, MATERIAL TO MATCH APPROVED MATERIALS.

**SITE:** ADDITION OF UTILITY BUNKER ADJACENT TO APPROVED GUEST HOUSE, REVISION OF APPROVED TRASH ENCLOSURE TO ACCOMMODATE PG&E SWITCHBOARD, REVISED SITE SECURITY/PRIVACY WALLS, ALL MATERIAL TO MATCH APPROVED MATERIALS.

SYMBOLS



DRAWING INDEX

Sheet Number	Sheet Name	Drawn By	Sheet Issue Date
GENERAL	TITLE SHEET & PROJECT INFORMATION	AMA	04/17/20
ARCHITECTURAL			
P-003	MAIN HOUSE - APPROVED SITE PLAN WITH ROOF PLAN	AMA	04/17/20
P-004	MAIN HOUSE - APPROVED SITE PLAN WITH ROOF PLAN	AMA	04/17/20
P-008	MAIN HOUSE - APPROVED DRAWING SPACE AND GUEST SUITE PLANS	AMA	04/17/20
P-010	MAIN HOUSE - APPROVED FIRST FLOOR PLAN	AMA	04/17/20
P-012	MAIN HOUSE - APPROVED SECOND FLOOR PLAN	AMA	04/17/20
P-013	MAIN HOUSE - APPROVED SECOND FLOOR PLAN	AMA	04/17/20
P-014	MAIN HOUSE - APPROVED ROOF PLAN	AMA	04/17/20
P-015	MAIN HOUSE - APPROVED ROOF PLAN	AMA	04/17/20
P-021	MAIN HOUSE - APPROVED WEST & EAST ELEVATIONS	AMA	04/17/20
P-022	MAIN HOUSE - APPROVED WEST & EAST ELEVATIONS	AMA	04/17/20
P-023	MAIN HOUSE - APPROVED NORTH & SOUTH ELEVATIONS	AMA	04/17/20
P-024	MAIN HOUSE - APPROVED NORTH & SOUTH ELEVATIONS	AMA	04/17/20
P-081	MAIN HOUSE - APPROVED & PROPOSED AERIAL, NW VIEWS	AMA	04/17/20
P-080	MAIN HOUSE - APPROVED & PROPOSED AERIAL, NE VIEWS	AMA	04/17/20
P-082	MAIN HOUSE - 30' HEIGHT LIMIT PERSPECTIVES	AMA	04/17/20
P-083	MAIN HOUSE - PERSPECTIVES - APPROVED	AMA	04/17/20
P-084	MAIN HOUSE - PERSPECTIVES - APPROVED	AMA	04/17/20
P-085	MAIN HOUSE - PERSPECTIVES FROM GLENWOOD AVE	AMA	04/17/20
P-090	STORY POLE PLAN & SCHEDULE	AMA	04/17/20
LANDSCAPE ARCH.			
P-001A	APPROVED TREE PROTECTION PLAN	STRATA	04/17/20
P-002A	APPROVED ARBOREST REPORT (1)	STRATA	04/17/20
P-003A	APPROVED ARBOREST REPORT (2)	STRATA	04/17/20
P-004A	APPROVED ARBOREST REPORT (3)	STRATA	04/17/20
P-005A	APPROVED ARBOREST REPORT (4)	STRATA	04/17/20
P-001	TREE PROTECTION PLAN	STRATA	04/17/20
P-002	ARBOREST REPORT (1)	STRATA	04/17/20
P-003	ARBOREST REPORT (2)	STRATA	04/17/20
P-004	ARBOREST REPORT (3)	STRATA	04/17/20
P-005	ARBOREST REPORT (4)	STRATA	04/17/20
P-010A	APPROVED LAYOUT PLAN (1)	STRATA	04/17/20
P-011A	APPROVED LAYOUT PLAN (2)	STRATA	04/17/20
P-010	LAYOUT PLAN (1)	STRATA	04/17/20
P-011	LAYOUT PLAN (2)	STRATA	04/17/20
P-013	STAKING PLAN (1)	STRATA	04/17/20
P-014	STAKING PLAN (2)	STRATA	04/17/20
P-017	INTERCOMBUSTION PAD	STRATA	04/17/20
P-018	TRASH ENCLOSURE & MSB EQUIP. ROOM	STRATA	04/17/20

1 UPPER ROAD  
 ROSS, CALIFORNIA  
 APRIL 073-122-16

ANDREW MANN ARCHITECTURE  
 388 LANCASTER FREEWAY SUITE 100  
 SAN FRANCISCO, CALIFORNIA 94133  
 TEL: 415.774.1848  
 ANDREW@MANNARCHITECTURE.COM

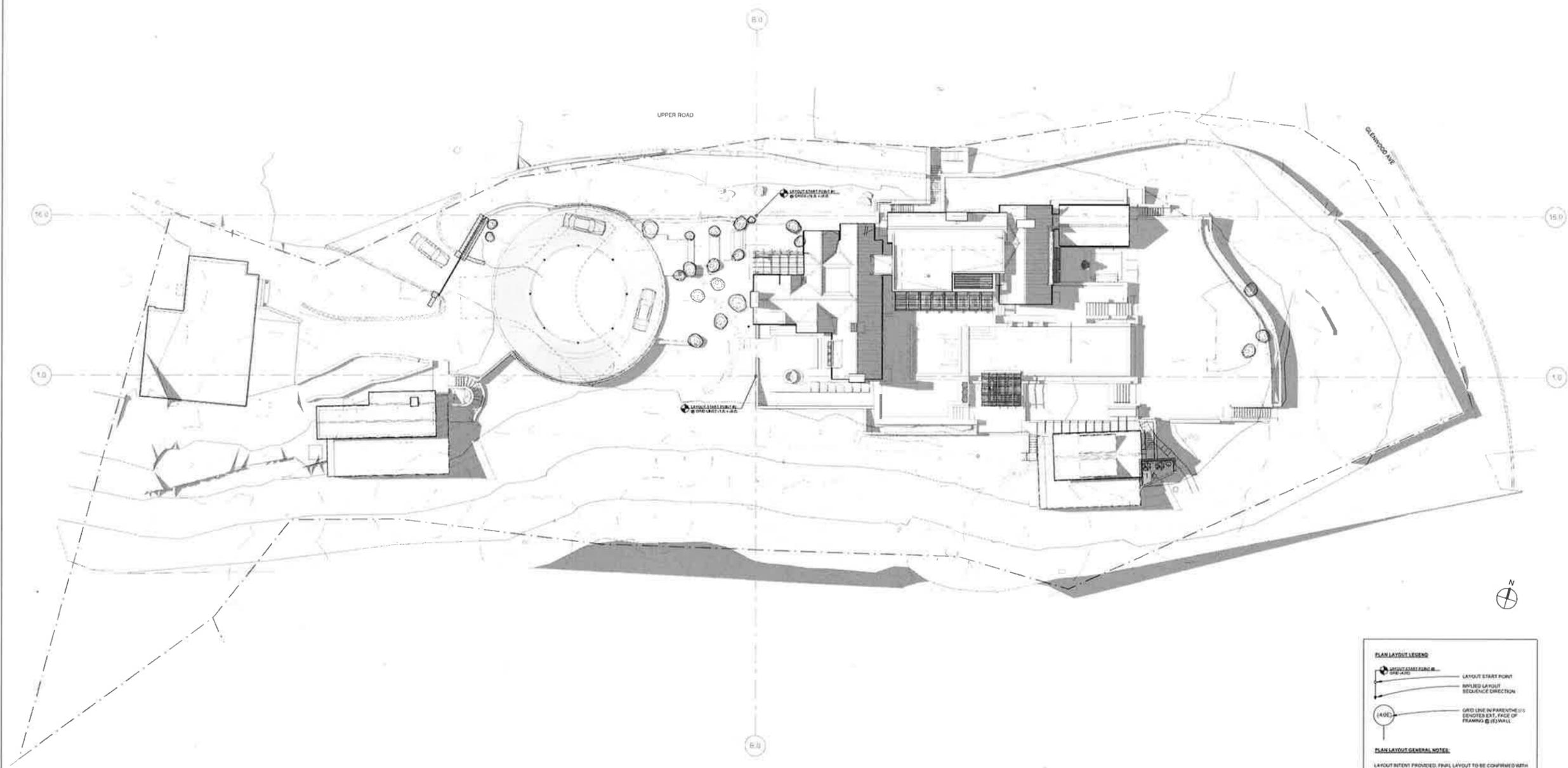
AM ARCHITECTURE  
 100 17TH STREET  
 SAN FRANCISCO, CALIFORNIA 94111  
 TEL: 415.774.1848  
 ANDREW@MANNARCHITECTURE.COM

