



**Staff Report**

**Date:** June 16, 2020  
**To:** Advisory Design Review Group  
**From:** Matthew Weintraub, Planner  
**Subject:** 33 Bolinas Avenue

***ROLE OF THE ADVISORY DESIGN REVIEW GROUP:***  
*The role of the Advisory Design Review (ADR) Group is to provide non-binding advisory comments and/or recommendations to the Town Council with respect to the design, neighborhood compatibility and context, in addition of materials and colors consistent with the Town Design Review criteria and standards pursuant to Section 18.41.100 of the Ross Municipal Code. The ADR Group does not provide interpretations or recommendations regarding policy related matters such as Variances, Exceptions to Attics and Basements, Use Permits, etc. or consistency findings associated with discretionary land use permits listed in the zoning ordinance. The role of the Town Council is to consider the design related comments and recommendations of the ADR Group and take final action to approve or deny discretionary land use permits after consideration of the ADR Group comments and determination as to whether the requisite findings associated with the discretionary land use permits can be achieved.*

**Recommendation**

That the Advisory Design Review (ADR) Group receive a presentation from the applicant, consider any public comments, and provide a recommendation regarding the merits of the project as it relates to the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100 of the Ross Municipal Code (RMC).

**Project Information**

Owner: Tracy Family Trust (Libby Tracy)  
Applicant: Rodgers Architecture  
Street Address: 33 Bolinas Avenue  
Assessor Parcel Number: 073-051-10  
Zoning: R-1 (Single Family Residence, 5,000 Square Feet Minimum Lot Size)  
General Plan: M (Medium Density)  
Flood Zone: AE (Areas subject to inundation by the 1-percent-annual-chance flood event)

The applicant is requesting approval to lift the existing two-story single-family residence 5 feet above its existing elevation in its current location, thereby creating a new crawlspace level

enclosed in smooth cement plaster beneath the existing home. The project would involve replacing the existing separate front entrances to the first and second stories with a new single-level covered entry porch at the new first floor elevation, and replacing the existing back stairs with new stairs and landings that access both stories at the new floor elevations.

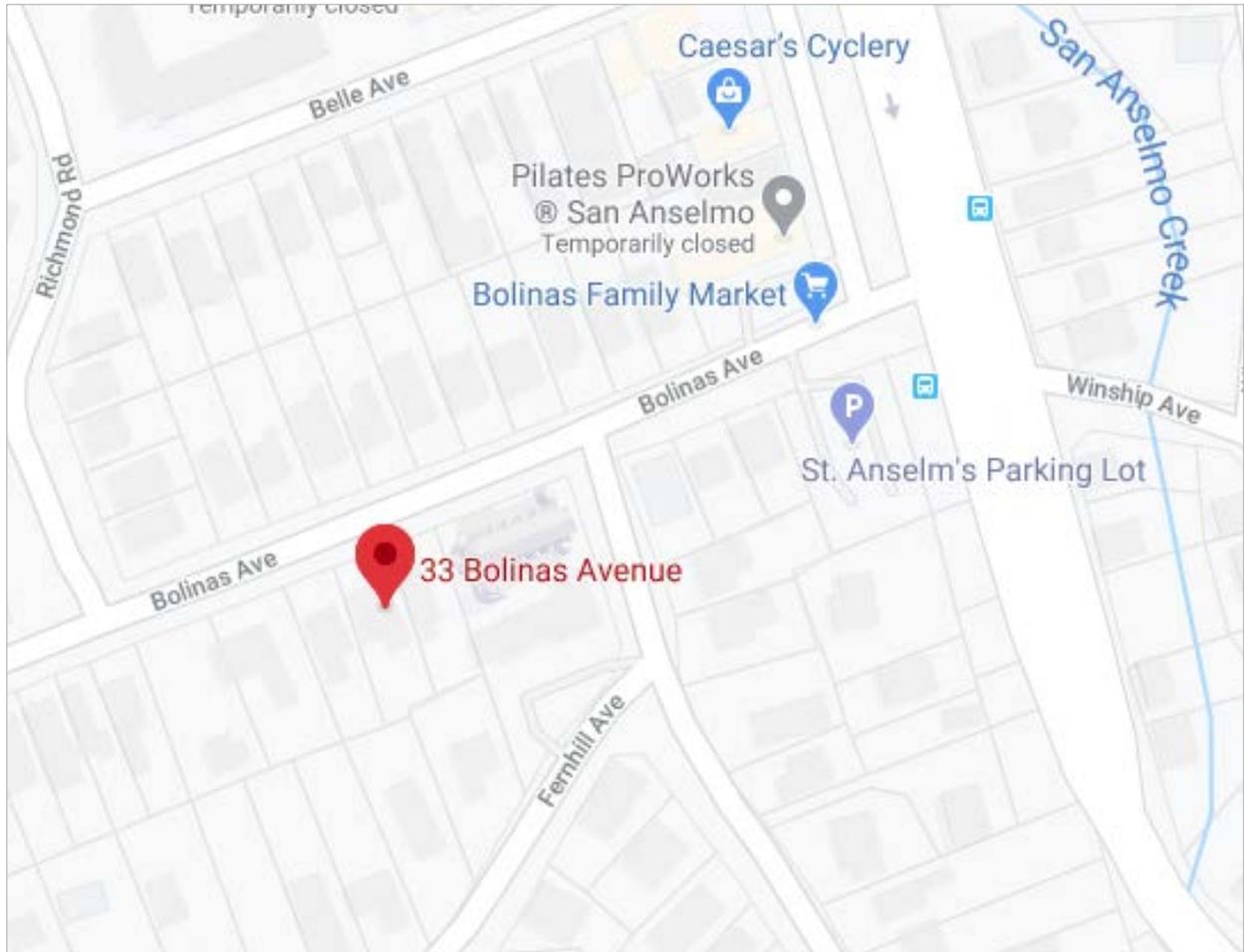


Figure 1. Location map. (Courtesy of Google Maps.)

**Project Summary Data**

Project Item	Code Standard	Existing	Proposed
Lot Area	5,000 sq. ft. min.	7,750 sq. ft.	No change
Floor Area	1,550 sq. ft. (20%) max.	4,027 sq. ft. (52%)	3,981 sq. ft. (51%)
Building Lot Coverage	1,550 sq. ft. (20%) max.	2,346 sq. ft. (30%)	2,496 sq. ft. (32%)
Front Yard Setback	25 ft. min.	28'-4"	25'-0"
Side Yard Setback, North	15 ft. min.	5'-3"	No change
Side Yard Setback, South	15 ft. min.	4 ft.	No change
Rear Yard Setback	40 ft. min.	57'-3"	No change
Building Height	30 ft. (2 stories) max.	24'-3" (2 stories)	29'-3" (2 stories)
Off-street Parking	2 spaces (1 covered) min.	2 (none covered)	No change

Project Item	Code Standard	Existing	Proposed
Impervious Surfaces *	---	3,949 sq. ft. (51%)	4,084 sq. ft. (53%)

\* Per Low Impact Development for Stormwater Management, Design Review Criteria and Standards (RMC Section 18.41.100 (t)).

### Project Description

The project site is a 7,750 -square-foot, generally rectangular lot on the south side of Bolinas Avenue. The lot is flat with no recorded slope. The property is located within the Federal Emergency Management Agency (FEMA) Special Flood Hazard Area Zone AE, which is defined as an area subject to inundation by the 1-percent-annual-chance flood event (also referred to as the base flood or 100-year flood). The existing residential property is nonconforming with respect to the maximum allowed floor area and lot coverage, the minimum required side yard setbacks, and the minimum required covered off-street parking requirement for the Zoning District. The Project History is included as **Attachment 2**.



Figure 2. Vicinity Map and Floodplain Proximity Map. (Courtesy of MarinMap.)

The proposed project would lift the existing two-story single-family residence 5 feet above its existing elevation in its current location in order to raise the habitable space out of the floodplain. The project would create a new crawlspace level enclosed in smooth cement plaster beneath the existing home. The maximum building height would increase from an existing 24'-3" to a proposed 29'-3", which would comply with the maximum allowed 30-foot building height limit. In conjunction with lifting the residence, the project would replace the existing separate front entrances to the first and second stories with a new single-level covered entry porch at the new

first floor elevation. The new entry porch would reduce the front yard setback from an existing 28'-4" to approximately 25 feet, which would comply with the minimum required 25-foot front yard setback. The project would also replace the existing back stairs with new stairs and landings that access both stories at the new floor elevations, which would comply with the minimum required 40-foot rear yard setback. The project would maintain the existing nonconforming side yard setbacks. The project would reduce the existing nonconforming floor area on the lot (including construction of a new covered front porch that is exempted from floor area) while increasing the existing nonconforming lot coverage due to the entry reconfigurations required by lifting the structure. The project would also update the fenestration by replacing and installing new windows and doors at all elevations.

The proposed project colors and materials would match the existing residence including the following:

- Painted wood siding
- Painted wood porch and railings (front)
- Metal and glass porch railings (rear)
- Wood doors and windows
- Smooth cement plaster base (new)

The applicant is requesting approval of a Nonconformity Permit to increase the existing nonconforming lot coverage and to increase the height of a structure with existing nonconforming setbacks, and Design Review to increase the height of an existing building.

The Project Description is included as **Attachment 3**. The Project Plans are included as **Attachment 5**.

### **Discussion**

Staff is requesting the ADR Group to provide a recommendation as to the consistency of the project with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100 of the Ross Municipal Code (see **Attachment 1**). The Town of Ross Design Guidelines provide a basis for making consistent decisions about the appropriateness of new development and improvements to existing properties that are subject to the Town's Design Review process. According to the Design Contexts map of the Design Guidelines (Figure 2.1 on page 10), the subject property is in the "Strong Street Relationship/Flat" context, which is defined as follows:

In these areas, entries to homes are highly visible and houses have a consistent pattern of uniform setbacks and street orientation. A walkway typically provides a physical connection to the public realm. In some cases, on-street parking creates a somewhat more formal road edge.

Sometimes a home may not be sited parallel to the street, but it is connected to it with a pathway. Landscaping may highlight that path.

These areas exist along Bolinas, Poplar and Wellington Avenues.

The Town of Ross Design Guidelines provide specific guidelines that can be used in evaluating

projects, which along with the guidelines statements themselves and associated imagery may be used in determining appropriateness. Staff finds that the following design guidelines are applicable to the proposed project:

- 4.40 Consider the existing access to views, light and air neighboring properties have when adding or incorporating tall trees or plantings, or building a new structure on a site.
- 4.41 Minimize the amount of shadow created on neighboring properties.