TITLE SHEET & PROJECT INFORMATION

SCALE: As indicated  
 DRAWN BY: AMA

P-G1.0

SHEET NUMBER: 03/23/20



**PLAN LAYOUT LEGEND**

- LAYOUT START POINT
- APPLIED LAYOUT SEQUENCE DIRECTION
- GRID LINE IN PARENTHESIS ( ) DENOTES EXT. FACE OF FRAMING @ 1/2" WALL

**PLAN LAYOUT GENERAL NOTE:**

LAYOUT BATTERY PROVIDED. FINAL LAYOUT TO BE COORDINATED WITH SURVEYOR, ARCHITECT, AND LANDSCAPE ARCHITECT ON SITE. COORDINATE LAYOUT WITH LANDSCAPE IMPROVEMENTS, S.L.A.D.

1 Proposed Site Plan - APPROVED  
 SCALE: 1/8" = 1'-0"

<p><b>1 UPPER ROAD</b>        ROSS, CALIFORNIA        APN: 073-122-16</p>
<p><b>ANDREW MANN ARCHITECTURE</b>        1000 AVENUE OF THE STARS, SUITE 100        SAN FRANCISCO, CALIFORNIA 94115        TELEPHONE: 415-761-1414        ANDREW@MANNARCHITECTURE.COM</p>
<p><b>AM ARCHITECTS</b>        1000 AVENUE OF THE STARS, SUITE 100        SAN FRANCISCO, CALIFORNIA 94115        TELEPHONE: 415-761-1414        AM@ARCHITECTS.COM</p>
<p>SHEET TITLE:  <b>MAIN HOUSE - APPROVED SITE PLAN WITH ROOF PLAN</b></p>
<p>REVISION SHEET: 03/23/20</p>
<p>SCALE: As Indicated</p>
<p>DRAWN BY: AMA</p>
<p>SHEET NUMBER:  <b>P-A0.3</b></p>

- REVISIONS TO SHEET AS SHOWN:**
1. REVISION TO APPROVED TRASH ENCLOSURE ALONG UPPER ROAD TO ACCOMMODATE PURE SWITCHGEAR
  2. ADDITION OF REVISIONS TO MAIN HOUSE ADJACENT TO APPROVED EXISTING GUEST HOUSE TO ACCOMMODATE EQUIPMENT FOR EMERGENCY BACKUP POWER
  3. ADDITION OF NEW EAST-FACING DORMER TO APPROVED MAIN HOUSE

REV. ISSUED FOR DATE

A ASH SET 04/1/2016



1 UPPER ROAD  
 ROSS, CALIFORNIA  
 APN: 073-22-16

ANDREW MANN ARCHITECTURE  
 200 JACKSON STREET, SUITE 200  
 SAN FRANCISCO, CALIFORNIA 94102  
 TELEPHONE: 415-424-3471  
 ANDREW@MANNARCHITECTURE.COM

AM  
 AUTOCOMMARTINS  
 1000 MARKET STREET, SUITE 100  
 SAN FRANCISCO, CALIFORNIA 94103  
 TELEPHONE: 415-424-3471  
 AUTOCOMMARTINS.COM

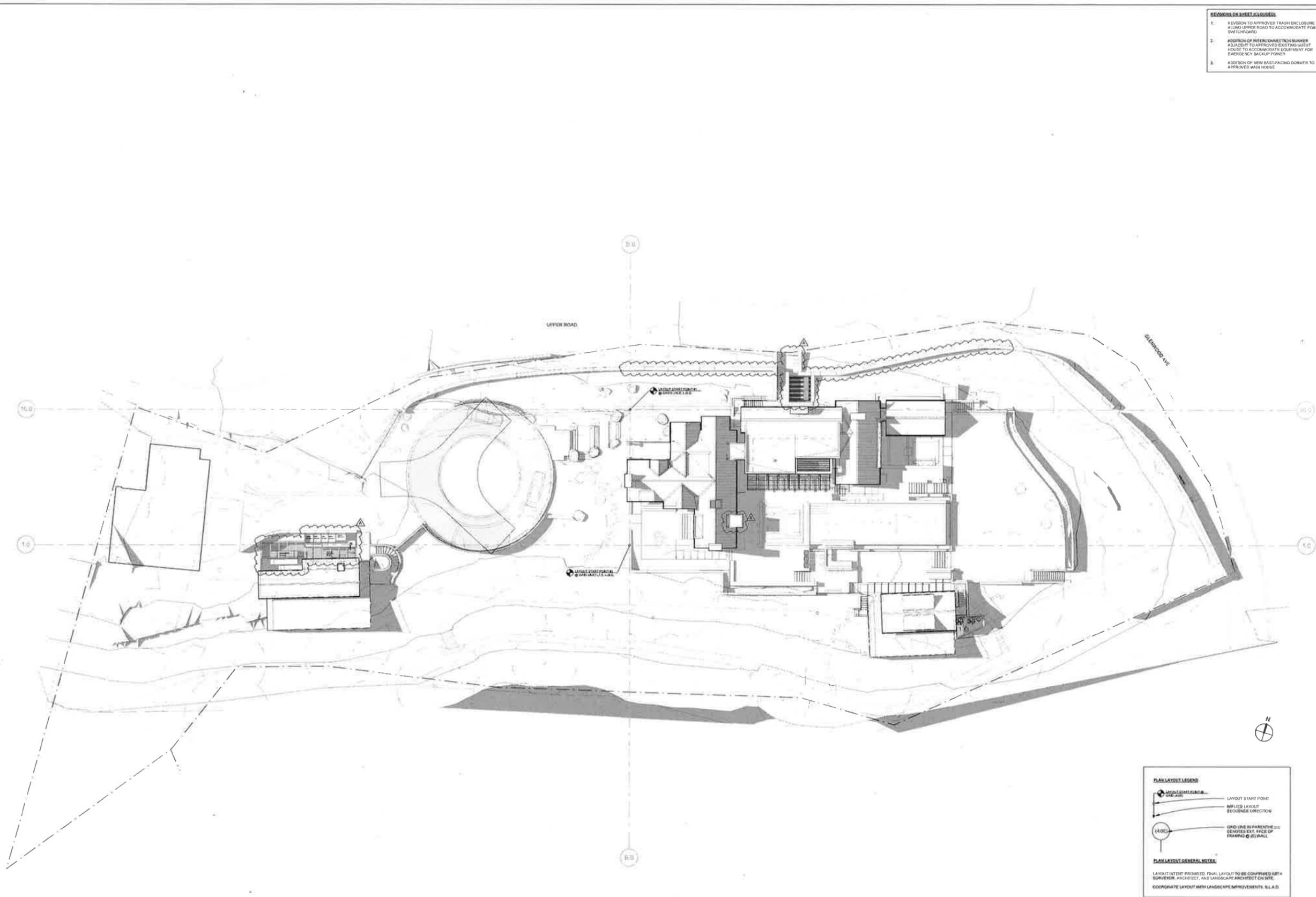
SHEET TITLE  
 MAIN HOUSE -  
 PROPOSED SITE  
 PLAN WITH ROOF  
 PLAN

ORIGINAL SHEET ISSUE DATE  
 03/23/2016

SCALE DRAWN BY  
 As indicated AMA

SHEET NUMBER

P-A0.4



**PLAN LAYOUT LEGEND**

- LAYOUT START POINT
- IMPLIES LAYOUT
- EXCHANGE DIRECTION
- GRID LINE IN PARENTHESIS DENOTES EXT. FACE OF BRANNO @ 1/2" WALL

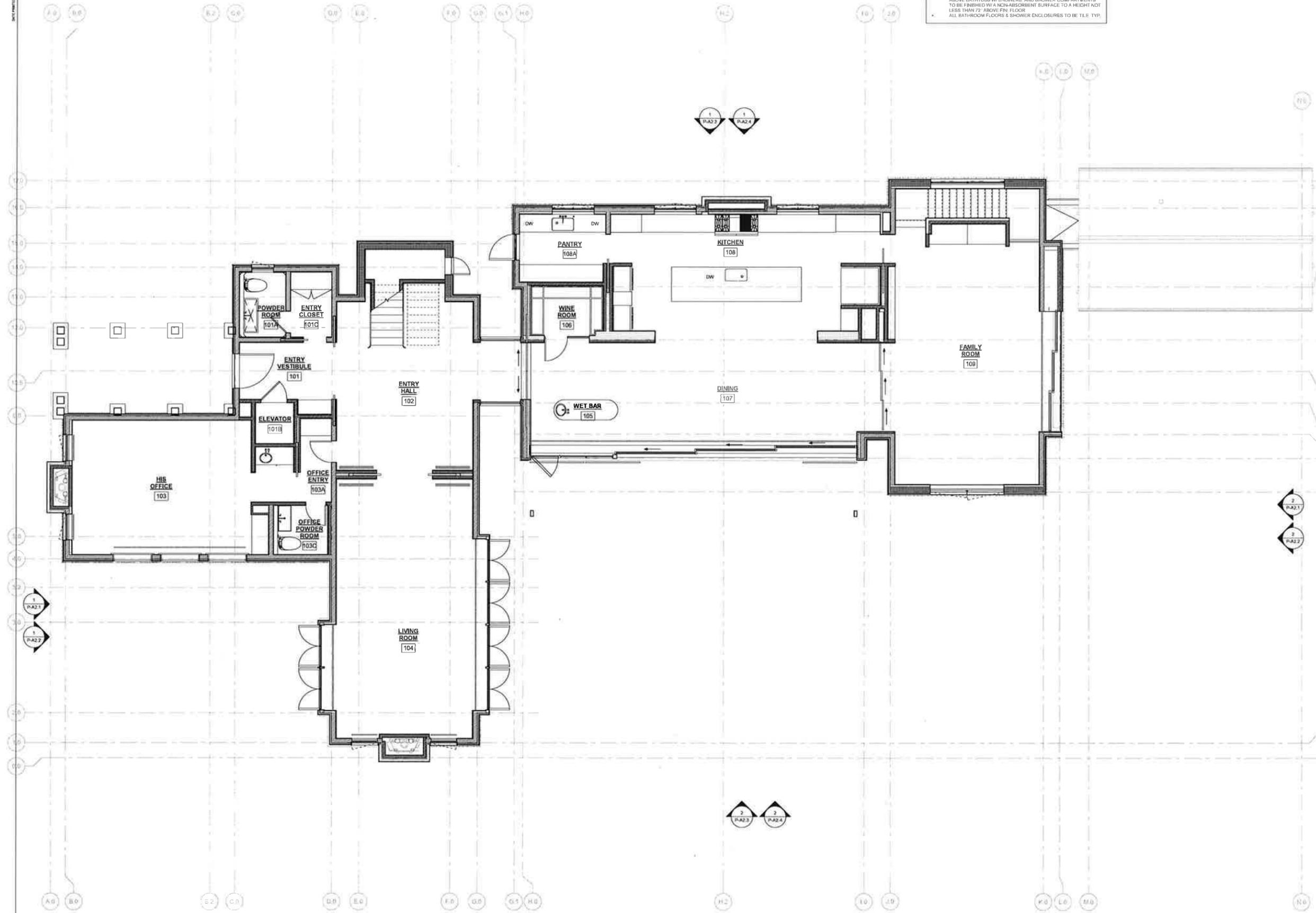
**PLAN LAYOUT GENERAL NOTES**

LAYOUT INTENT PROVIDED. FINAL LAYOUT TO BE COORDINATED WITH SURVEYOR, ARCHITECT, AND LANDSCAPE ARCHITECT ON SITE.  
 COORDINATE LAYOUT WITH LANDSCAPE IMPROVEMENTS, S.L.A.D.

1 Proposed Site Plan- PROPOSED  
 SCALE: 1/8" = 1'-0"

DATE PLOTTED: 04/01/2016 10:27 AM

DATE PLOTTED: 11/25/2015 10:11 AM



**NOTES:**  
**ALL GRIDLINE DIMENSIONS ARE TO FACE OF STUD.**

- FOR ALL BATHROOMS ALL BATHTUBS, SHOWER FLOORS, WALLS ABOVE BATHTUBS W/ SHOWERS, AND SHOWER COMPARTMENTS TO BE FINISHED W/ A NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE FIN. FLOOR.
- ALL BATH-ROOM FLOORS & SHOWER ENCLOSURES TO BE T.E. TYP.