#### Design of Raised Buildings

In some cases, it may be desirable or necessary to elevate the foundation of an existing building or new residential structure to provide greater flood protection. An elevated foundation should be compatible with the overall design of the residential building and the character of Ross.

- 4.61 When raising a structure, maintain the overall proportions of the facade.
  - Provide detailing to articulate the wall of a raised foundation and to break up its perceived scale.
  - Screen a raised foundation with landscaping elements such as planters. (Such landscaping elements may also be set away from the foundation to create a visual screen while complying with WUI standards).
  - Depending on context, a range of options may be appropriate for the treatment of a raised foundation. The intent is to reduce the perceived increase in height of the foundation.
    - A horizontal belt course reduces the perceived height of the raised foundation.
    - Masonry creates detail on a raised foundation to break up the perceived scale.
    - A planter screens the raised portion of the foundation.
    - Low-scale plantings screen the raised portion of the foundation.
- 4.62 Minimize the visual impact of any stair extension.
  - Consider breaking up a stair extension to keep its proportions similar to the original scale.
  - If the facade is symmetrical in composition, then the stair extension should also be symmetrical.
  - Depending on context, a range of options may be appropriate for designing a stair extension.
    - Accommodate the raised foundation with a landing that breaks up the length of the stairway, while maintaining the symmetry of the façade.
    - Accommodate the raised foundation with a right turn that allows the stair to function without encroaching on the front property line.
- 5.12 Provide a sense of visual permeability with doors and windows. This is more critical when a building is located close to the street, which often occurs in the Constrained Grid Neighborhood and Strong Street Relationship/Flat contexts.

- 5.13 Design a primary entrance to create a visual and physical connection to the street.
  - Potential elements to incorporate include porch, portico, stoop, canopy/overhang, building recess, and/or moldings.
  
- 5.14 Size and proportion an entry element to be in scale with those of nearby buildings. This is particularly important in the Constrained Grid Neighborhood and Strong Street Relationship/Flat contexts.
  
- 5.16 Design a porch to be functional, with a minimum depth of 5 feet.

**Attachments**

- 1. Design Review Criteria and Standards (Ross Municipal Code Section 18.41.100)
- 2. Project History
- 3. Project Description
- 4. Neighborhood Outreach Description
- 5. Project Plans

# ATTACHMENT 1

### **18.41.100 Design Review Criteria and Standards.**

This section provides guidelines for development. Compliance is not mandatory but is strongly recommended. The Town Council may deny an application where there are substantial inconsistencies with one or more guidelines in a manner that is counter to any purpose of this ordinance.

#### **(a) Preservation of Natural Areas and Existing Site Conditions.**

(1) The existing landscape should be preserved in its natural state by keeping the removal of trees, vegetation, rocks and soil to a minimum. Development should minimize the amount of native vegetation clearing, grading, cutting and filling and maximize the retention and preservation of natural elevations, ridgelines and natural features, including lands too steep for development, geologically unstable areas, wooded canyons, areas containing significant native flora and fauna, rock outcroppings, view sites, watersheds and watercourses, considering zones of defensible space appropriate to prevent the spread of fire.

(2) Sites should be kept in harmony with the general appearance of neighboring landscape. All disturbed areas should be finished to a natural-appearing configuration and planted or seeded to prevent erosion. (3) Lot coverage and building footprints should be minimized where feasible, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Environmentally sensitive areas, such as areas along streams, forested areas, and steep slopes shall be a priority for preservation and open space.

(b) Relationship Between Structure and Site. There should be a balanced and harmonious relationship among structures on the site, between structures and the site itself, and between structures on the site and on neighboring properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land forms and step with the slope in order to minimize building mass, bulk and height and to integrate the structure with the site.

#### **(c) Minimizing Bulk and Mass.**

(1) New structures and additions should avoid monumental or excessively large size out of character with their setting or with other dwellings in the neighborhood. Buildings should be compatible with others in the neighborhood and not attract attention to themselves. When nonconforming floor area is proposed to be retained with site redevelopment, the Council may consider the volume and mass of the replacement floor area and limit the volume and mass where necessary to meet the intent of these standards.

(2) To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single-plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety and to break up building plans. The development of dwellings or dwelling groups should not create excessive mass, bulk or repetition of design features.

(d) Materials and Colors.

(1) Buildings should use materials and colors that minimize visual impacts, blend with the existing land forms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Colors and materials should be compatible with those in the surrounding area. High-quality building materials should be used.

(2) Natural materials such as wood and stone are preferred, and manufactured materials such as concrete, stucco or metal should be used in moderation to avoid visual conflicts with the natural setting of the structure.

(3) Soft and muted colors in the earthtone and woodtone range are preferred and generally should predominate.

(e) Drives, Parking and Circulation.

(1) Good access, circulation and off-street parking should be provided consistent with the natural features of the site. Walkways, driveways, curb cuts and off-street parking should allow smooth traffic flow and provide for safe ingress and egress to a site.

(2) Access ways and parking areas should be in scale with the design of buildings and structures on the site. They should be sited to minimize physical impacts on adjacent properties related to noise, light and emissions and be visually compatible with development on the site and on neighboring properties. Off-street parking should be screened from view. The area devoted to driveways, parking pads and parking facilities should be minimized through careful site planning.

(3) Incorporate natural drainage ways and vegetated channels, rather than the standard concrete curb and gutter configuration to decrease flow velocity and allow for stormwater infiltration, percolation and absorption.

(f) Exterior Lighting. Exterior lighting should not create glare, hazard or annoyance to adjacent property owners or passersby. Lighting should be shielded and directed downward, with the location of lights coordinated with the approved landscape plan. Lamps should be low wattage and should be incandescent.

(g) Fences and Screening. Fences and walls should be designed and located to be architecturally compatible with the design of the building. They should be aesthetically attractive and not create a "walled-in" feeling or a harsh, solid expanse when viewed from adjacent vantage points. Front yard fences and walls should be set back sufficient distance from the property line to allow for installation of a landscape buffer to soften the visual appearance. Transparent front yard fences and gates over four feet tall may be permitted if the design and landscaping is compatible and consistent with the design, height and character of fences and landscaping in the neighborhood. Front yard vehicular gates should be transparent to let light and lines of sight through the gate.

Solid walls and fences over four feet in height are generally discouraged on property lines adjacent to a right-of-way but may be permitted for properties adjacent to Poplar Avenue and Sir Francis Drake Boulevard based on the quality of the design, materials, and landscaping proposed. Driveway gates should be automatic to encourage use of onsite parking. Pedestrian gates are encouraged for safety, egress, and to encourage multi-modal transportation and pedestrian-friendly neighborhood character.

(h) Views. Views of the hills and ridgelines from public streets and parks should be preserved where possible through appropriate siting of improvements and through selection of an appropriate building design including height, architectural style, roof pitch and number of stories.

(i) Natural Environment.

(1) The high-quality and fragile natural environment should be preserved and maintained through protecting scenic resources (ridgelines, hillsides, trees and tree groves), vegetation and wildlife habitat, creeks, drainageways threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

(2) Development in upland areas shall maintain a setback from creeks or drainageways.

The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards.

(3) Development in low-lying areas shall maintain a setback from creeks or drainageways consistent with the existing development pattern and intensity in the area and on the site, the riparian value along the site, geologic stability, and the development alternatives available on the site. The setback should be maximized to protect the natural resource value of the riparian area and to protect residents from geologic and flood hazards.

(4) The filling and development of land areas within the one-hundred-year flood plain is discouraged. Modification of natural channels of creeks is discouraged. Any modification shall retain and protect creekside vegetation in its natural state as much as possible. Reseeding or replanting with native plants of the habitat and removal of broom and other aggressive exotic plants should occur as soon as possible if vegetation removal or soil disturbance occurs.

(5) Safe and adequate drainage capacity should be provided for all watercourses.

(j) Landscaping.

(1) Attractive, fire-resistant, native species are preferred. Landscaping should be integrated into the architectural scheme to accent and enhance the appearance of the development. Trees on the site, along public or private streets and within twenty feet of common property lines, should be protected and preserved in site planning.

Replacement trees should be provided for trees removed or affected by development. Native trees should be replaced with the same or similar species. Landscaping should include planting of additional street trees as necessary.

(2) Landscaping should include appropriate plantings to soften or screen the appearance of structures as seen from off-site locations and to screen architectural and mechanical elements such as foundations, retaining walls, condensers and transformers.

(3) Landscape plans should include appropriate plantings to repair, reseed and/or replant disturbed areas to prevent erosion.

(4) Landscape plans should create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire.

(5) Wherever possible, residential development should be designed to preserve, protect and restore native site vegetation and habitat. In addition, where possible and appropriate, invasive vegetation should be removed.

(k) Health and Safety. Project design should minimize the potential for loss of life, injury or damage to property due to natural and other hazards. New construction must, at a minimum, adhere to the fire safety standards in the Building and Fire Code and use measures such as fire-preventive site design, landscaping and building materials, and fire-suppression techniques and resources. Development on hillside areas should adhere to the wildland urban interface building standards in Chapter 7A of the California Building Code. New development in areas of geologic hazard must not be endangered by nor contribute to hazardous conditions on the site or on adjoining properties.

(l) Visual Focus.

(1) Where visibility exists from roadways and public vantage points, the primary residence should be the most prominent structure on a site. Accessory structures, including but not limited to garages, pool cabanas, accessory dwellings, parking pads, pools and tennis courts, should be sited to minimize their observed presence on the site, taking into consideration runoff impacts from driveways and impervious surfaces. Front yards and street side yards on corner lots should remain free of structures unless they can be sited where they will not visually detract from the public view of the residence.

(2) Accessory structures should generally be single-story units unless a clearly superior design results from a multilevel structure. Accessory structures should generally be small in floor area. The number of accessory structures should be minimized to avoid a feeling of overbuilding a site. Both the number and size of accessory structures may be regulated in order to minimize the overbuilding of existing lots and attain compliance with these criteria.

(m) Privacy. Building placement and window size and placement should be selected with consideration given to protecting the privacy of surrounding properties. Decks, balconies and other outdoor areas should be sited to minimize noise to protect the privacy and quietude of surrounding properties. Landscaping should be provided to protect privacy between properties. Where nonconformities are proposed to be retained, the proposed structures and landscaping should not impair the primary views or privacy of adjacent properties to a greater extent than the impairment created by the existing nonconforming structures.

(n) Consideration of Existing Nonconforming Situations. Proposed work should be evaluated in relationship to existing nonconforming situations, and where determined to be feasible and reasonable, consideration should be given to eliminating nonconforming situations.

(o) Relationship of Project to Entire Site.

(1) Development review should be a broad, overall site review, rather than with a narrow focus oriented only at the portion of the project specifically triggering design review. All information on site development submitted in support of an application constitutes the approved design review project and, once approved, may not be changed by current or future property owners without town approval.

(2) Proposed work should be viewed in relationship to existing on-site conditions. Pre-existing site conditions should be brought into further compliance with the purpose and design criteria of this chapter as a condition of project approval whenever reasonable and feasible.

(p) Relationship to Development Standards in Zoning District. The town council may impose more restrictive development standards than the standards contained in the zoning district in which the project is located in order to meet these criteria. Where two or more contiguous parcels are merged into one legal parcel, the Town Council may consider the total floor area of the existing conforming and legal nonconforming structures and may reduce the permitted floor area to meet the purposes of these standards.

(q) Project Reducing Housing Stock. Projects reducing the number of housing units in the town, whether involving the demolition of a single unit with no replacement unit or the demolition of multiple units with fewer replacement units, are discouraged; nonetheless, such projects may be approved if the council makes findings that the project is consistent with the neighborhood and town character and that the project is consistent with the Ross general plan.

(r) Maximum Floor Area. Regardless of a residentially zoned parcel's lot area, a guideline maximum of ten thousand square feet of total floor area is recommended. Development above guideline floor area levels may be permitted if the town council finds that such development intensity is appropriate and consistent with this section, the Ross municipal Code and the Ross general plan. Factors which would support such a finding include, but are not limited to: excellence of design, site planning which

minimizes environmental impacts and compatibility with the character of the surrounding area.

(s) **Setbacks.** All development shall maintain a setback from creeks, waterways and drainageways. The setback shall be maximized to protect the natural resource value of riparian areas and to protect residents from geologic and other hazards. A minimum fifty-foot setback from the top of bank is recommended for all new buildings. At least twenty-five feet from the top of bank should be provided for all improvements, when feasible. The area along the top of bank of a creek or waterway should be maintained in a natural state or restored to a natural condition, when feasible.

(t) **Low Impact Development for Stormwater Management.** Development plans should strive to replicate natural, predevelopment hydrology. To the maximum extent possible, the post-development stormwater runoff rates from the site should be no greater than pre-project rates. Development should include plans to manage stormwater runoff to maintain the natural drainage patterns and infiltrate runoff to the maximum extent practical given the site's soil characteristics, slope, and other relevant factors. An applicant may be required to provide a full justification and demonstrate why the use of Low Impact Development (LID) design approaches is not possible before proposing to use conventional structural stormwater management measures which channel stormwater away from the development site.

(1) **Maximize Permeability and Reduce Impervious Surfaces.** Use permeable materials for driveways, parking areas, patios and paths. Reduce building footprints by using more than one floor level. Pre-existing impervious surfaces should be reduced. The width and length of streets, turnaround areas, and driveways should be limited as much as possible, while conforming with traffic and safety concerns and requirements. Common driveways are encouraged. Projects should include appropriate subsurface conditions and plan for future maintenance to maintain the infiltration performance.

(2) **Disperse Runoff On Site.** Use drainage as a design element and design the landscaping to function as part of the stormwater management system. Discharge runoff from downspouts to landscaped areas. Include vegetative and landscaping controls, such as vegetated depressions, bioretention areas, or rain gardens, to decrease the velocity of runoff and allow for stormwater infiltration on-site. Avoid connecting impervious areas directly to the storm drain system.

(3) **Include Small-Scale Stormwater Controls and Storage Facilities.** As appropriate based on the scale of the development, projects should incorporate small-scale controls to store stormwater runoff for reuse or slow release, including vegetated swales, rooftop gardens or "green roofs", catch-basins retro-fitted with below-grade storage culverts, rain barrels, cisterns and dry wells. Such facilities may be necessary to meet minimum stormwater peak flow management standards, such as the no net increase standard. Facilities should be designed to minimize mosquito production. (Ord. 653 (part), 2014; Ord. 641 (part), 2013; Ord. 619 (part), 2010; Ord. 611 (part), 2008; Ord. 575 (part), 2003; Ord. 555, 2000; Ord. 543-1 (part), 1998; Ord. 514 §1 (part), 1993).

## ATTACHMENT 2

MINUTES OF THE REGULAR MEETING OF THE TOWN OF ROSS COUNCIL  
HELD ON MAY 10, 1956

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Just prior to the opening of the meeting Councilman Cockburn was sworn into office by Town Clerk Cole.

The meeting was called to order by Mayor Cockburn at 8:07 PM.

Present: Councilmen- Cockburn, Kanzee, McNab, Selfridge, Wolcott

Absent : Councilman- None

The minutes of the regular meeting of April 12, 1956, the adjourned regular meeting of April 17, 1956 and the newly constituted Council meeting of April 17, 1956 were approved as mailed to the Councilmen and the reading thereof waived.

The Variance request of Wm. S. Pier, Lagunitas Road, Carried forward from the last meeting was reviewed. The Council advised Mr. Pier that in view of the objections of Mr. E. G. Lohmann and the fact that the addition would exaggerate the present non-conforming structure, the Variance could not be granted. Mr. Pier asked to withdraw his request, which the Council granted. Variance No. 52 was, therefore cancelled.

Wilton Smith, architect, representing the Roman Catholic Church requested the granting of a variance for the replacement and construction of a new rectory. A review of the plans disclosed that while the new structure would occupy almost the exact site the present structure occupies, it did not have the required rear or front yard area.

The Council ordered Variance No. 53 carried forward to allow time for the applicant to secure the approval of the neighbors.

Alice Gatterdam, 33 Bolinas Avenue, requested the granting of a variance as to side and rear yard areas for the addition to the existing dwelling. All the neighbors had agreed to the plans. On motion of Councilman Kanzee, seconded by Councilman Selfridge and by unanimous vote of the Council, Variance No. 54 was granted.

June S. Haseltine, Skyland Way, requested the granting of a variance for the construction of a bath house. The plans disclosed that the front yard area conformed but because of the angle to the rear property line, the bath house would be less than ~~40~~ 40' from the rear line. All the neighbors had agreed to the plan. On motion of Councilman Kanzee, seconded by Councilman McNab and by unanimous vote of the Council, Variance No. 55 was granted.

Mayor Cockburn announced that the Council would now hold the public hearing on the application of the Ross Valley School for a Land Use Permit. The Clerk advised that the notice of hearing had been published in the Independent-Journal and notification sent all property owners within 500' of the parcel involved. Mayor Cockburn then invited the petitioners to present their side in the matter.

Robt. E. Burns stated that he was the attorney representing the proponents. He said the school was being organized by local ~~residents~~ residents and the directors were Messrs Allen, Gatterdam, Jacks, Holter, Lewis, Painter and Pomeroy. There was a great need for further educational facilities, he added, so that a young man could go to a private day school and prepare for college. Too, this would help

February 8, 2001

Town Planner Broad explained the plans, noting for the record that there is a parking deck that is 420 sq. ft., resulting in an existing FAR of 11.2. Thus, the proposed FAR would be 11.4, still well within the allowable 15%. The application does not trigger a hillside application because of the limited scope. Mayor Pro Tempore Hart was concerned about the narrow road and construction trucks blocking the traffic. Ms. Julie Dowling, the project architect, explained that the driveway is large enough to accommodate six to eight cars and she would be happy to accept the condition that all vehicles be parked on site. Accordingly, Mayor Pro Tempore Hart moved approval with the findings in the staff report and the following amended conditions:

1. This project shall comply with all Public Safety Department conditions.
2. The Town Council reserves the right to require landscape screening for up to two years from project final.
3. Exterior lighting shall not create glare, hazard or annoyance to adjacent property owners. Lighting shall be shielded and directed downward.
4. No changes from the approved plans shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner prior to the issuance of any building permits.
5. The project owners and contractors shall be responsible for maintaining Town roadways and right-of-ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. **All construction vehicles shall be parked on site.**
6. Exterior materials and colors shall be as identified in the approved plans. Roof material and color shall be approved by the Town Planner prior to the issuance of a building permit.
7. Any portable chemical toilets shall be placed off the street and out of public view.
8. The Town shall promptly notify the applicants and/or owners of any such claim, action or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

This was seconded by Councilmember Delanty Brown and passed unanimously.

21.

**VARIANCE #1386**

**Adam and Libby Tracy; 33 Bolinas Avenue, A.P. No. 73-051-10, R-1 (Single Family Residence). Variance to allow the addition of a 60 square foot landing and stairway from the upper level to the rear yard and to allow the existing sunroom roof to be raised within the west side yard setback (15 feet required, 5 feet proposed and existing.)**

<b>Lot Area</b>	<b>7,750 sq. ft.</b>
<b>Present Lot Coverage</b>	<b>30.5%</b>
<b>Proposed Lot Coverage</b>	<b>31.0% (20% permitted)</b>
<b>Present Floor Area Ratio</b>	<b>52.5%</b>
<b>Proposed Floor Area Ratio</b>	<b>53.3% (20% permitted)</b>

**The existing residence is nonconforming in side yard setbacks.**

Mr. Broad explained that the main living area is on the upper level and has no direct access to the back yard. He felt that this was a reasonable request because of the ingress/egress safety issue to the upper level. The stairway would conform to the setback requirements. He said that the proposed plans would result in a minimum change to the structure.

Mayor Pro Tempore Hart asked if the property had a garage in the past and Mr Broad said that he saw no evidence of a previous garage.

Councilmember Zorensky moved approval with the finding in the staff report and the following conditions:

1. This project shall comply with all Public Safety Department requirements.
2. The Town Council reserves the right to require landscape screening for up to two years from project final. Existing vegetation screening the proposed stairway from the parcel to the west shall be retained and replaced as necessary to provide continued screening.
3. Exterior lighting shall not create glare, hazard or annoyance to adjacent property owners. Lighting shall be shielded and directed downward.
4. The floor area of the stairs/landing shall not be traded-off to allow additional living space.
5. No changes from the approved plans shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner prior to the issuance of any building permits.
6. The project owners and contractors shall be responsible for maintaining Town roadways and right-of-ways free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately.
7. Any portable chemical toilets shall be placed off the street and out of public view.
8. The applicants and/or owners shall defend, indemnify and hold the Town harmless along with its boards, commissions, agents, officers, employees and consultants from any claim, action or proceeding against the Town, its boards, commissions, agents, officers, employees and consultants attacking or seeking to set aside, declare void or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense, however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

Seconded by Councilwoman Delanty Brown and passed unanimously.

Mayor Curtiss reminded the applicant that any changes would have to come back before the Council.