**REVISIONS ON SHEET:**  
 NO REVISIONS. FIRST FLOOR PLAN TO REMAIN UNCHANGED.

REV.	ISSUED FOR	DATE
A	ASB SET	04/10/00



**1 UPPER ROAD**  
 ROSS, CALIFORNIA  
 APN: 073-122-18

**ANDREW MANN ARCHITECTURE**  
 NEW JERSEY OFFICE: SUITE 202  
 SAN FRANCISCO OFFICE: 115-104114  
 TELEPHONE: 415-242-8271  
 ANDREWMANARCHITECTURE.COM

**A | M** ANTONIO MARTINS ARCHITECTS  
 1000 AVENUE OF THE STARS  
 SAN FRANCISCO, CALIFORNIA 94133  
 TELEPHONE: 415-242-8271  
 ANTONIOMARTINS.COM

BY SET 10/4  
**MAIN HOUSE - APPROVED FIRST FLOOR PLAN**

ORIGINAL SHEET ISSUE DATE	03/23/03
SCALE	1/4" = 1'-0"
DRAWN BY	A.M.A.
SHEET NUMBER	

**P-A1.10**

DATE PLOTTED: 03/23/20

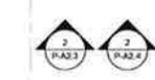
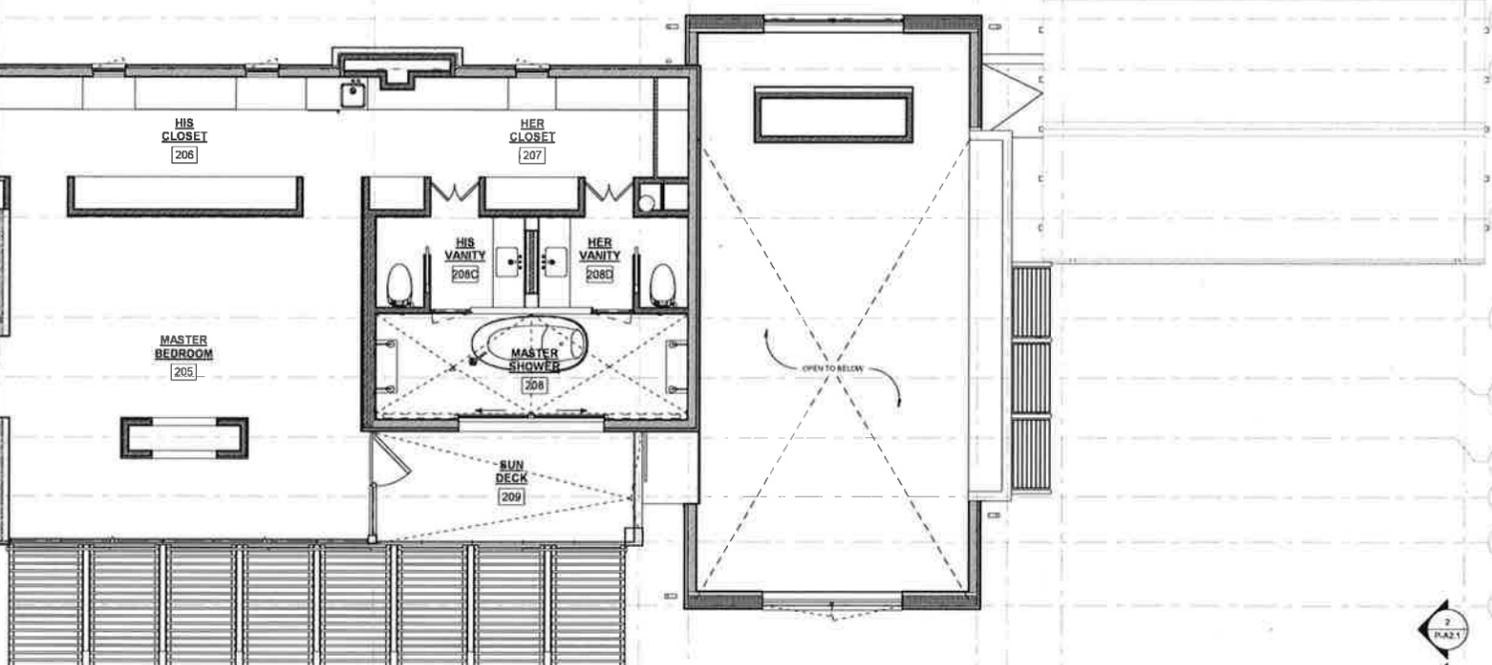
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B.2 C.0  
C.0 E.0  
F.0 G.0  
G.1 H.0  
H.2  
I.0 J.0  
K.0 L.0 M.0  
N.0

**NOTES:**  
**ALL GRIDLINE DIMENSIONS ARE TO FACE OF STUD.**  
FOR ALL BATHROOMS ALL BATHTUBS, SHOWER FLOORS, WALLS ABOVE BATHTUBS W/ SHOWERS, AND SHOWER COMPARTMENTS TO BE FINISHED W/ A NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 7" ABOVE FIN. FLOOR.  
ALL BATHROOM FLOORS & SHOWER ENCLOSURES TO BE TILE TYP.

REVISIONS ON SHEET:  
NO REVISIONS. CURRENT APPROVED SECOND FLOOR PLAN SHOWN

REV. | REASON FOR REV. | DATE  
A. | ASSET | 04/11/20



**1 UPPER ROAD**  
ROSS, CALIFORNIA  
APN: 073-122-18

**ANDREW MANN ARCHITECTURE**  
1800 AVENUE OF THE STARS, SUITE 200  
SAN FRANCISCO, CALIFORNIA 94115  
TELEPHONE: 415-661-1134  
ANDREW@MANNARCHITECTURE.COM