22. VARIANCE.

David and Janet Mourning; 65 Wellington Avenue, AP 72-071-08, R-1:B-10 (Single Family Residence, 10,000 sq. ft. minimum). Variance to allow a 6 foot by 9 foot trash enclosure within the side yard setback (15 feet required, 3 feet proposed) and within the rear yard setback (40 feet required, 2 feet proposed). The enclosure is 5.5 feet in height and replaces a similar enclosure.

Lot Area	12,254 sq. ft.
Present Lot Coverage	19.8%
Proposed Lot Coverage	19.8% (20% permitted)
Present Floor Area Ratio	29.2%
Proposed Floor Area Ratio	29.2% (20% permitted)

The existing residence and garage are nonconforming in setbacks.

Mr. Broad explained that this is an after-the-fact variance request and that the structure is mostly built and replaces a prior enclosure in the same general location.

Ms. Linda Brown, the adjoining neighbor, said that the prior structure did not have a slab foundation and was not a formal structure. She said that the old structure blended into the fence line and was unnoticeable. She asked that landscaping be installed to screen the enclosure.

Mr. Mourning said that a garbage shed previously existed and he apologized for not working with his neighbors. He planned to plant English laurel to screen the enclosure.

Ms. Brown said that previously there was a hole in the grape stake fence to access the garbage. She asked that conditions of approval include that the enclosure be maintained and

January 13, 2015 Minutes

c. The Town may require the property owner or preschool staff to monitor parking and drop off/pick up during scheduled drop-off and pick-up times and direct vehicles, as necessary.

4. Up to eight employees are permitted for the preschool.

5. Any changes to the floor area, use, hours of operation, number of employees, or the number of students, which exceeds the maximums as stated in these conditions, shall require an amendment to this Conditional Use Permit.

6. The outdoor play area is limited to the existing area south of the preschool classes and may not be expanded without prior approval.

7. All other previous conditions of approval for the 14 Lagunitas Road site shall remain in full force and effect.

8. Hours of operation for the preschool shall be Monday through Friday from 8 a.m. to 1 p.m. from September to June, excluding Ross School Holidays. Ross Recreation may continue to offer other programs for children and adults after the preschool is closed, consistent with the historic use of the property.

9. Minor modifications to the Conditional Use Permit consistent with the Town of Ross Municipal Code may be made subject to review and approval of the Planning Department if the modifications are in keeping with the intent of the original approval.

10. Signage is not a part of this review. The applicant shall apply to the Planning Department for a separate sign permit prior to the installation of any permanent signage at the site.

11. The preschool shall obtain and maintain any necessary permits from local, state and federal agencies for operation of the expanded preschool.

12. The property owner is responsible for ensuring all improvements comply with Americans with Disabilities Act, regardless of whether a building permit is required.

*The Council took a short recess at 8:45 p.m. and Town Attorney Stephanie Cich left the Town Council meeting at 8:51 p.m. Then the Council resumed the Council meeting at 8:55 p.m.*

*Council Member Small recused herself from the next agenda item in order to avoid the appearance of a conflict.*

**18. 33 Bolinas Avenue, Variance No. 1986**

Adam and Libby Tracy, 33 Bolinas Avenue, A.P. No. 73-051-10, R-1 (Single Family Residential, 5,000 sq. ft. min. lot size), Medium Density (6-10 Units/Acre), Zone AE (High Risk Area with a 1% annual chance of flooding and a 26% chance of flooding over the life of a 30-year mortgage). Request for lot coverage variance and west side yard setback variance (15 feet required, 7.75 feet proposed) to add 260 square feet of new deck to an existing second floor stair landing.

<b>Lot Area</b>	<b>7,750 square feet</b>
<b>Existing Floor Area Ratio</b>	<b>4,064 sq. ft. 52.4%</b>
<b>Proposed Floor Area Ratio</b>	<b>4,064 sq. ft. 52.4% (20% permitted)</b>
<b>Existing Lot Coverage</b>	<b>2,080 sq. ft. 26.8%</b>
<b>Proposed Lot Coverage</b>	<b>2,340 sq. ft. 30.1% (20% permitted)</b>
<b>Existing Impervious Surfaces</b>	<b>3,825 sq. ft. 49.4%</b>
<b>Proposed Impervious Surfaces</b>	<b>3,884 sq. ft. 50.1% (reduction recommended)</b>

Senior Planner Elise Semonian summarized the staff report and recommended that the Council approve the project subject to the findings and conditions in the December 2014 staff report.

Scott Couture, architect, did some preliminary designs along with neighborhood outreach and staff suggested making the deck smaller than originally proposed. The plans were revised and the deck is designed to be a modest outdoor living area that is adjacent to their indoor living area. It will accommodate a small table and sitting area along with a staircase to the lower yard. The deck is located in back of the home, tucked in and setback from the rear of the house. The neighbor to the east, the deck is not visible. The neighbor to the west, there is an existing bamboo screen and they added additional screening, so the deck is screened. They reviewed plans with all neighbors and submitted support letters. This project has very little impact on the neighbors as seen from the letters of support. He is further present to answer any questions of the Council.

Libby Tracy, applicant, indicated that as of February she is an 18 year resident of Ross. The living and kitchen areas are upstairs and she desired outdoor living space to have coffee and dinner. It would nice to have an outdoor living space, and the size proposed would be more beneficial to have dinner. The size recommended by staff is a little small for their needs. She has a great relationship with her neighbors and all are in support. She further appreciated the Council's consideration.

Mayor Brekhus opened the public hearing on this item, and seeing no one wishing to speak, the Mayor closed the public portion and brought the matter back to the Council for discussion and action.

Council Member Robbins understands it would be a great pleasure to have indoor/outdoor space. Her concern is with building a fairly large deck on the second floor, which is similar to living space looking into the neighbors yard and close to the neighbors yard since the houses on Bolinas are quite close. A ground level patio is different because there are fences and screening. It is very difficult to have substantial screening of an upper level deck. She is not opposed to the idea, but would certainly not be in favor of anything larger than what staff has recommended. She desired a depth of 10 ft. with staff's setback requirements. She is concerned about having lots of activity on the second floor and being close to the neighbors.

Mayor Pro Tempore Hoertkorn tried to follow staff's lead because they put in all the thought and resources into a project, but she could compromise and go with the width, but not the depth, if there is support.

Council Member Kuhl felt that the size staff is suggested would constrict the amount of activity and use. Due to the fact that the neighbors are supportive, he is inclined to support allowing more width in order to have usable space.

Mayor Brekhus could also support the deck. She is persuaded about a variance argument about this lot being so narrow. She is willing to agree to the original width along with staff's recommendation on depth. The width would be 18 ft., and the depth would be 12 ft. as proposed by staff.

Architect Couture added that the 18 ft. is more important from a functional standpoint. It is a reasonable size deck. Currently no neighbors are concerned about privacy issues. Mayor Pro Tempore Hoertkorn noted that it is about setting precedent, not the Tracy's individual situation.

Mayor Brekhus asked for a motion.

Mayor Pro Tempore Hoertkorn moved and Council Member Robbins seconded, to approve 33 Bolinas Avenue, Variance No. 1986, with the stipulation that the deck be reduced from 15 ft. to 12 ft. subject to the findings and conditions outlined in the staff report. Motion carried 3-1-1. Robbins opposed/Small recused.

**33 Bolinas Avenue Conditions:**

1. Except as otherwise provided in these conditions, the project shall be constructed in substantial conformance with the plans dated November 20, 2014, on file with the Planning Department.
2. The depth of the deck shall be reduced from 15 feet to 12 feet.
3. The proposed bamboo screening is not approved. The bamboo shall be replaced with alternative evergreen trees and/or shrubs that will provide evergreen screening of views from the deck towards 37 Bolinas and that are not a fire prone species (see Ross Valley Fire Department Standard 220 <http://www.rossvalleyfire.org/documents/prevention/standards/220%20-%20Vegetation%20Fuels%20Management%20Plan.doc%20Final.pdf>). The Town Council reserves the right to require additional landscape screening for up to three (3) years from project final.
4. If the Town floor area regulations change in the future to include deck area, current or future owners of the site shall not trade off the deck area for enclosed area without prior Town Council approval.
5. A building permit is required. The plans submitted for the building permit shall identify how impervious surfaces will be limited to existing conditions prior to project final. Pervious surfaces shall not be converted to impervious surfaces after project final without prior approval of the Town.
6. Any exterior lighting shall not create glare, hazard or annoyance to adjacent property owners. Lighting shall be shielded. No up lighting is approved.
7. The applicants shall comply with all requirements of the Marin Municipal Water District and Ross Valley Sanitary District before project final. Landscaping shall comply with the MMWD water-conserving landscape ordinance. Proof that MMWD has approved the plan or that it is exempt from their review shall be submitted to the planning department prior to project final.
8. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Before the issuance of a building permit, the owner or general contractor shall submit a complete list of contractors, subcontractors, architects, engineers and any other people providing project services within the Town, including names, addresses and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town before project final.

9. This project is subject to the conditions of the Town of Ross Construction Completion Ordinance. If construction is not completed by the construction completion date provided for in that ordinance, the owner will be subject to automatic penalties with no further notice. As provided in Municipal Code Section 15.50.040 construction shall be complete upon the final performance of all construction work, including: exterior repairs and remodeling; total compliance with all conditions of application approval, including required landscaping; and the clearing and cleaning of all construction-related materials and debris from the site. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
10. No changes from the approved plans, before or after project final, shall be permitted without before Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town Planner for review and approval before any change.
11. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with its boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or because of any claimed liability based upon or caused by the approval of the project. The Town shall promptly notify the applicants and/or owners of any such claim, action, or proceeding, tendering the defense to the applicants and/or owners. The Town shall assist in the defense; however, nothing contained in this condition shall prohibit the Town from participating in the defense of any such claim, action, or proceeding so long as the Town agrees to bear its own attorney's fees and costs and participates in the defense in good faith.

*Council Member Small resumed her position on the Town Council.*

**19. 5 Crest Road, Variance No. 1989**

Zach and Meghan Adelman, 5 Crest Road, A.P. No. 72-011-15, R-1:B-20. (Single Family Residence, 20,000 sq. ft. min. lot size), Low Density (1-3 units per acre). Town Council consideration of application for design review and nonconformity permit. The applicants propose to remodel the existing residence and add a dormer within the north side yard setback (20 feet required, 9 feet existing and proposed) in order to construct code-compliant stairs to the upper level. The project also includes modifications to exterior doors and windows and replacement of decorative fascia board with rectangular-section fascia.

<b>Lot Area</b>	<b>15,850 square feet</b>
<b>Existing Floor Area Ratio</b>	<b>2,460 sq. ft. 15.5%</b>
<b>Proposed Floor Area Ratio</b>	<b>2,410 sq. ft. 15.2% (15% permitted)</b>
<b>Existing Lot Coverage</b>	<b>1,964 sq. ft. 12.4%</b>
<b>Proposed Lot Coverage</b>	<b>1,964 sq. ft. 12.4% (20% permitted)</b>
<b>Existing Impervious Surfaces</b>	<b>4,671 sq. ft. 29.5%</b>
<b>Proposed Impervious Surfaces</b>	<b>4,671 sq. ft. 29.5%</b>

Senior Planner Elise Semonian summarized the staff report and recommended that the Council approve the project subject to the findings and conditions outlined in the staff report.

# ATTACHMENT 3



To whom it may concern,

We have been Ross residents since 1997. We moved from San Francisco just prior to our fourth child's birth. While we had some initial trepidation leaving the city, the allure of the Ross School helped mitigate those fears. Within hours of moving into a rental property on Shady Lane we knew we had made the correct decision. We ended up buying our current residence at 33 Bolinas Ave. a couple of years later and have been happy Ross residents the past 21 years. All four of our children graduated from Ross School. Ross School far exceeded even our lofty expectations.

When applying for a mortgage for 33 Bolinas we were mildly surprised to learn we needed flood insurance as the house is located in a flood zone. As it turned out, we were pretty happy we had it. Our downstairs was fully flooded in the New Year's Day flood back in 2005/2006. The water level got to about 22 inches downstairs where our four children's bedrooms were located. Our insurance company sent Restoration 911 to handle the immediate issues. According to a recent report, they did not do that good of a job. We have recently discovered some major mold problems. Improper cleaning and drying by Restoration 911 is believed to be the probable cause.

We have since moved out and begun our mold remediation work. We were planning on just renovating our kitchen but are now asking to do a more extensive project. For the past 15 years, heavy rains have been enormously stressful. Any time Bolinas Ave. started to flood, which was usually several times per year, we would worry about another house flood downstairs. We would like to remove this anxiety from our lives and raise the house effectively mitigating any chance of future flood damage as well as the toxicity from the mold that we have experienced.

Our four kids have moved out. However, we would like to remain Ross residents for many years to come. Perhaps even a few grand kids will be able to enjoy Ross School. Ross truly is one of the premiere towns in the US. Thank you for your consideration on this project.

Adam and Libby Tracy.

# ATTACHMENT 4

Rodgers Architecture  
156 South Park  
San Francisco, CA 94107  
415.309.9612

Neighborhood Outreach Statement  
RE: 33 Bolinas Ave, Ross CA 94960

May 8, 2020

To Whom It May Concern:

The subject property owner, Libby Tracy, discussed the project with the owners of the immediately adjacent neighbor properties at 37 Bolinas Ave and 29 Bolinas Ave. Both neighbors were supportive of the project and had no particular issues to address.

Best,

Meg O'Halloran  
Rodgers Architecture

# ATTACHMENT 5

**GENERAL NOTES**

ALL CONSTRUCTION AND INSTALLATION SHALL CONFIRM TO THE FOLLOWING CODES:

2019 CALIFORNIA ADMINISTRATIVE CODE  
 2019 CALIFORNIA BUILDING CODE INCORPORATING THE 2015 INTERNATIONAL BUILDING CODE  
 2019 CALIFORNIA RESIDENTIAL CODE INCORPORATING THE 2015 INTERNATIONAL RESIDENTIAL CODE  
 2019 CALIFORNIA ELECTRICAL CODE INCORPORATING THE 2014 NATIONAL ELECTRICAL CODE  
 2019 CALIFORNIA MECHANICAL CODE INCORPORATING THE 2015 UNIFORM MECHANICAL CODE  
 2019 CALIFORNIA PLUMBING CODE INCORPORATING THE 2015 UNIFORM PLUMBING CODE  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALIFORNIA HISTORICAL BUILDING CODE  
 2019 CALIFORNIA FIRE CODE  
 2019 CALIFORNIA EXISTING BUILDING CODE  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2019 CALIFORNIA REFERENCED STANDARDS CODE  
 PLUMBING UPGRADE SB 407  
 ROSS MUNICIPAL CODE

THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.

ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND THE OWNER BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSION GOVERN.

ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE DESIGNER.

WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.

WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFIRM WITH LOCAL BUILDING AND FIRE CODES.

PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.

ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.

VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.

PROVIDE FIRE-BLOCKING AND DRAFTSTOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2013 CBC SECTION 718, FIREBLOCKING & DRAFTSTOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

- 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- 2) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
- 3) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

WINDOW SIZES ON DRAWINGS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.

MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER PENETRATIONS OF FLOORS, WALLS AND CEILINGS SHALL BE SEALED AIRTIGHT WITH ACOUSTICAL SEALANT AND FIRESAFING AS REQUIRED.

ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED PER TITLE 24 REQUIREMENTS.

ALL WALL, FLOOR, ROOF, AND SHAFT CONSTRUCTION TO BE RATED, U.O.N.

DISCREPANCIES: WHERE A CONFLICT IN REQUIREMENTS OCCURS BETWEEN THE SPECIFICATIONS AND DRAWINGS, OR ON THE DRAWINGS, AND A RESOLUTION IS NOT OBTAINED FROM THE DESIGNER BEFORE THE BIDDING DATE, THE MORE STRINGENT ALTERNATE WILL BECOME THE CONTRACTUAL REQUIREMENTS.

CONTRACTOR SHALL ENSURE THAT GUIDELINES SET FORTH ON SHEET A0.1 ARE MAINTAINED DURING CONSTRUCTION, INSTALLATION, AND FINISHING OF ALL ASPECTS OF THIS PROJECT.

PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.

ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC SECTION 2403

ALL SMOKE DETECTORS TO BE HARD WIRED.

OPENINGS IN 1, 2, OR 3-HOUR RATED ASSEMBLIES SHOULD BE PROTECTED WITH (1), (2), OR (3)-HOUR RATED ASSEMBLIES, RESPECTIVELY.

ALL ASSEMBLIES SHOULD BE APPROVED.

ALL DUCT PENETRATIONS THROUGH RATED WALLS SHOULD BE PROTECTED WITH SMOKE AND FIRE DAMPERS.

**PROJECT PHOTOS**



2 FRONT ELEVATION FACING SOUTH  
PAGE ONE



1 REAR YARD FACING NORTH  
PAGE ONE

**ABBREVIATIONS**

AB.	ANCHOR BOLT	ELEV.	ELEVATION	HT.	HEIGHT	(R)	REMODELED OR RELOCATED
A.F.F.	ABOVE FINISHED FLOOR	EMER.	EMERGENCY	HVAC	HEATING, VENTILATION, AND	R.D.	ROOF DRAIN
AGGR.	AGGREGATE	ENCL.	ENCLOSURE		AIR CONDITIONING	RE:	REFER TO ...
AL.	ALUMINUM	EQ.	EQUAL	I.D.	INSIDE DIAMETER	HT.	REFRIGERATOR
ALT.	ALTERNATE	EQUIP.	EQUIPMENT	INS.	INSULATION	REINF.	REINFORCED
APPROX.	APPROXIMATE	E.W.	EACH WAY	HVAC.	INTERIOR	REQ'D	REQUIRED
ARCH.	ARCHITECTURAL	W.E.C.	ELECTRIC WATER COOLER	JAN.	JANITOR	RM	ROOM
BD.	BOARD	EXP.	EXPANSION	JNT.	JOINT	R.D.	ROUGH OPENING
BLDG.	BUILDING	EXT.	EXTERIOR	JST.	JOIST	S	SOUTH
BLK.	BLOCK	F.A.	FIRE ALARM	KIT.	KITCHEN	S.C.	SOLID CORE
BLK'G.	BLOCKING	F.D.	FLOOR DRAIN	LAB.	LABORATORY	SCHED.	SCHEDULE
BM.	BEAM	F.D.C.	FIRE DEPARTMENT CONNECTION	LAM.	LAMINATE	SECT.	SECTION
BOT.	BOTTOM	FDN.	FOUNDATION	LAV.	LAVATORY	S.F.	SQUARE FOOT
BTWN.	BETWEEN	F.A.	FIRE EXTINGUISHER	LT.	LIGHT	SHT.	SHEET
B.U.R.	BUILT UP ROOFING	F.A.C.	FIRE EXTINGUISHER CABINET	MAX.	MAXIMUM	SIM.	SIMILAR
B.W.	BOTH WAYS	F.B.	FINISH FLOOR	MECH.	MECHANICAL	SPEC.	SPECIFICATION
C.J.	CONTROL JOINT	F.H.C.	FIRE HOSE CABINET	MEMB.	MEMBRANE	SQ. OR #	SQUARE
CLC.	CEILING	FIN.	FINISH	MFR.	MANUFACTURER	S.S.	STAINLESS STEEL
CLKG.	CAULKING	F.L.	FLOW LINE	M.H.	MANHOLE	STAGG.	STAGGERED
CLR.	CLEAR	FLR.	FLOOR	MIN.	MINIMUM	STD.	STANDARD
C.M.U.	CONCRETE MASONRY UNIT	FLUOR.	FLUORESCENT	MISC.	MISCELLANEOUS	STIFF.	STIFFENER
COL.	COLUMN	FND.	FOUNDATION	M.O.	MASONRY OPENING	STL.	STEEL
CONC.	CONCRETE	F.O.B.	FACE OF BRICK	MTL.	METAL	STRUC.	STRUCTURAL
CONN.	CONNECTION	F.O.C.	FACE OF CONCRETE	MUL.	MULLION	SUSP.	SUSPENDED
CONSTR.	CONSTRUCTION	F.S.	FULL SIZE	N	NORTH	TR.	TREAD
CONT.	CONTINUOUS	FT.	FOOT OR FEET	(N)	NEW	T & B	TOP AND BOTTOM
C.T.	CERAMIC TILE	FTG.	FOOTING	N.I.C.	NOT IN CONTRACT	TER.	TERRAZZO
DEG.	DEGREE	FURR.	FURRING	NO.	NUMBER	T & G	TONGUE AND GROOVE
DET./DTL.	DETAIL	GA.	GAUGE	NOM.	NOMINAL	THK.	THICK
D.F.	DRINKING FOUNTAIN	GALV.	GALVANIZED	N.T.S.	NOT TO SCALE	T/	TOP OF
DIAG.	DIAGONAL	G.C.	GENERAL CONTRACTOR	O.C.	ON CENTER	TYP.	TYPICAL
DIA. Ø	DIAMETER	G.L.	GLASS	O.D.	OUTSIDE DIAMETER	U.O.N.	UNLESS OTHERWISE NOTED
DN.	DOWN	GR.	GRADE	OH.	OVERHEAD	VCT.	VINYL COMPOSITION TILE
DS.	DOWNSPOUT	GYP.	GYPSUM	OPG.	OPENING	VER.	VERIFY
DWG.	DRAWING	GYP. BD.	GYPSUM BOARD	OPP.	OPPOSITE	VERT.	VERTICAL
E	EAST	H.B.	HOSE BIBB	PCT.	PRE-CAST	W	WEST
(E)	EXISTING	H.C.	HOLLOW CORE	P.L.	PROPERTY LINE	W/	WITH
EA.	EACH	H/C	HANDICAPPED	P.LAM.	PLASTIC LAMINATE	W.C.	WATER CLOSET
E.J.	EXPANSION JOINT	HDWD.	HARDWOOD	PLAS.	PLASTER	WD.	WOOD
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	HDWE.	HARDWARE	PLYWD.	PLYWOOD	W/O	WITHOUT
EL.	ELEVATION	H.M.	HOLLOW METAL	PR.	PAIR	P	PROPERTY LINE
ELEC.	ELECTRICAL	HR.	HOUR	PTD	PAINTED	Q.T.	QUARRY TILE
				R.	RISER	CL	CENTERLINE