**MAIN HOUSE - APPROVED SECOND FLOOR PLAN**

ORIGINAL SHEET DATE: 03/23/20  
SCALE: 1/4" = 1'-0"  
DRAWN BY: AMA  
SHEET NUMBER: P-A1.12

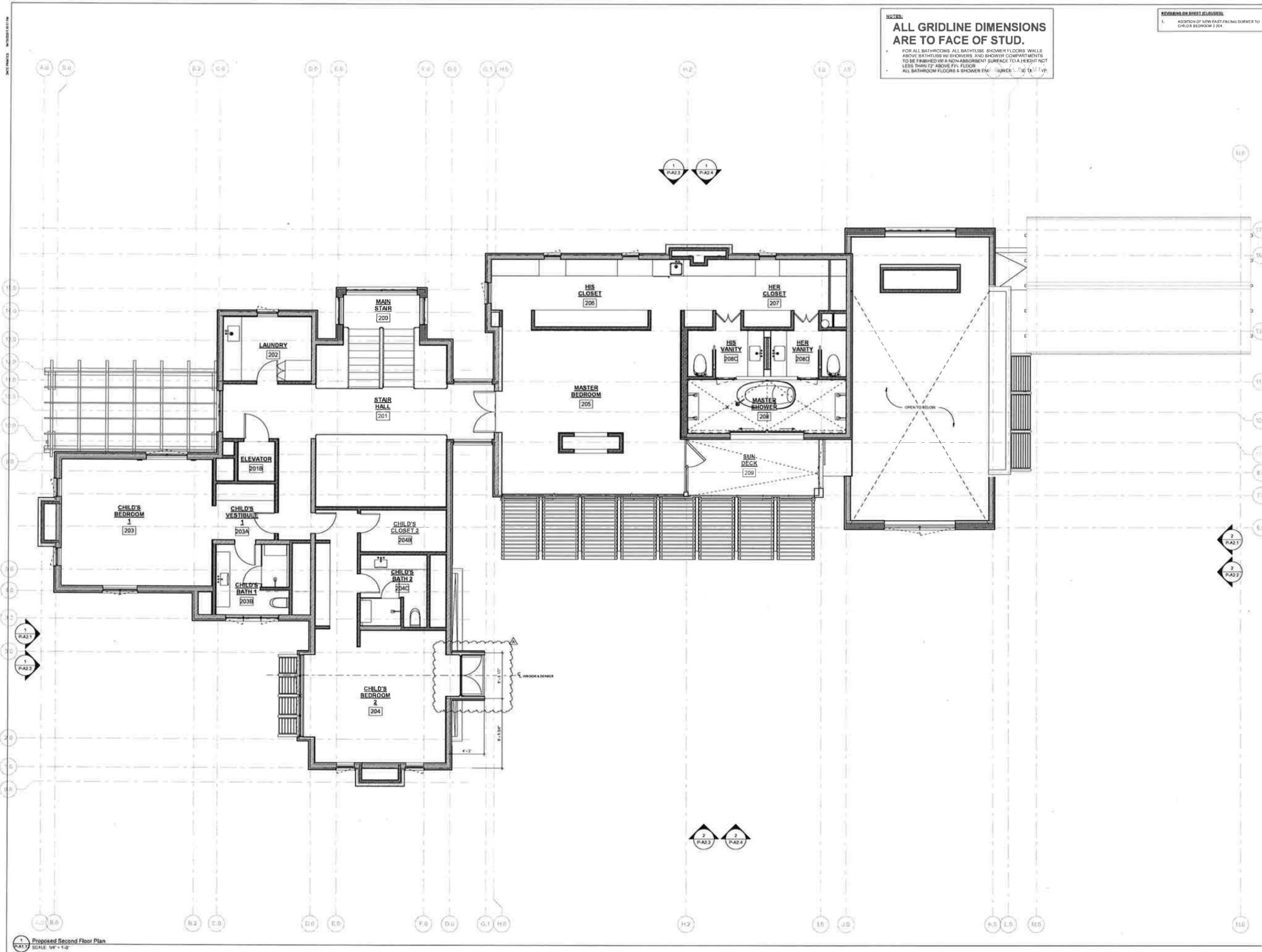
**P-A1.12**

1 Proposed Second Floor Plan  
SCALE: 1/4" = 1'-0"

REVISIONS OR SHEET CLOSURES  
 1. ADDITION OF NEW EAST-FACING CORNER TO CHILD'S BEDROOM 7 204

REV. ISSUED FOR DATE  
 A. JARRET 04/17/00

**NOTES:**  
**ALL GRIDLINE DIMENSIONS ARE TO FACE OF STUD.**  
 FOR ALL BATHROOMS ALL BATHTUBS, SHOWER FLOORS, WALLS ABOVE BATHTUBS W/ SHOWERS, AND SHOWER COMPARTMENTS TO BE FINISHED W/ A NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 1/2" ABOVE FIN. FLOOR.  
 ALL BATHROOM FLOORS & SHOWER ENCLOSURES TO BE FINISHED TO FACE OF STUD.



1 UPPER ROAD  
 ROSS, CALIFORNIA  
 APN: 073-122-18

ANDREW MANN ARCHITECTURE  
 1500 ANTONIO DRIVE, SUITE 100  
 SAN FRANCISCO, CALIFORNIA 94102  
 TELEPHONE: 415-864-1414  
 ANDREW@MANNARCHITECTURE.COM

AIM ARCHITECTURE  
 1000 LESTER STREET  
 SAN FRANCISCO, CALIFORNIA 94102  
 TELEPHONE: 415-424-2171  
 AIM@ARCHITECTURE.COM

SHEET TITLE  
 MAIN HOUSE - PROPOSED SECOND FLOOR PLAN

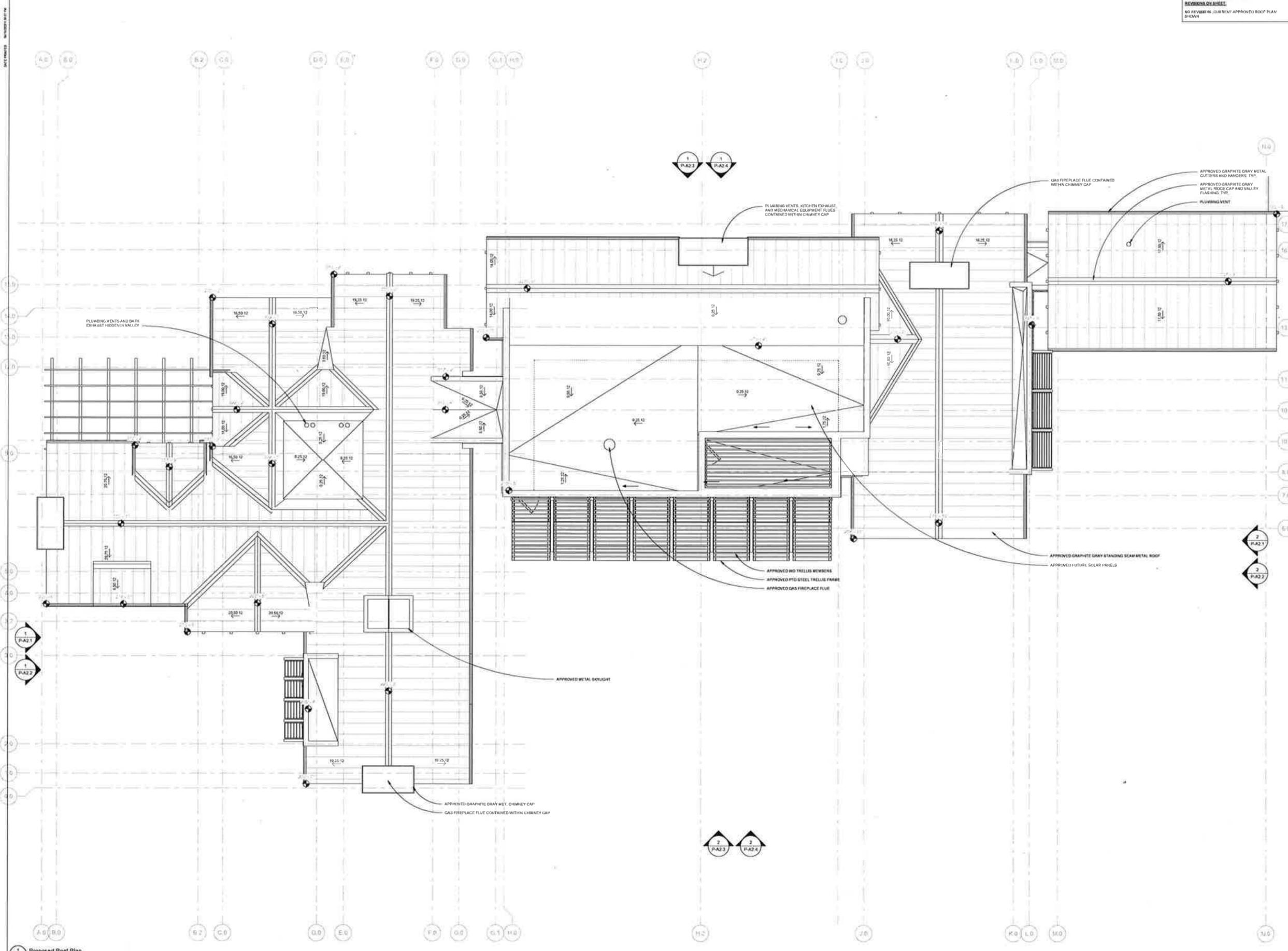
ORIGINAL SHEET DATE: 03/23/00  
 SCALE: 3/4" = 1'-0"  
 DRAWN BY: AMA  
 SHEET NUMBER:

P-A1.13

1 Proposed Second Floor Plan  
 SCALE: 3/4" = 1'-0"

REVISIONS ON SHEET:  
NO REVISIONS. CURRENT APPROVED ROOF PLAN SHOWN

REV. | DESCRIPTION | DATE  
A | ASSET | 04/10/20



1 UPPER ROAD  
ROSS, CALIFORNIA  
APN: 073-22-18

ANDREW MANN ARCHITECTURE  
1001 ANTONIO DRIVE, SUITE 300  
SAN FRANCISCO, CALIFORNIA 94109  
TELEPHONE: 415-461-1414  
ANDREW@MANNARCHITECTURE.COM

AM ARCHITECTURE  
ANDREW MANN ARCHITECTURE  
1001 ANTONIO DRIVE, SUITE 300  
SAN FRANCISCO, CALIFORNIA 94109  
TELEPHONE: 415-461-1414  
ANDREW@MANNARCHITECTURE.COM

SHEET TITLE  
MAIN HOUSE - APPROVED ROOF PLAN

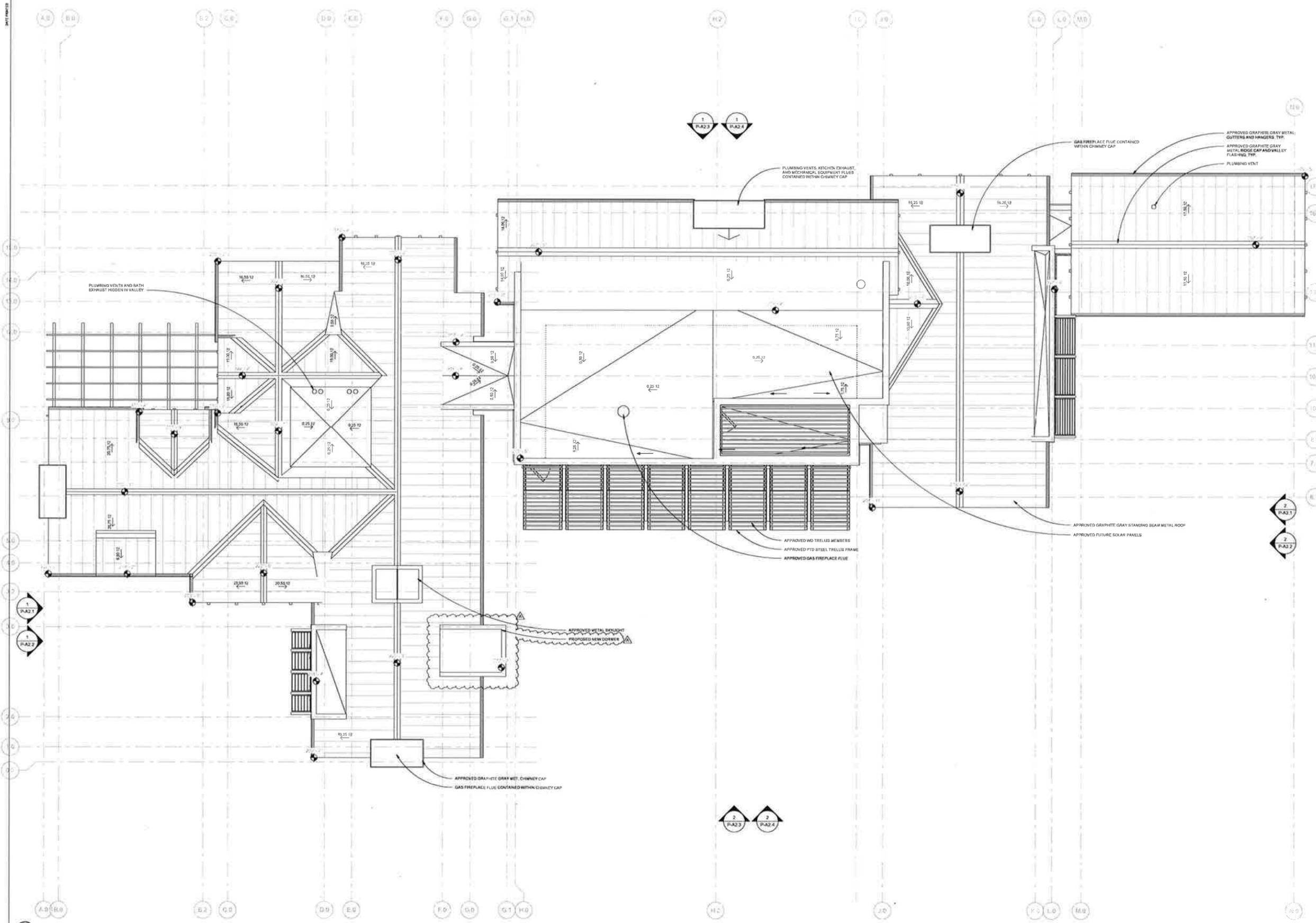
ORIGINAL SHEET DATE: 03/23/20  
SCALE: 1/4" = 1'-0"  
DRAWN BY: AMA  
SHEET NUMBER: P-A1.14

1 Proposed Roof Plan  
SCALE: 1/4" = 1'-0"

P-A1.14

REVISIONS TO SHEET PLUMBING  
 6. ADDITION OF NEW GAS-FACING CORNER TO CHILD'S BEDROOM 2204

REV	DATE	FOR	DATE
A	1/20/22	MARK SET	1/20/22



1 UPPER ROAD  
 ROSS, CALIFORNIA  
 APN: 073-122-18

ANDREW MANN ARCHITECTURE  
 100 AUSTIN STREET SUITE 202  
 SAN FRANCISCO, CALIFORNIA 94102  
 TELEPHONE: 415-824-3871  
 ANDREWMANARCHITECTURE.COM

AM  
 AUTUMN MARTINS  
 100 AUSTIN STREET  
 SAN FRANCISCO, CALIFORNIA 94102  
 TELEPHONE: 415-824-3871  
 AUTUMNMARTINS.COM