NOTE: CLARIFY WITH ARCHITECT - ALL ABBREVIATIONS NOT LISTED

**SYMBOLS LEGEND**

- ELEVATION DRAWING # OVER SHEET #
- SECTION DRAWING # OVER SHEET #
- DETAIL DRAWING # OVER SHEET #
- WINDOW FLOOR & LETTER
- DOOR NUMBER
- NORTH ARROW
- ROOF SLOPE
- ELEVATION HEIGHT
- CENTER LINE
- DRAWING REVISION

**PROJECT INFORMATION**

PROJECT ADDRESS: 33 BOLINAS AVE. ROSS, CA 94957

A.P.N.: 073-051-10

ZONING: R-1

CONSTRUCTION TYPE: VB

LAND USE: 11 - SINGLE FAMILY RESIDENTIAL

	EXISTING	PROPOSED	ZONING REQ.
LOT AREA	7,750 SF	NO CHANGE	-
FLOOR AREA	4,027 SF	3,981 SF	1,550 SF
F.A.R.	52%	51%	20%
BUILDING COVERAGE	2,346 SF	2,496 SF	1,550 SF
LOT COVERAGE	30%	32%	20%
IMPERVIOUS SURFACE	3,949 SF	4,084 SF	-
IMPERVIOUS SURFACE %	51%	53%	-
# OF STORIES	2	NO CHANGE	-
BUILDING HEIGHT	24'-3"	29'-3"	30'-0"
PARKING SPACES	2	NO CHANGE	2
SPRINKLERS	NO	YES	YES

**PROJECT DESCRIPTION:**  
 EXISTING STRUCTURE TO BE ELEVATED BY 5'-0" TO BE ABOVE THE REQUIRED APPLICABLE FEMA MINIMUM, LENGTHENING OF TWO EXTERIOR STAIR RUNS, NEW STRUCTURE TO SUPPORT THE EXISTING (REAR) DECK, NEW LANDING/PORCH AT THE FRONT ENTRY. SECOND FLOOR REMODEL OF KITCHEN AND BATHROOMS, NEW REAR EXTERIOR DOOR AND BATHROOM WINDOW. FIRST FLOOR NEW PERIMETER FOUNDATION AND REMODEL OF 4 BEDROOMS, 2 BATHROOMS, LAUNDRY, NEW WINDOWS AND DOORS, REAR STAIR LANDINGS TO ACCOMMODATE NEW HOUSE ELEVATION. NEW PLUMBING AND ELECTRICAL WORK AS REQUIRED.

**PROJECT DIRECTORY**

**PROJECT ARCHITECT**  
 RODGERS ARCHITECTURE  
 156 SOUTH PARK  
 SAN FRANCISCO, CA 94107  
 P: 415.309.9612  
 E: ardesign@att.net

**PROPERTY OWNER**  
 ADAM AND LIBBY TRACY  
 33 BOLINAS AVE.  
 ROSS, CA 94957  
 E: libbytracy@mac.com

**GENERAL CONTRACTOR**  
 TBD

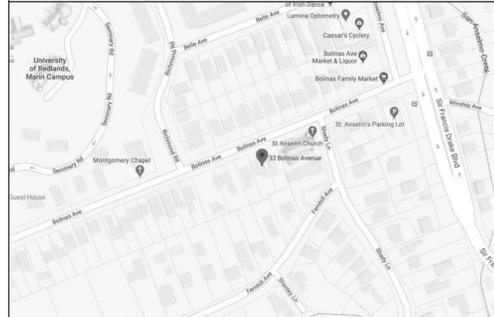
**STRUCTURAL ENGINEER**  
 T.B.D.

**T24 CONSULTANT**  
 T.B.D.

**SHEET INDEX**

- ARCHITECTURAL**
- A0.1 PROJECT INFO, GEN. NOTES
  - A1.1 SITE PLANS
  - A1.2 FIRST FLOOR PLANS
  - A1.3 SECOND FLOOR PLANS
  - A1.4 ROOF PLANS
  - A2.1 NORTH ELEVATIONS
  - A2.2 WEST ELEVATIONS
  - A2.3 SOUTH ELEVATIONS
  - A2.4 EAST ELEVATIONS
  - A3.1 BUILDING SECTIONS

**PROJECT LOCATION MAP**



**REVISIONS:**

NO.	DESCRIPTION

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ARCHITECT  
 ANDREW RODGERS  
 No. C 32697  
 Ren. 11/01/21  
 STATE OF CALIFORNIA

PLANNING SUBMITTAL

GENERAL NOTES, PROJECT INFORMATION

DATE 05.11.20

SCALE NO SCALE

DRAWN

**A0.1**

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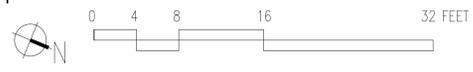
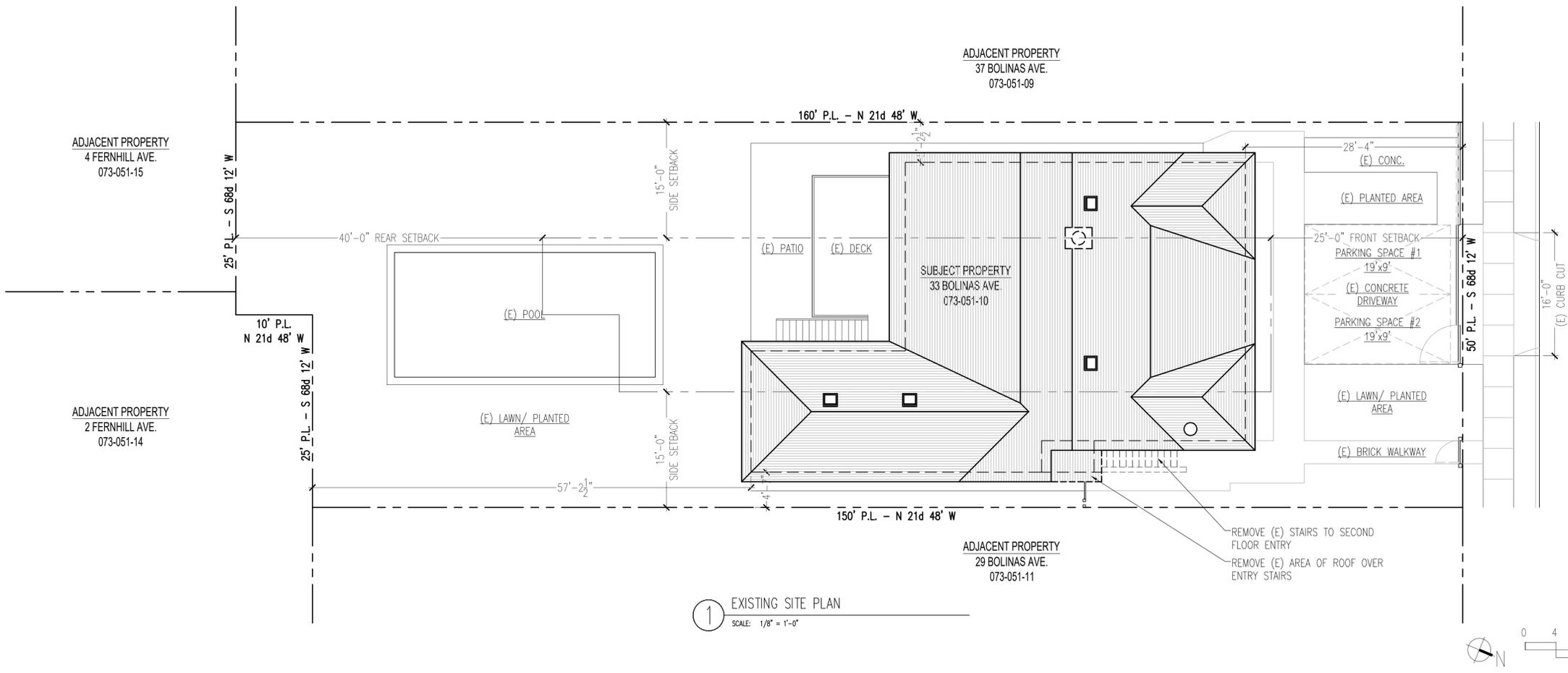
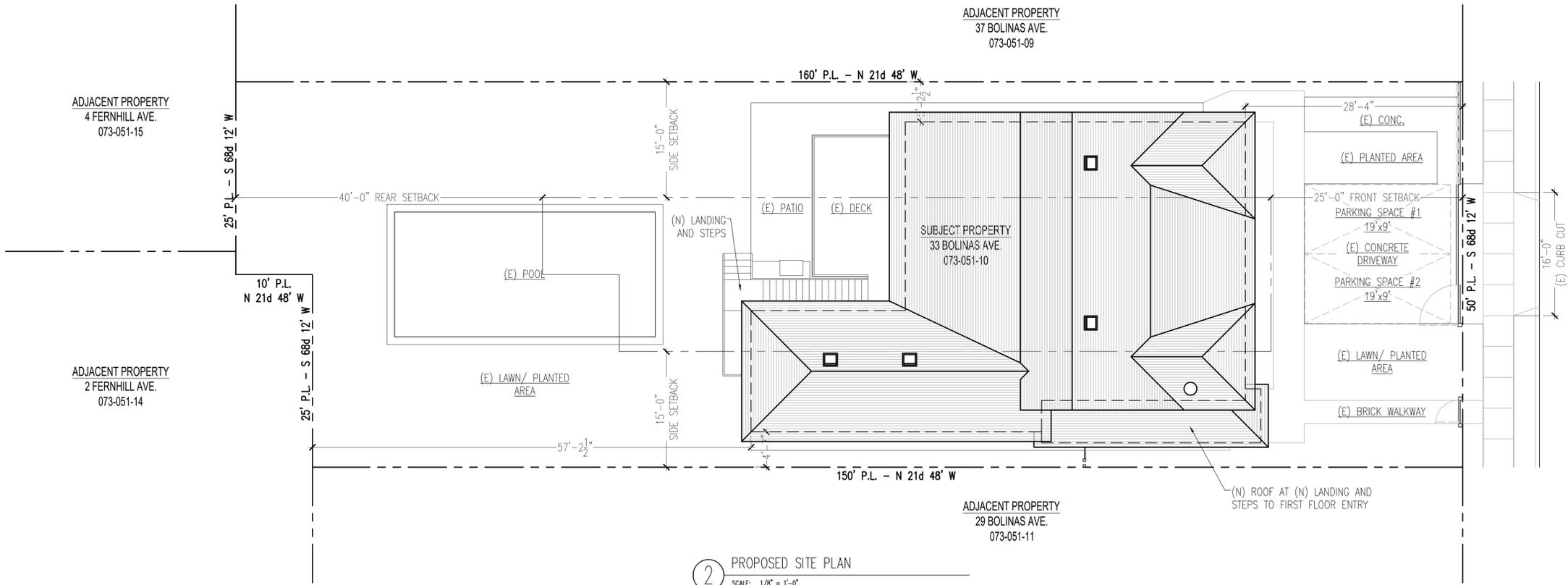
SITE PLANS

DATE 05.11.20

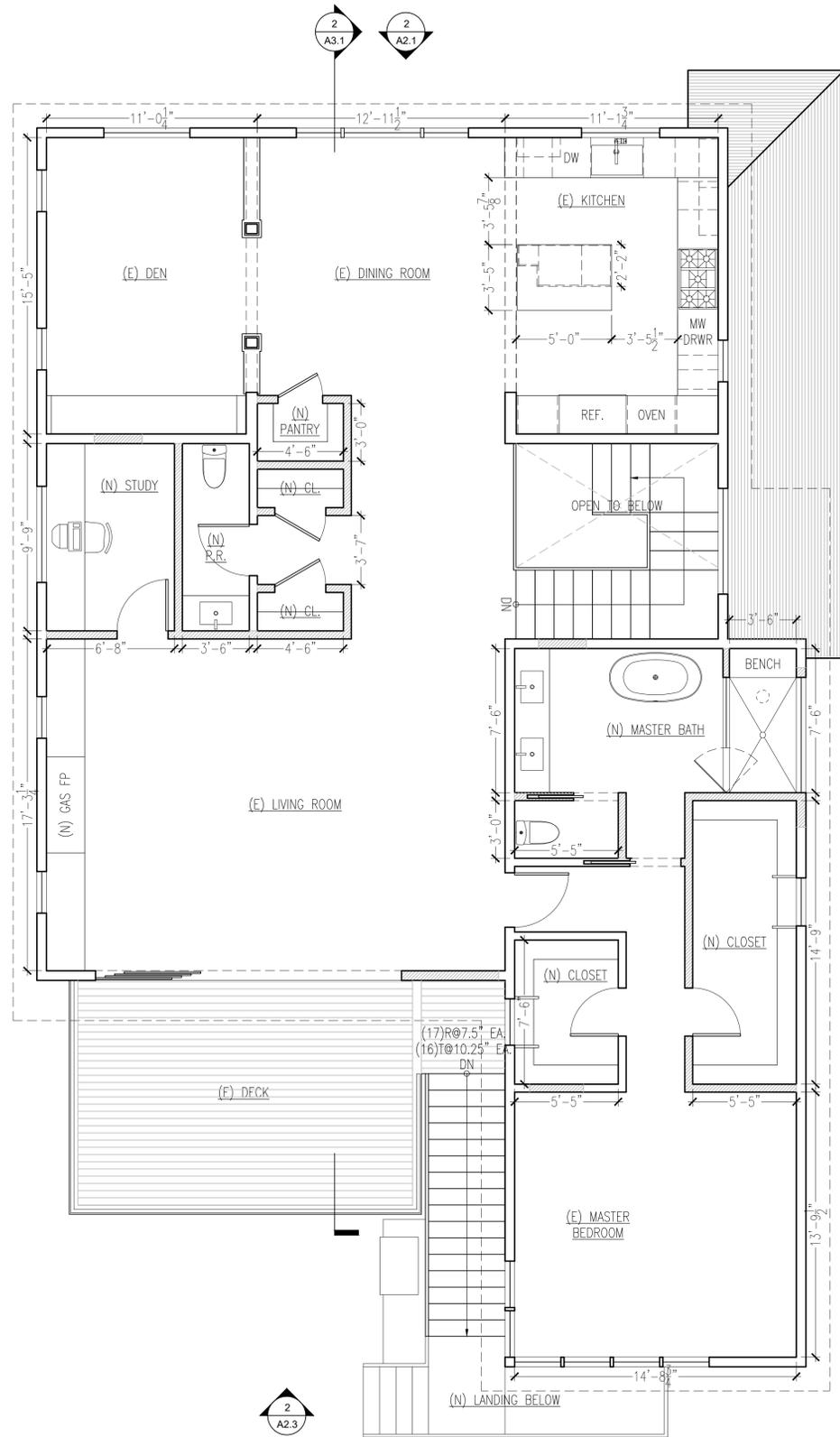
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DRAWN