SHEET TITLE  
 MAIN HOUSE -  
 PROPOSED ROOF  
 PLAN

ORIGINAL SHEET ISSUE DATE	03/23/20
SCALE	1/8" = 1'-0"
DRAWN BY	AMA
SHEET NUMBER	

P-A1.15

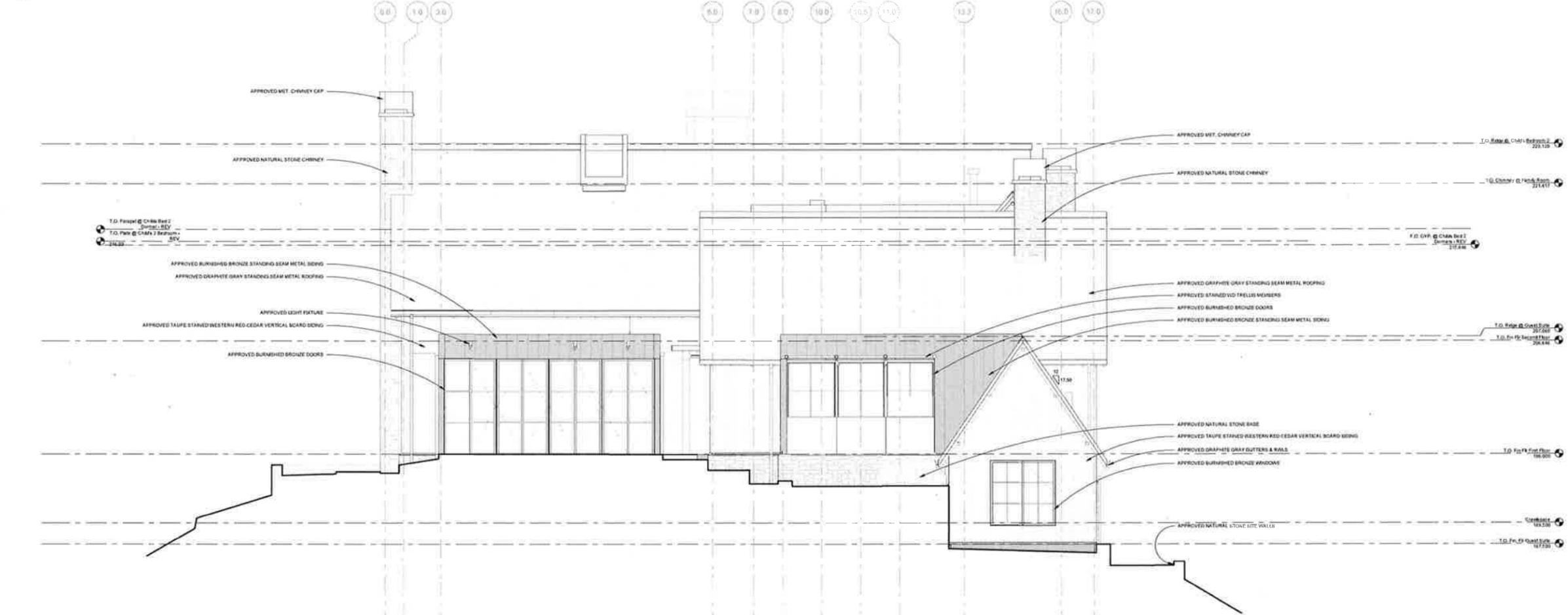
1 Proposed Roof Plan  
 SCALE: 1/8" = 1'-0"

REVISION SHEET  
NO REVISIONS, CURRENT APPROVED ELEVATIONS SHOWN

REV. NO. DATE  
A 04/17/20



1 Proposed West Elevation - APPROVED  
SCALE: 1/4" = 1'-0"



2 Proposed East Elevation - APPROVED  
SCALE: 1/4" = 1'-0"



1 UPPER ROAD  
ROSS, CALIFORNIA  
APN: 074-122-16

ANDREW MANN ARCHITECTURE  
382 LANTON STREET, SUITE 302  
SAN FRANCISCO, CALIFORNIA 94103  
TELEPHONE: (415) 441-1111  
ANDREWMANNARCH.COM

ANTONCHARTINS  
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SHEET TITLE  
MAIN HOUSE - APPROVED WEST & EAST ELEVATIONS

ORIGINAL SHEET DATE DATE  
03/23/20  
SCALE: 1/4" = 1'-0"  
DRAWN BY: AMA

SHEET NUMBER  
P-A2.1

REVISIONS ON SHEET SCHEDULED  
 1. ADDITION OF NEW EAST-FACING DORMER TO CHILD'S BEDROOM 204

REV	ISSUED FOR	DATE
1	ASR SET	04/11/20



1 Proposed West Elevation-  
 PROPOSED  
 SCALE: 1/4" = 1'-0"



2 Proposed East Elevation-  
 PROPOSED  
 SCALE: 1/4" = 1'-0"



1 UPPER ROAD  
 ROSS, CALIFORNIA  
 APN: 073-122-16

ANDREW MANN ARCHITECTURE  
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SHEET TITLE  
 MAIN HOUSE -  
 PROPOSED WEST  
 & EAST  
 ELEVATIONS

OFFICIAL SHEET ISSUE DATE  
 03/23/20  
 SCALE: 1/4" = 1'-0"  
 SHEET NUMBER: 184 SET

P-A2.2

REVISIONS ON SHEET:  
NO REVISIONS, CURRENT APPROVED ELEVATIONS SHOWN.



1 UPPER ROAD  
ROSS, CALIFORNIA  
APN: 073-122-18

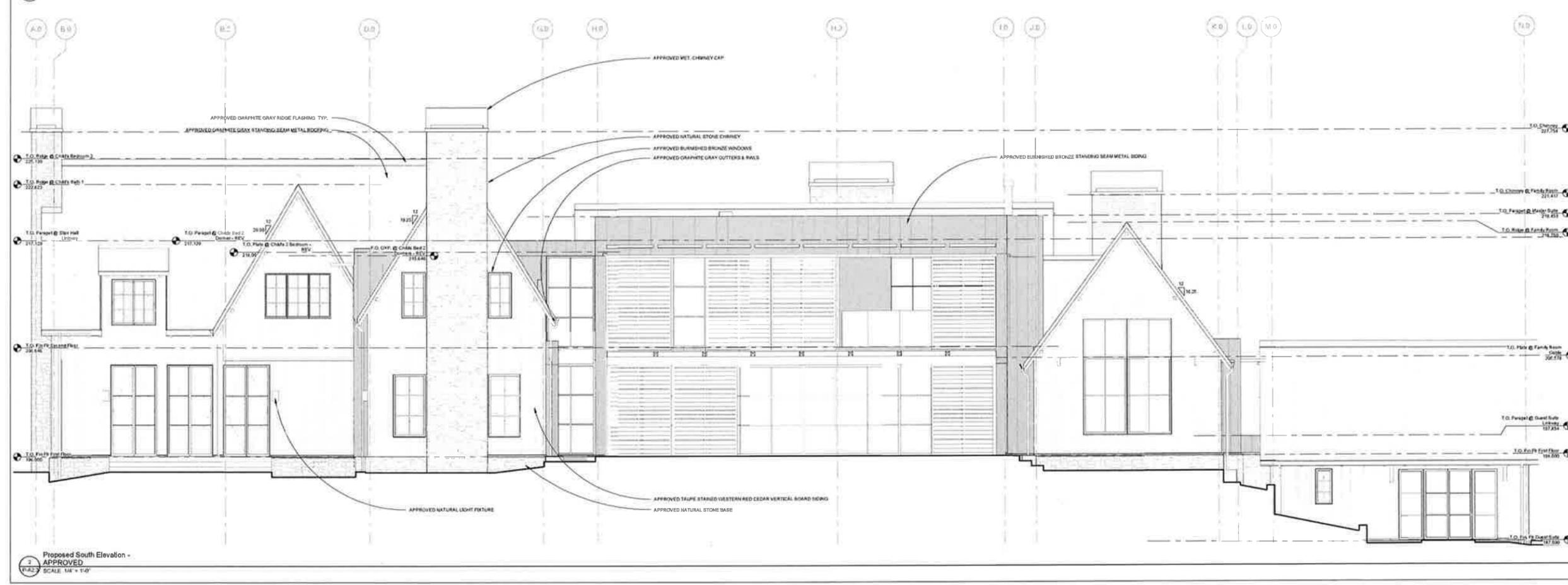
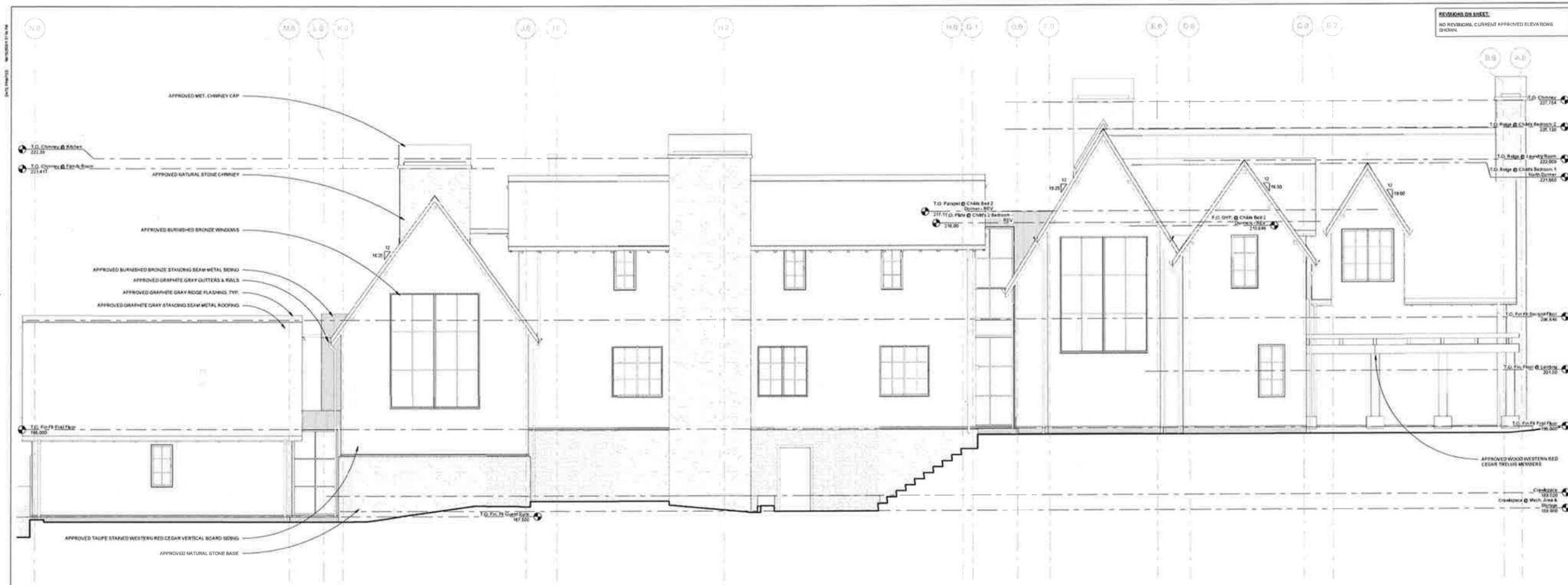
ANDREW MANN ARCHITECTURE  
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SHEET TITLE  
MAIN HOUSE - APPROVED NORTH & SOUTH ELEVATIONS