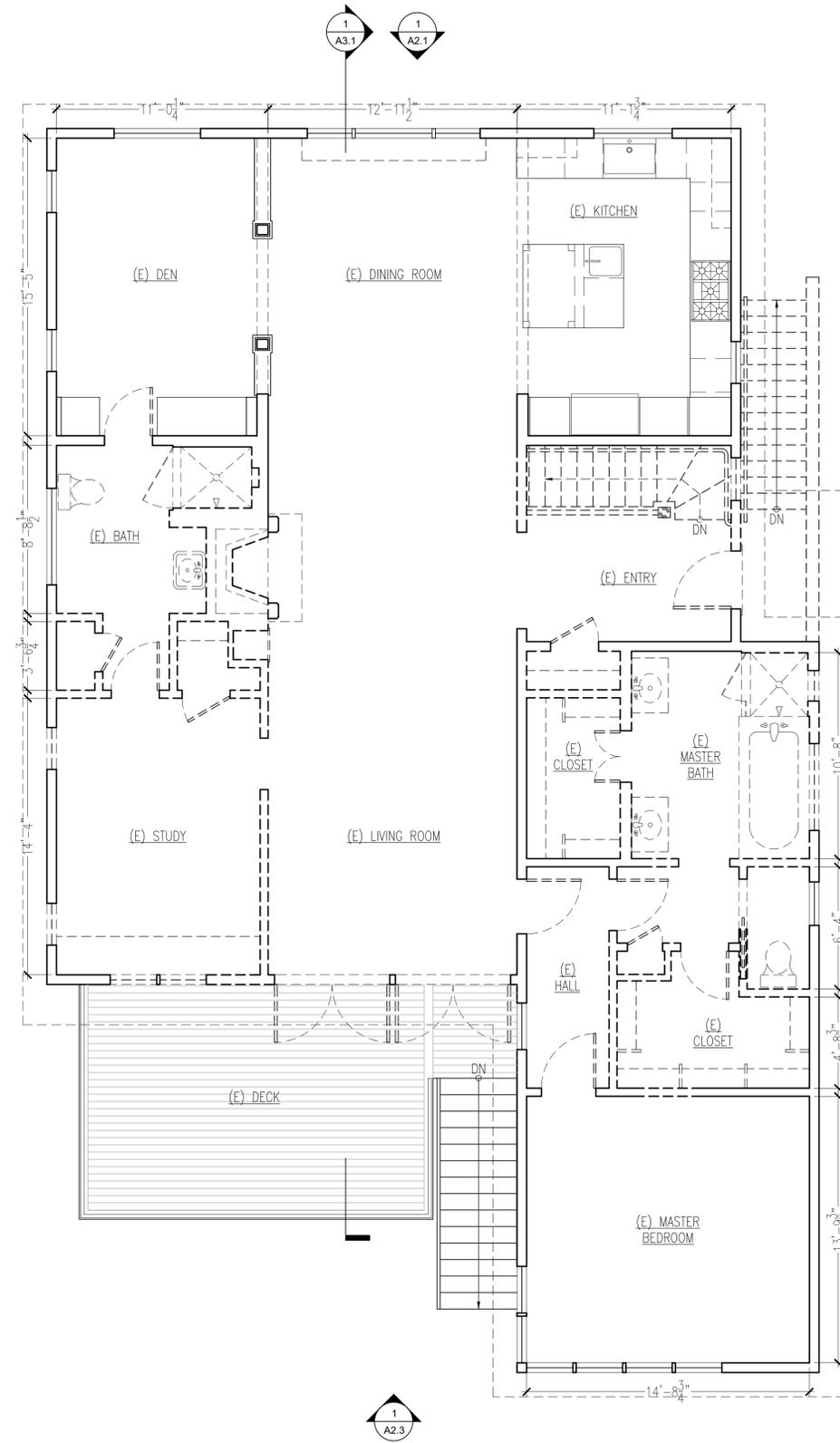
**A1.1**







2 PROPOSED SECOND FLOOR PLAN



1 EXISTING SECOND FLOOR PLAN

DRAWING KEY

	(E) WALL TO REMAIN
	(N) WALL
	1-HR CONSTRUCTION
	(E) WALL TO BE REMOVED



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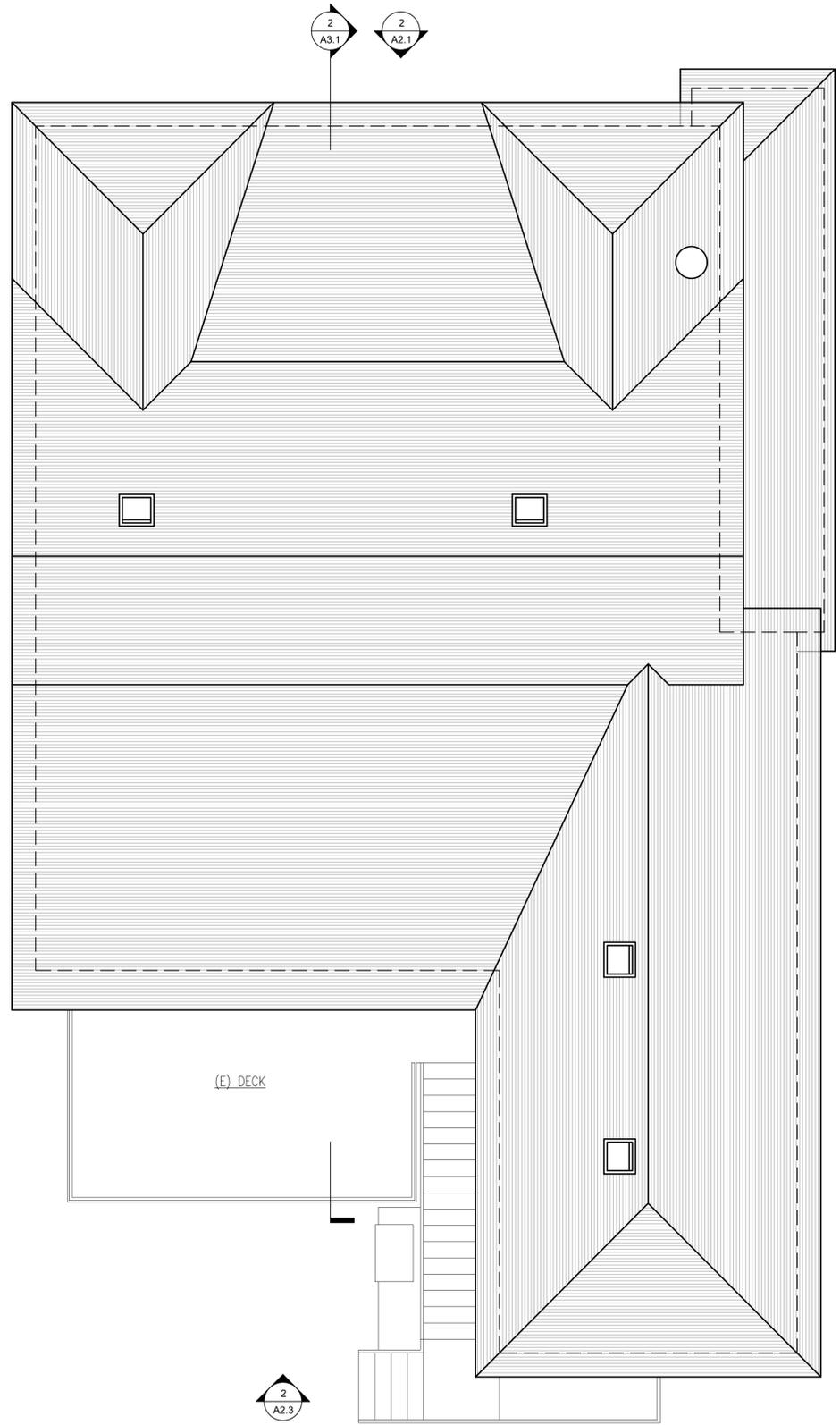
SECOND  
FLOOR  
PLANS

DATE 05.11.20

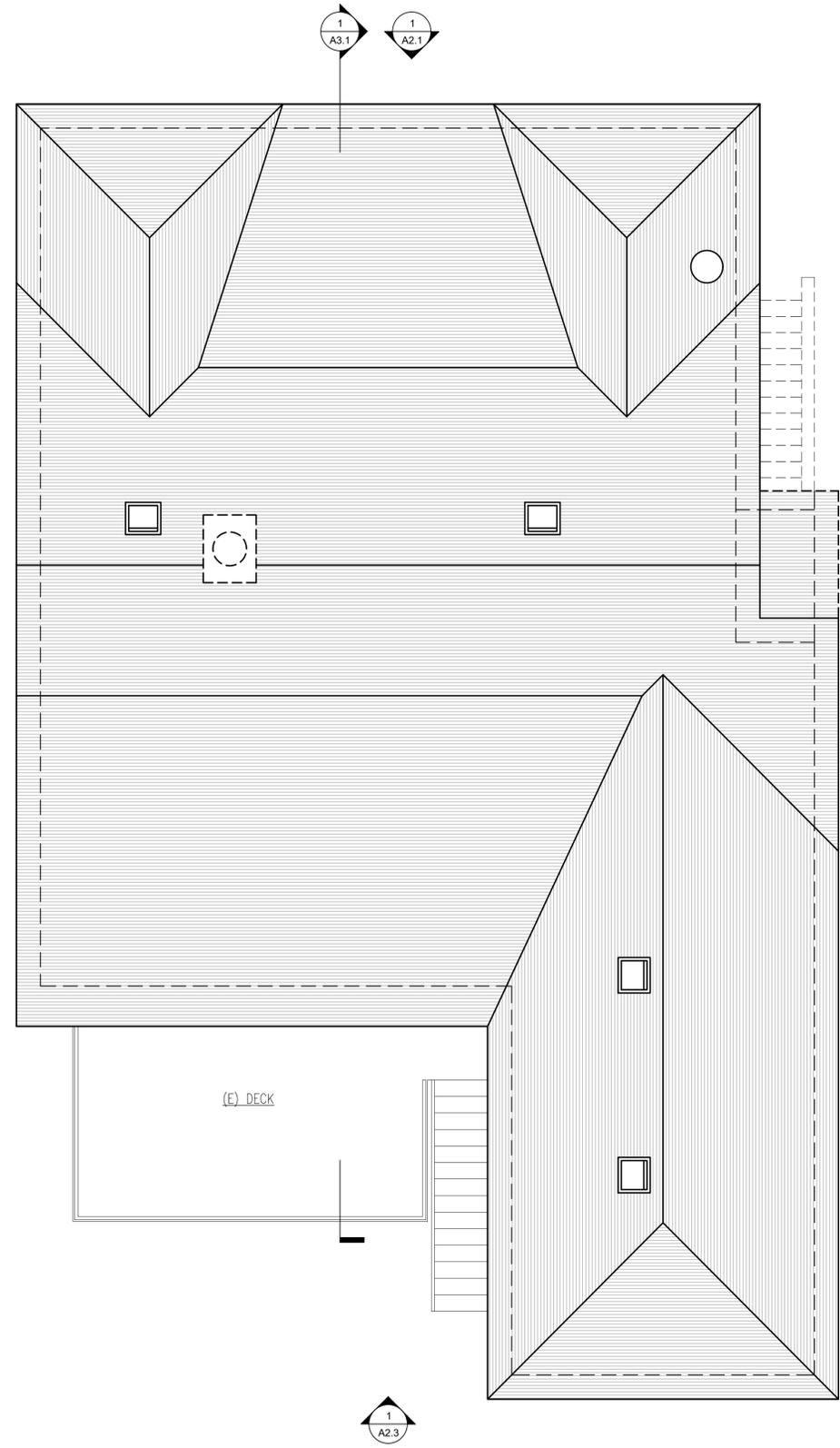
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DRAWN

A1.4



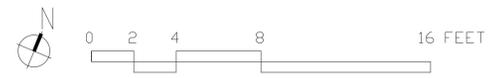
2 PROPOSED ROOF PLAN



1 EXISTING ROOF PLAN

DRAWING KEY

	(E) WALL TO REMAIN
	(N) WALL
	1-HR CONSTRUCTION
	(E) WALL TO BE REMOVED



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ROOF  
PLANS

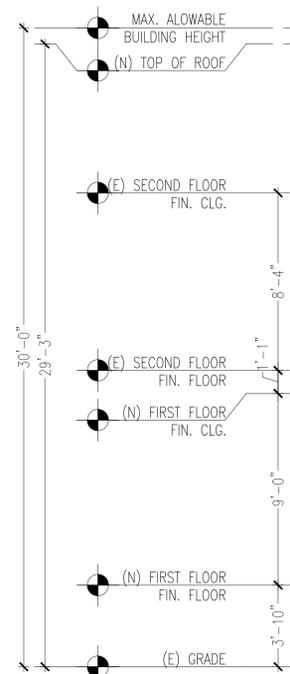
DATE 05.11.20

SCALE 1/4"=1'-0"

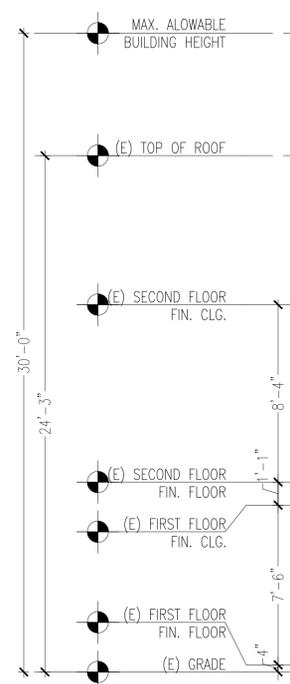
DRAWN

**A1.5**

REVISIONS:



2 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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NORTH  
ELEVATIONS

DATE 05.11.20

SCALE 1/4"=1'-0"

DRAWN

A2.1



2 PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"



1 EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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SOUTH &  
EAST  
ELEVATIONS

DATE 05.11.20

SCALE 1/4"=1'-0"

DRAWN

A2.2

MAX. ALLOWABLE BUILDING HEIGHT  
 (N) TOP OF ROOF  
 (E) SECOND FLOOR FIN. CLG.  
 (E) SECOND FLOOR FIN. FLOOR  
 (N) FIRST FLOOR FIN. CLG.  
 (N) FIRST FLOOR FIN. FLOOR  
 (E) GRADE

30'-0"  
 29'-3"  
 8'-4"  
 1'-1"  
 9'-0"  
 3'-10"

(N) CLAD DOORS  
 (E) DECK WITH (E) METAL & GLASS GUARDRAIL  
 (N) CLAD DOORS  
 (N) STAIR WITH (N) METAL HANDRAIL & GUARDRAIL



2 PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

MAX. ALLOWABLE BUILDING HEIGHT  
 (E) TOP OF ROOF  
 (E) SECOND FLOOR FIN. CLG.  
 (E) SECOND FLOOR FIN. FLOOR  
 (E) FIRST FLOOR FIN. CLG.  
 (E) FIRST FLOOR FIN. FLOOR  
 (E) GRADE

30'-0"  
 24'-3"  
 8'-4"  
 1'-1"  
 7'-6"  
 41'  
 40'  
 37.7'



1 EXISTING SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

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WEST ELEVATIONS

DATE 05.11.20  
 SCALE 1/4"=1'-0"  
 DRAWN

A2.3

REVISIONS:



2 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

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WEST ELEVATIONS

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SCALE 1/4"=1'-0"

DRAWN

A2.4

REVISIONS:



2 PROPOSED SECTION FACING EAST  
SCALE: 1/4" = 1'-0"



1 EXISTING SECTION FACING EAST  
SCALE: 1/4" = 1'-0"

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SECTIONS

DATE 05.11.20

SCALE 1/4"=1'-0"

DRAWN

A3.1