PREPARED BY: BMM/DAW  
DATE: 03/23/20  
SCALE: 1/4" = 1'-0"  
SHEET NUMBER

P-A2.3





DATE PLOTTED: MONDAY, 03/23/20



1 Proposed Southeast Aerial View -  
Dormer  
SCALE



2 Approved Southeast Aerial View -  
No Dormer  
SCALE

REV	ISSUED FOR	DATE
1	AGE SET	03/23/20



1 UPPER ROAD  
ROSS, CALIFORNIA  
APN: 073-122-18

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SHEET TITLE  
MAIN HOUSE -  
APPROVED &  
PROPOSED  
AERIAL VIEWS

ORIGINAL SHEET ISSUE DATE  
03/23/20  
SCALE  
DRAWN BY  
AMA  
SHEET NUMBER

P-A8.0

DATE PLOTTED: 10/20/2010 10:41 AM

REV	ISSUED FOR	DATE
A	ISSUED SET	08/11/10



2 Proposed Northwest Aerial View - APPROVED  
SCALE



1 Proposed Northwest Aerial View - PROPOSED  
SCALE



1 UPPER ROAD  
ROSS, CALIFORNIA  
APN: 073-122-16

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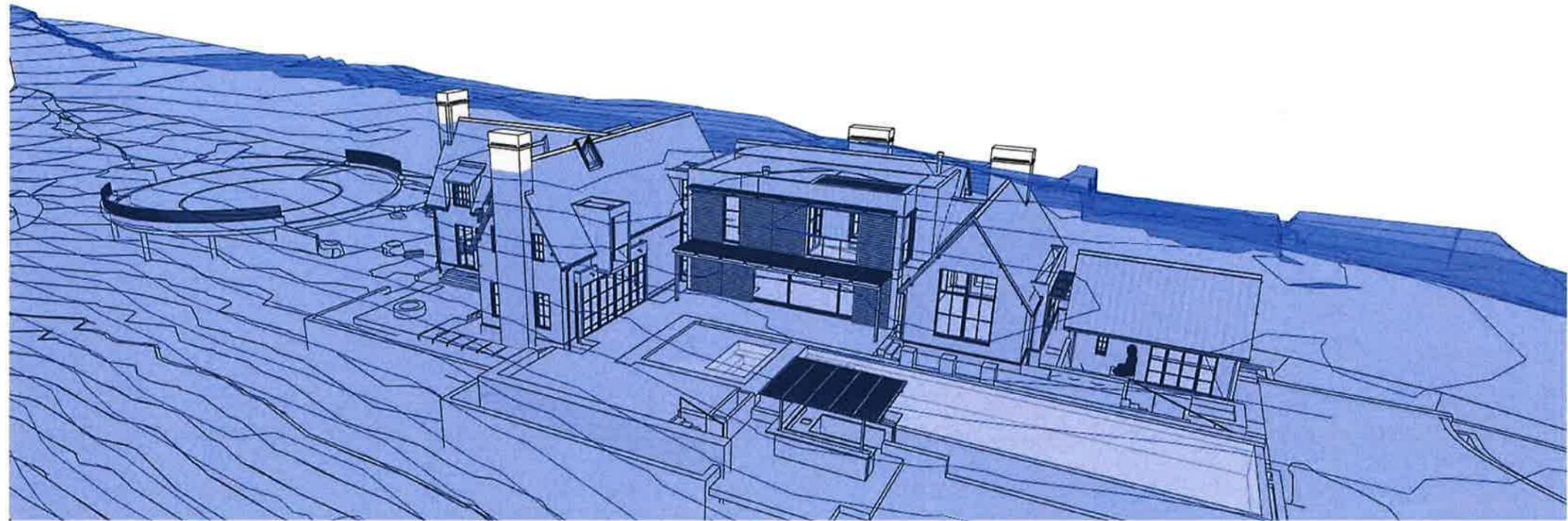
SHEET TITLE  
MAIN HOUSE - APPROVED & PROPOSED AERIAL NW VIEWS

ORIGINAL SHEET DATE: 03/23/09  
SCALE: 1/8" = 1'-0"  
DRAWN BY: AMA

SHEET NUMBER

P-A8.1

DATE PLOTTED: 08/22/2016 11:17 AM



2 Proposed 30' Height Limit Perspective  
SCALE: 1/8" = 1'-0"



1 Existing 30' Height Limit Perspective  
SCALE: 1/8" = 1'-0"

REV. ISSUED FOR DATE

A LAD SET 04/15/02



1 UPPER ROAD  
ROSS, CALIFORNIA  
APN 073-122-16

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SHEET TITLE  
MAIN HOUSE - 30'  
HEIGHT LIMIT  
PERSPECTIVES

ORIGINAL SHEET ISSUE DATE  
03/23/20

SCALE  
1/8" = 1'-0"

DRAWN BY  
AMA

SHEET NUMBER  
P-A8.2